

GENERAL BROWN CSD

JUNIOR SENIOR HIGH SCHOOL

17643 CEMETERY RD

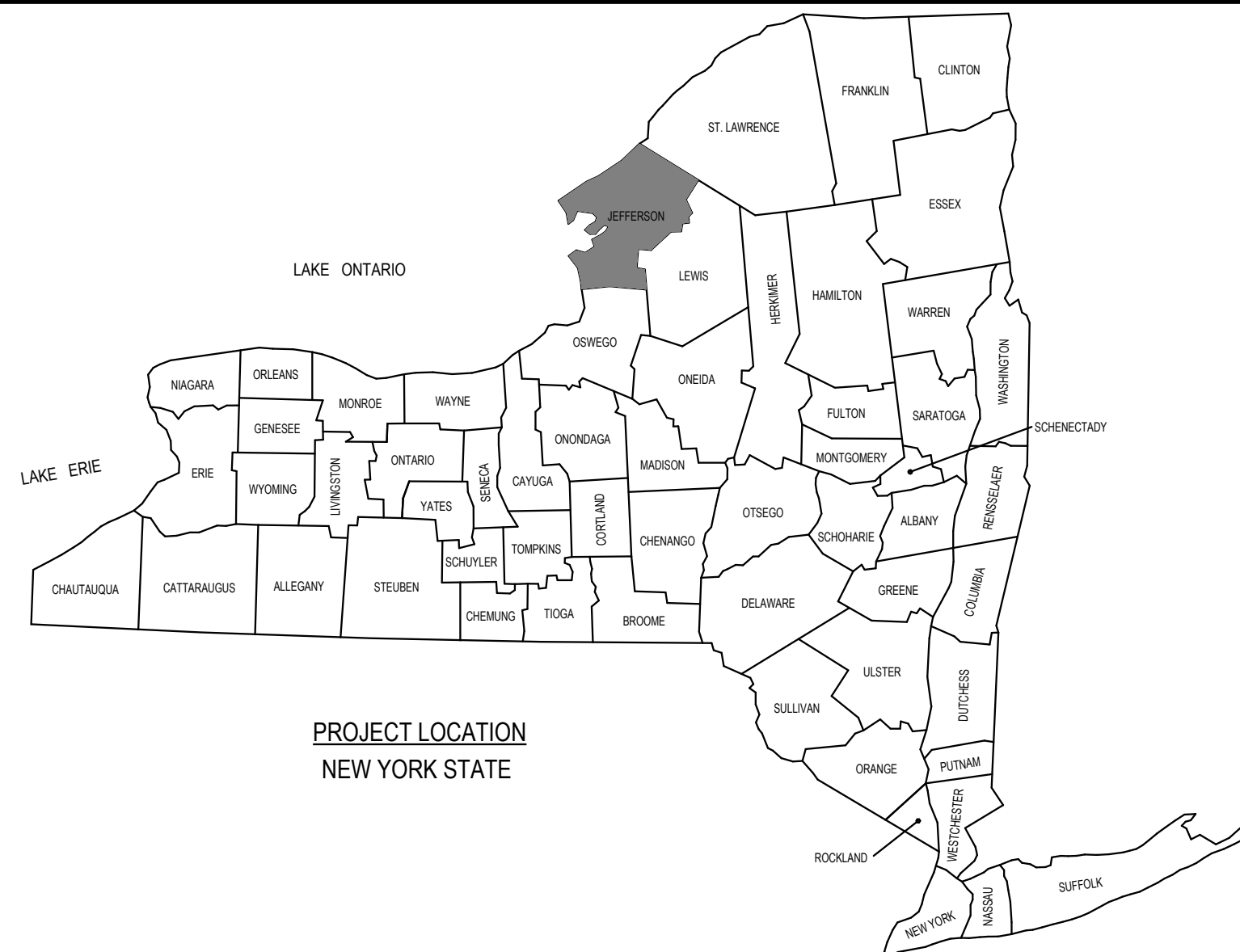
ARCHITECT'S PROJECT NO.2023-105

SED NO.22-04-01-04-0-003-011

INDEX OF DRAWINGS

<p>REFERENCE PLANS</p> <p>AR100 REFERENCE PLAN - AREA 1 AR101 REFERENCE PLAN - AREA 2 AR102 AREA 1 - REFERENCE PLAN - CRAWL SPACE - AREA 1 AR103 AREA 2 - REFERENCE PLAN - CRAWL SPACE - AREA 2</p> <p>PHASING</p> <p>PP100 SITE PHASING PLAN PP101 PHASING PLAN - AREA 1 PP102 PHASING PLAN - AREA 2</p> <p>CODE COMPLIANCE</p> <p>1A-CC100 SITE CODE COMPLIANCE PLAN - PHASE 1A CC100 SITE CODE COMPLIANCE PLAN CC101 CODE COMPLIANCE - ANALYSIS CC102 CODE COMPLIANCE PLAN - AREA 1 CC103 CODE COMPLIANCE PLAN - AREA 2 CC110 ACCESSIBILITY PLAN - AREA A CC111 ACCESSIBILITY PLAN - AREA B1 AND B2 CC112 ACCESSIBILITY PLAN - AREA C AND D CC113 ACCESSIBILITY PLAN - AREA E</p> <p>SITE</p> <p>1A-C000 MASTER NOTES 1A-C080 OVERALL KEY PLAN 1A-C090 EXISTING CONDITIONS 1A-C100 DEMO, EROSION & SEDIMENT CONTROL PLAN 1A-C200 LAYOUT AND MATERIALS PLAN 1A-C300 GRADING & DRAINAGE PLAN 1A-C500 CONSTRUCTION DETAILS 1A-C510 TURF FIELD LAYOUT OPTIONS</p> <p>C000 MASTER NOTES C070 OVERALL KEY PLAN C080 EXISTING CONDITIONS SOCCER FIELDS C081 EXISTING CONDITIONS TENNIS COURTS C082 EXISTING CONDITIONS BASEBALL & SOFTBALL FIELDS C090 CONSTRUCTION PHASING PLAN C091 DEMOLITION, EROSION & SEDIMENT CONTROL PLAN - SOCCER FIELD C092 DEMOLITION, EROSION & SEDIMENT CONTROL PLAN - TENNIS COURTS & SIDEWALK EXTENSION C093 DEMOLITION, EROSION & SEDIMENT CONTROL PLAN - SOFTBALL & BASEBALL FIELDS</p> <p>C100 LAYOUT & MATERIALS PLAN SOCCER FIELD C101 LAYOUT & MATERIALS PLAN TENNIS COURT & SIDEWALK EXTENSION C102 LAYOUT & MATERIALS PLAN SOFTBALL & BASEBALL FIELDS C200 GRADING & DRAINAGE PLAN SOCCER FIELD C201 GRADING & DRAINAGE PLAN TENNIS COURT C202 GRADING & DRAINAGE PLAN SOFTBALL & BASEBALL FIELDS C203 GRADING & DRAINAGE PLAN SOCCER FIELD - ALT DRAINAGE C204 GRADING & DRAINAGE PLAN SOFTBALL & BASEBALL FIELDS - ALT DRAINAGE</p> <p>C400 PLANTING PLAN SOCCER FIELD C402 PLANTING PLAN SOFTBALL & BASEBALL FIELDS C500 CONSTRUCTION DETAILS C501 CONSTRUCTION DETAILS C502 CONSTRUCTION DETAILS C503 CONSTRUCTION DETAILS C504 CONSTRUCTION DETAILS C600 FIRST BASE AND THIRD BASE DUGOUT PLANS AND DETAILS C601 DUG OUT DETAILS</p>	<p>HAZARDOUS MATERIALS</p> <p>1A-HM100 HAZARDOUS MATERIALS PLAN - CRAWL SPACE 1A-HM101 HAZARDOUS MATERIALS PLAN - FIRST FLOOR HM100 HAZARDOUS MATERIALS PLAN - AREA A HM101 HAZARDOUS MATERIALS PLAN - AREAS B1 AND B2 HM102 HAZARDOUS MATERIALS PLAN - AREAS C AND D HM103 HAZARDOUS MATERIALS PLAN - AREA E HM104 AREA 1 - HAZARDOUS MATERIAL - CRAWL SPACE - AREA 1 HM105 AREA 2 - HAZARDOUS MATERIALS - CRAWL SPACE - AREA 2 HM106 HAZARDOUS MATERIALS PLAN - AREA A - CRAWLSPACE HM107 HAZARDOUS MATERIALS PLAN - AREAS B1 AND B2 - CRAWLSPACE HM108 HAZARDOUS MATERIALS PLAN - AREAS C AND D - CRAWLSPACE HM109 HAZARDOUS MATERIALS PLAN - AREA E - CRAWLSPACE</p> <p>STRUCTURAL</p> <p>1A-S100 MECHANICAL PIT 1A-S101 MECHANICAL PIT S100 FRAMING PLAN S101 FRAMING PLAN S102 FRAMING PLAN S103 FRAMING PLAN S104 FRAMING PLAN S105 STRUCTURAL DETAILS</p> <p>ARCHITECTURAL</p> <p>AS000 ARCHITECTURAL GENERAL NOTES, ABBREVIATIONS AND LEGENDS AD100 DEMOLITION PLAN - FIRST FLOOR - AREA A AD101 DEMOLITION PLAN - FIRST FLOOR - AREA B1 AND B2 AD102 DEMOLITION PLAN - FIRST FLOOR - AREA C & D AD103 DEMOLITION PLAN - FIRST FLOOR - AREA E A100 DIMENSION PLAN - AREA A A101 DIMENSION PLAN - AREA B1 AND B2 A102 DIMENSION PLAN - AREA C AND D A103 DIMENSION PLAN - AREA E A110 ANNOTATION PLAN - AREA A A111 ANNOTATION PLAN - AREA B1 AND B2 A112 ANNOTATION PLAN - AREA C AND D A113 ANNOTATION PLAN - AREA E A200 ENLARGED PLANS - TOILET ROOMS - AREA A AND E A210 INTERIOR ELEVATIONS - AREA A A211 INTERIOR ELEVATIONS - AREA A, B1 AND B2 A212 INTERIOR ELEVATIONS - AREA B1 AND B2 A213 INTERIOR ELEVATIONS - AREA C AND D A214 INTERIOR ELEVATIONS - AREA C A300 REFLECTED CEILING PLAN - FIRST FLOOR - AREA A A301 REFLECTED CEILING PLAN - FIRST FLOOR - AREA B1 AND B2 A302 REFLECTED CEILING PLAN - FIRST FLOOR - AREA C AND D A303 REFLECTED CEILING PLAN - FIRST FLOOR - AREA E A304 REFLECTED CEILING PLAN - DETAILS A400 ROOF REFERENCE PLAN - AREA 1 A401 ROOF REFERENCE PLAN - AREA 2 A402 ROOF DETAILS A500 EXTERIOR ELEVATION KEY PLAN AND ELEVATIONS A501 EXTERIOR ELEVATIONS A502 BRICK DAMAGE PHOTOS A700 PLAN DETAILS A701 DETAILS A702 DETAILS A703 DETAILS A800 DOOR SCHEDULES A801 STOREFRONT TYPES</p>	<p>A802 DOOR DETAILS A803 WINDOW TYPES A900 FINISH PLAN - FIRST FLOOR - AREA A A901 FINISH PLAN - FIRST FLOOR - AREA B1 AND B2 A902 FINISH PLAN - FIRST FLOOR - AREA C AND D A903 FINISH PLAN - FIRST FLOOR - AREA E AND G A904 FINISH AND MATERIAL SCHEDULE A905 GYMNASIUM FINISH PLAN A906 GYMNASIUM LINEWORK PLAN A907 GYMNASIUM BASKETBALL COURTS A908 GYMNASIUM MAIN VOLLEYBALL COURT A909 GYMNASIUM VOLLEYBALL SIDECOURTS A911 FIXTURE FURNITURE AND EQUIPMENT PLAN - AREA A A912 FIXTURE FURNITURE AND EQUIPMENT PLAN - AREA B1 AND B2 A913 FIXTURE FURNITURE AND EQUIPMENT PLAN - AREA C AND D A914 FIXTURE FURNITURE AND EQUIPMENT PLAN - AREA E</p> <p>MECHANICAL</p> <p>MS000 MECHANICAL GENERAL NOTES, LEGENDS & ABBREVIATIONS MD100 BASEMENT DEMOLITION PLAN - AREA B1 AND B2 MD101 FIRST FLOOR DEMOLITION PLAN - AREA A MD102 FIRST FLOOR DEMOLITION PLAN - AREA B1 AND B2 MD103 FIRST FLOOR DEMOLITION PLAN - AREA C AND D MD104 FIRST FLOOR DEMOLITION PLAN - AREA E MD105 FIRST FLOOR DEMOLITION PLAN - DATA CLOSETS AND FREEZERS MD106 ENLARGED MEZZANINE DEMOLITION PLANS MD107 ROOF DEMOLITION PLAN MD300 ENLARGED BOILER ROOM DEMOLITION PLAN 1A-M100 MECHANICAL PLANS, DETAILS, SCHEMATICS, AND SCHEDULES M100 BASEMENT PLAN - AREA B1 AND B2 M101 FIRST FLOOR PLAN - AREA A M102 FIRST FLOOR PLAN - AREA B1 AND B2 M102A FIRST FLOOR PLAN - AREA B1 (ALTERNATE) M103 FIRST FLOOR PLAN - AREA C AND D M103A FIRST FLOOR PLAN - AREA C (ALTERNATE) M104 FIRST FLOOR PLAN - AREA E M105 FIRST FLOOR PLAN - DATA CLOSETS AND FREEZERS M106 ENLARGED MEZZANINE PLANS M107 ROOF PLAN M300 ENLARGED BOILER ROOM PLAN M301 BOILER ROOM PIPING SCHEMATICS M400 MECHANICAL SCHEMATICS M401 MECHANICAL SCHEMATICS M500 MECHANICAL DETAILS M501 MECHANICAL DETAILS M600 MECHANICAL SCHEDULES M600A MECHANICAL SCHEDULES - ALTERNATE M601 MECHANICAL SCHEDULES</p> <p>PLUMBING</p> <p>PS000 PLUMBING GENERAL NOTES, LEGENDS & ABBREVIATIONS PR100 FIRST AND UPPER FLOOR PLUMBING REFERENCE PLANS PR101 CRAWLSPACE PLUMBING REFERENCE AND ACCESS PLANS PD100 DEMOLITION PLANS - SANITARY MAIN REPLACEMENT PD101 DEMOLITION PLANS - SCIENCE & MIXING VALVE REPLACEMENT PD102 DEMOLITION PLANS - KITCHEN PD103 DEMOLITION PLANS - CLASSROOM AND HOME ECON PD104 DEMOLITION PLANS - MAIN ENTRANCE TR'S AND ART ROOM PD105 DEMOLITION PLANS - LOCKER ROOMS PD106 DEMOLITION PLANS - SCIENCE CLASSROOMS EAST PD107 DEMOLITION PLANS - SCIENCE CLASSROOMS WEST PD108 DEMOLITION PLANS - SCIENCE ROOMS EAST - CRAWLSPACE</p>	<p>PD109 DEMOLITION PLANS - SCIENCE ROOMS WEST - CRAWLSPACE 1A-P100 WATER ENTRANCE PLANS & DETAILS P100 PLUMBING PLANS - SANITARY MAIN REPLACEMENT P101 PLUMBING PLANS - SCIENCE & MIXING VALVE REPLACEMENT P102 PLUMBING PLANS - KITCHEN P103 PLUMBING PLANS - CLASSROOM AND HOME ECON P104 PLUMBING PLANS - MAIN ENTRANCE TR'S AND ART ROOM P105 PLUMBING PLANS - GYM TOILET ROOMS P106 PLUMBING PLANS - SCIENCE ROOMS EAST P107 PLUMBING PLANS - SCIENCE ROOMS WEST P108 PLUMBING PLANS - SCIENCE ROOMS EAST - CRAWLSPACE P109 PLUMBING PLANS - SCIENCE ROOMS WEST - CRAWLSPACE P110 PLUMBING PLANS - NURSE VENT TO ROOF P500 RISER DIAGRAMS - AUDITORIUM TOILETS & HOME EC P501 RISER DIAGRAMS - GYM TOILET ROOMS P502 RISER DIAGRAMS - SCIENCE WING P503 DETAIL DIAGRAMS P800 SCHEDULES</p> <p>ELECTRICAL</p> <p>1A-ES000 ELECTRICAL GENERAL NOTES, LEGENDS & ABBREVIATIONS ED100 ELECTRICAL DEMOLITION PLAN - FIRST FLOOR AREA A ED101 ELECTRICAL DEMOLITION PLANS - FIRST FLOOR AREAS B1 AND B2 ED102 ELECTRICAL DEMOLITION PLANS - FIRST FLOOR AREAS C & D ED103 ELECTRICAL DEMOLITION PLAN - FIRST FLOOR AREA E ED104 ELECTRICAL DEMOLITION PLANS - ENLARGED PART PLANS ED105 ELECTRICAL DEMOLITION PLAN - ENLARGED BOILER ROOM PLAN ED106 ELECTRICAL DEMOLITION PLAN - ROOF 1A-E100 POWER AND SYSTEM PLAN - FIRST FLOOR AREA A E100 POWER AND SYSTEM PLAN - FIRST FLOOR AREA A E101 POWER AND SYSTEM PLANS - FIRST FLOOR AREAS B1 & B2 E102 POWER AND SYSTEM PLANS - FIRST FLOOR AREAS C & D E103 POWER AND SYSTEM PLAN - FIRST FLOOR AREA E E104 POWER PLAN - ENLARGED MEZZANINE LEVEL E105 POWER PLAN - ENLARGED BOILER ROOM PLAN E106 POWER PLAN - ROOF E200 LIGHTING PLANS - FIRST FLOOR AREA A E201 LIGHTING PLANS - FIRST FLOOR AREAS B1 & B2 E202 LIGHTING PLANS - FIRST FLOOR AREAS C & D E203 LIGHTING PLAN - FIRST FLOOR AREA E E300 ELECTRICAL DETAILS E501 ELECTRICAL DETAILS E800 ELECTRICAL SCHEDULES E801 ELECTRICAL SCHEDULES</p> <p>AUDIO VISUAL</p> <p>TS100 AUDITORIUM AV SYSTEM LOWER DEVICE PLAN TS101 AUDITORIUM AV SYSTEM UPPER DEVICE PLAN TS102 AUDITORIUM AV SYSTEM CONDUIT RISERS, POWER, LEGEND TS103 AUDITORIUM AV SYSTEM ONE-LINE PART A TS104 AUDITORIUM AV SYSTEM ONE-LINE PART B TS105 AUDITORIUM AV SYSTEM ONE-LINE PART C TS106 AUDITORIUM AV SYSTEM ONE-LINE PART D TS107 AUDITORIUM AV SYSTEM ONE-LINE PART E TS108 AUDITORIUM AV SYSTEM PLATE AND PANEL DETAILS TS109 AUDITORIUM AV SYSTEM RACK ELEVATIONS TS110 AUDITORIUM AV SYSTEM SPEAKER CLUSTER DETAILS TS200 GYM SOUND SYSTEM LOWER DEVICE PLAN TS201 GYM SOUND SYSTEM UPPER DEVICE PLAN TS202 GYM SOUND SYSTEM CONDUIT RISERS, POWER, LEGEND TS203 GYM SOUND SYSTEM ONE-LINE PART A TS204 GYM SOUND SYSTEM ONE-LINE PART B TS205 GYM SOUND SYSTEM ONE-LINE PART C TS206 GYM SOUND SYSTEM RACK ELEVATIONS</p>
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TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THE PLANS AND SPECIFICATIONS ARE IN ACCORDANCE WITH APPLICABLE REQUIREMENTS OF THE ADOPTED CODES OF NYS (i.e. BUILDING, FIRE, PLUMBING, ETC.), ENERGY CONSERVATION CONSTRUCTION CODE OF NYS, INDUSTRIAL CODE RULE #56 AND CONSTRUCTION STANDARDS OF THE STATE OF NEW YORK EDUCATION DEPARTMENT.

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ARCHITECT'S PROJECT NO. 2023-105

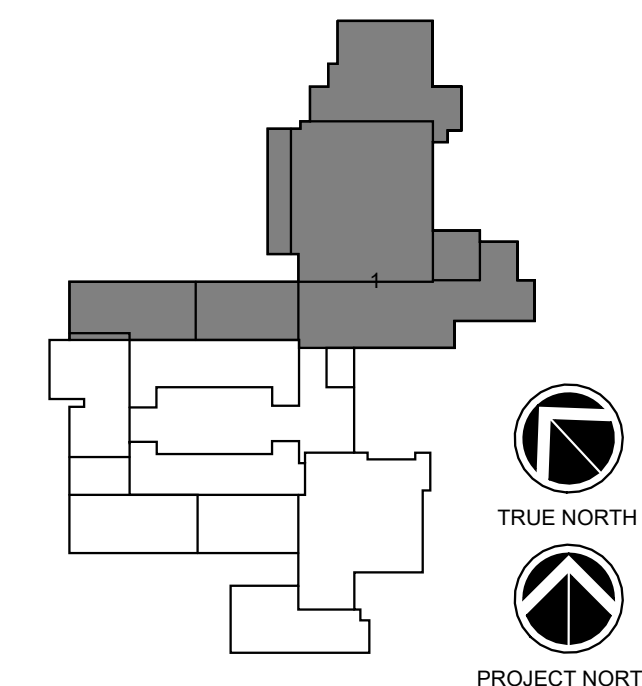
SET NO.

PROJECT STATUS: BID DATE: 12/16/2024

GENERAL PROJECT LEGEND

-  INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
-  INDICATES AREA OF WORK FOR THIS PROJECT
-  INDICATES AREA OF WORK FOR THIS PROJECT

KEY PLAN:



SED NO. 22-04-01-04-0-003-011

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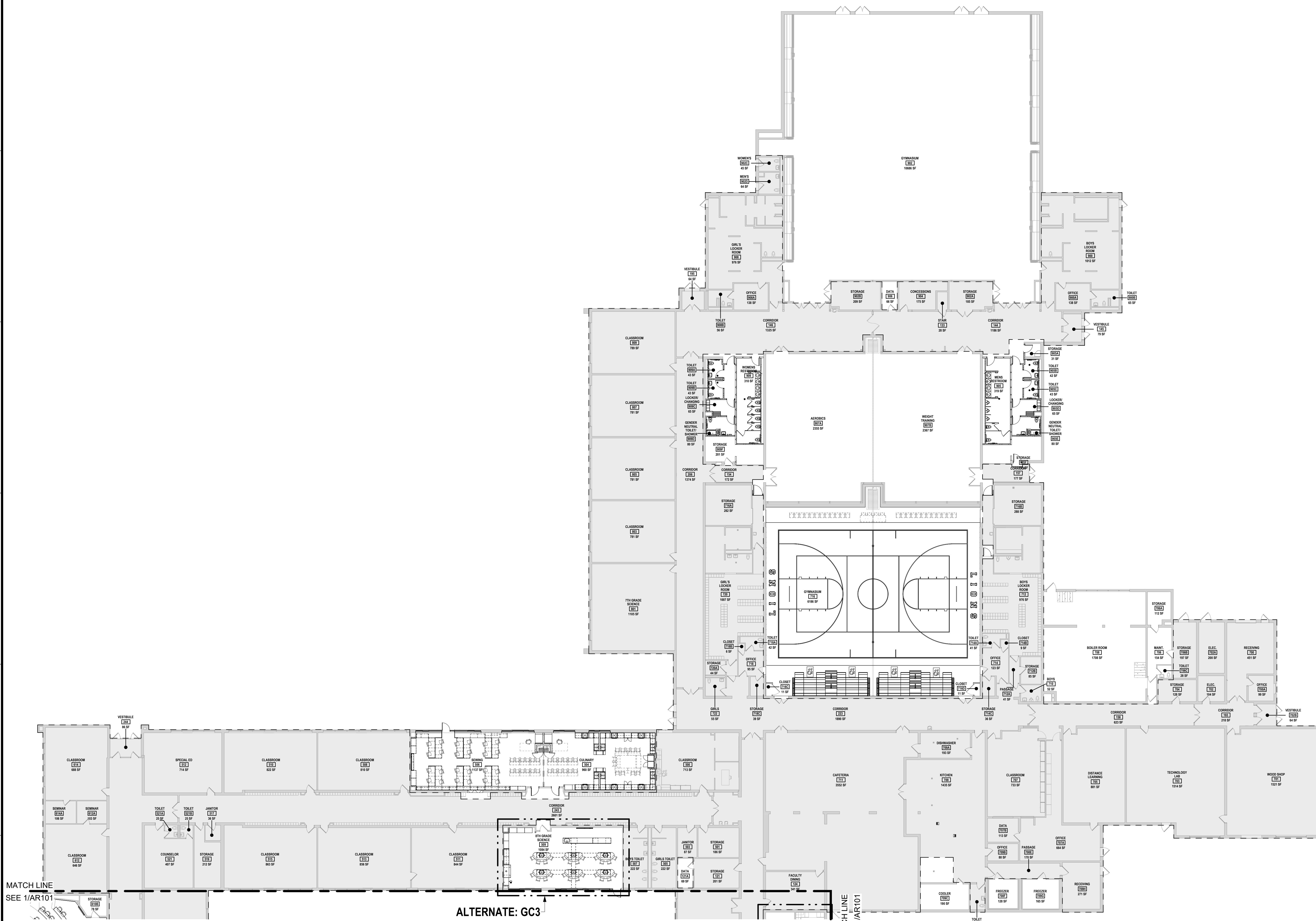
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REV	DATE	DESCRIPTION

BUILDING NUMBER: **HS**
SHEET NUMBER: **AR100**
BID



MATCH LINE
SEE 1/AR101

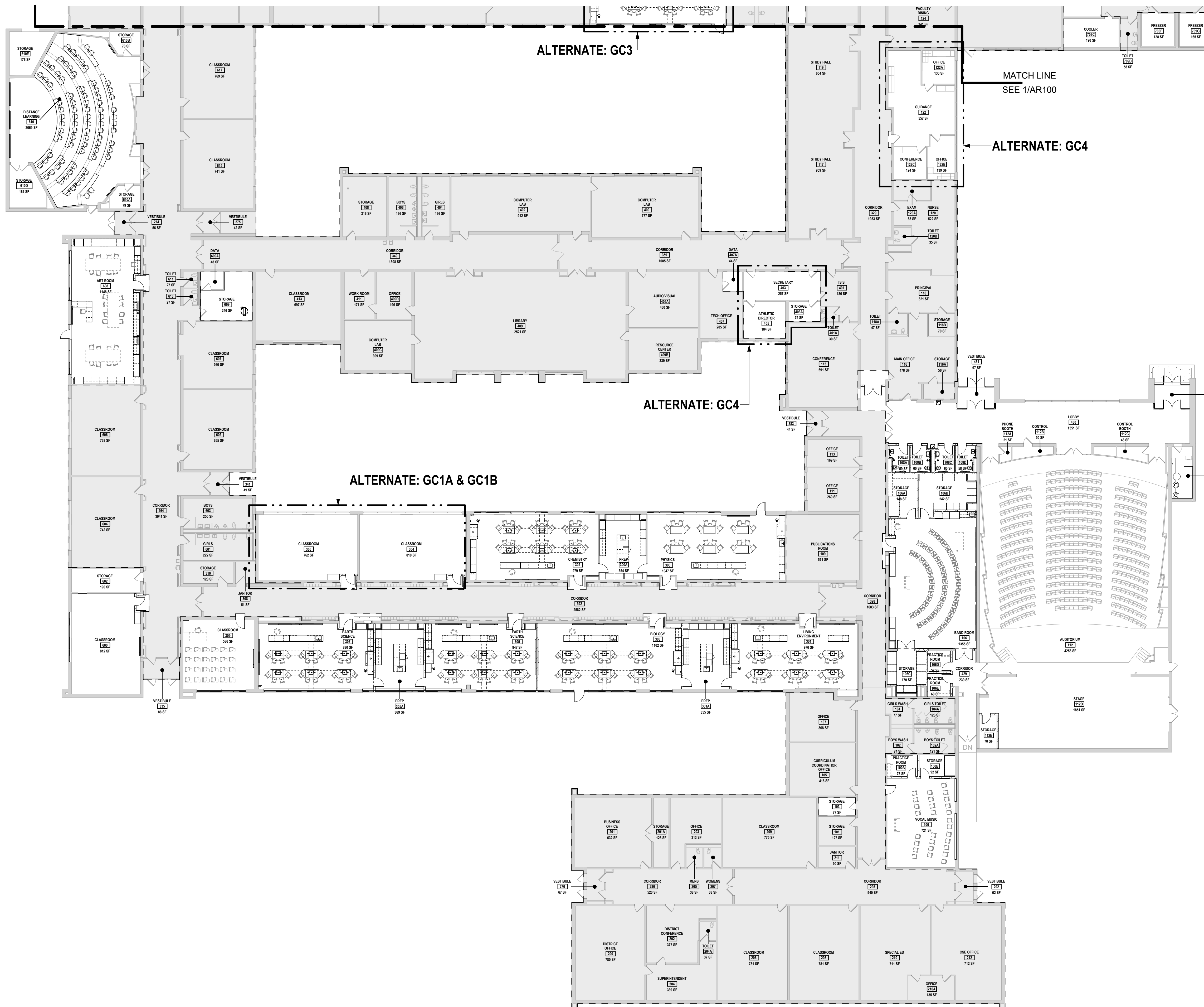
ALTERNATE: GC3

MATCH LINE
SEE 1/AR101

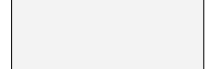


1 REFERENCE PLAN - AREA 1
SCALE: NOT TO SCALE

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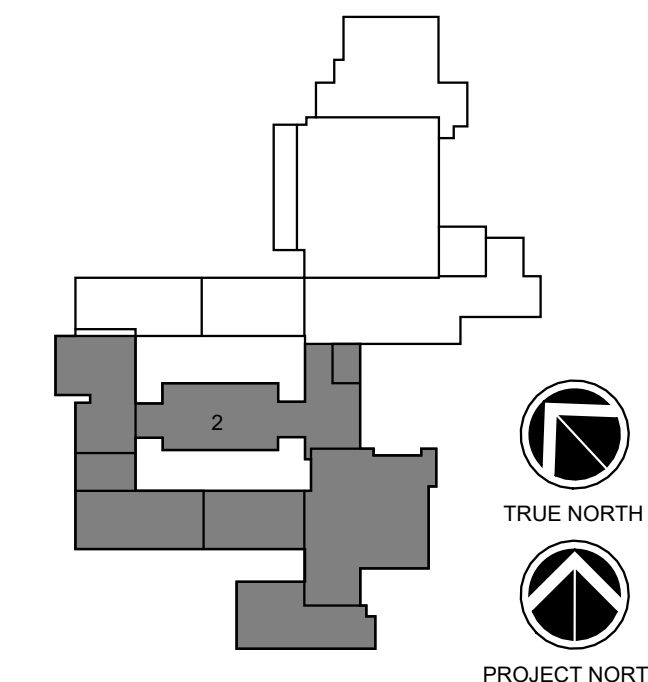
MATCH LINE
SEE 1/AR100



GENERAL PROJECT LEGEND

-  INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
-  INDICATES AREA OF WORK FOR THIS PROJECT
-  INDICATES AREA OF WORK FOR THIS PROJECT

KEY PLAN:



SED NO. 22-04-01-04-0-003-011

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REV	DATE	DESCRIPTION



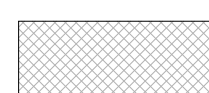
DRAWN BY MHK/IALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

REFERENCE PLAN - AREA 2

BUILDING NUMBER HS	SHEET NUMBER AR101 BID
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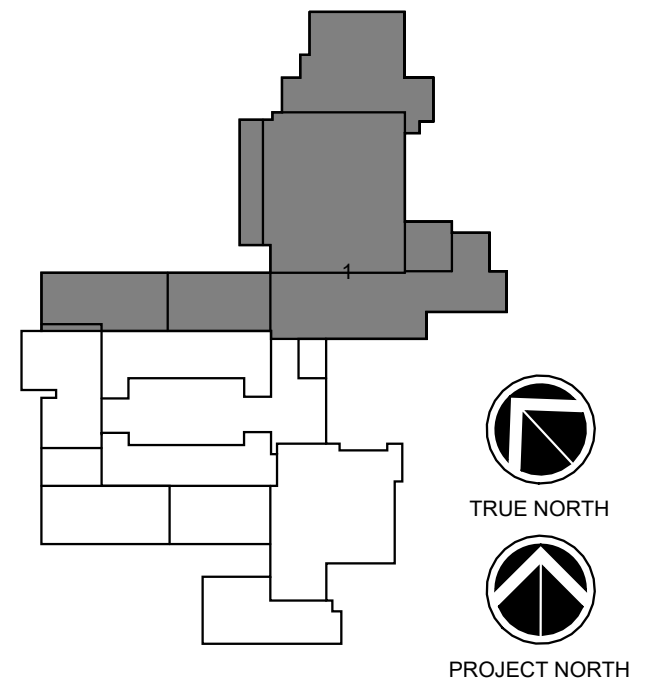
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SCALE: NOT TO SCALE

HAZARDOUS MATERIAL LEGEND

-  SLAB ON GRADE
-  PROJECT #2010-113 (2011)
-  PROJECT #91-105 (1995)

NOTE: THE EXISTING CRAWLSPACE INCLUDES DOMESTIC (HOT & COLD) WATER PIPING, MECHANICAL HOT WATER SUPPLY & RETURN PIPING AND POTENTIALLY ABANDONED STEAM PIPING. PARTIAL PIPING REPLACEMENTS HAVE OCCURRED IN THE CRAWLSPACE. IT IS ANTICIPATED THAT ASBESTOS CONTAINING PIPE FITTING INSULATION AND PIPE INSULATION MAY EXIST ON THE PIPING WHICH HAS NOT BEEN REPLACED. IT IS ALSO ANTICIPATED THAT THERE MAY BE HISTORICAL INCIDENTAL DISTURBANCES.

KEY PLAN:



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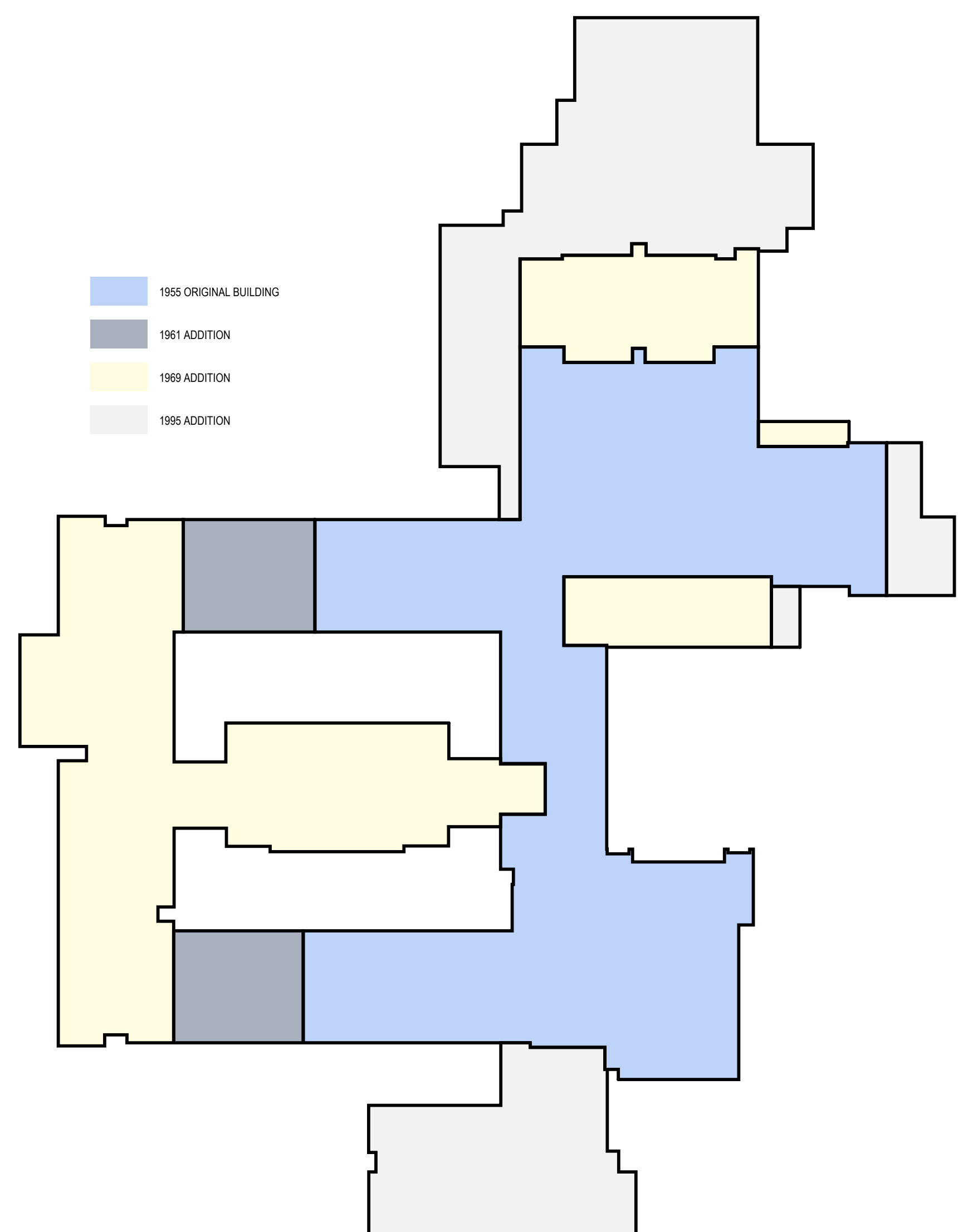
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REV	DATE	DESCRIPTION

DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

AREA 1 - REFERENCE PLAN - CRAWL SPACE - AREA 1

BUILDING NUMBER HS	SHEET NUMBER AR102 BID
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MATCH LINE
SEE 1/AR103

AREA D
HOME AND CAREERS

ALTERNATE: GC3A

MEZZANINE
MECHANICAL UPGRADES

MATCH LINE
SEE 1/AR103

AREA E
GYMNASIUMS AND LOCKER ROOMS

BOILER ROOM

COOLER/FREEZER

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AREA C
ALYSON ROOM AND
ART ROOM




MATCH LINE
SEE 1/AR102

MATCH LINE
SEE 1/AR102

AREA A
LOBBY, AUDITORIUM
AND MUSIC SUITE

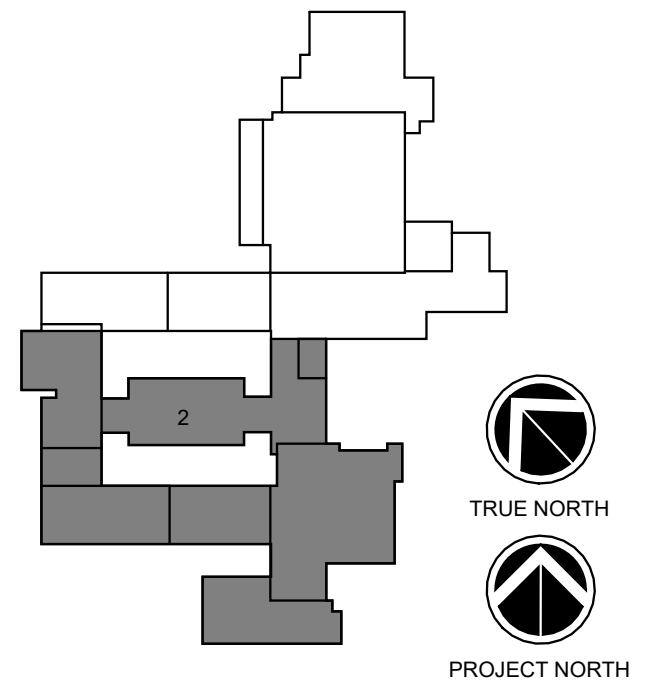
AREA B
SCIENCE DEPARTMENT

HAZARDOUS MATERIAL LEGEND

-  SLAB ON GRADE
-  PROJECT #2010-113 (2011)
-  PROJECT #91-105 (1995)

NOTE: THE EXISTING CRAWLSPACE INCLUDES DOMESTIC (HOT & COLD) WATER PIPING, MECHANICAL HOT WATER SUPPLY & RETURN PIPING AND POTENTIALLY ABANDONED STEAM PIPING. PARTIAL PIPING REPLACEMENTS HAVE OCCURRED IN THE CRAWLSPACE. IT IS ANTICIPATED THAT ASBESTOS CONTAINING PIPE FITTING INSULATION AND PIPE INSULATION MAY EXIST ON THE PIPING WHICH HAS NOT BEEN REPLACED. IT IS ALSO ANTICIPATED THAT THERE MAY BE HISTORICAL INCIDENTAL DISTURBANCES.

KEY PLAN:



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REV	DATE	DESCRIPTION

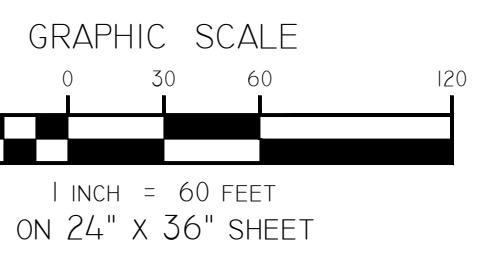
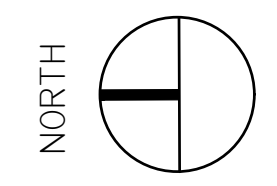
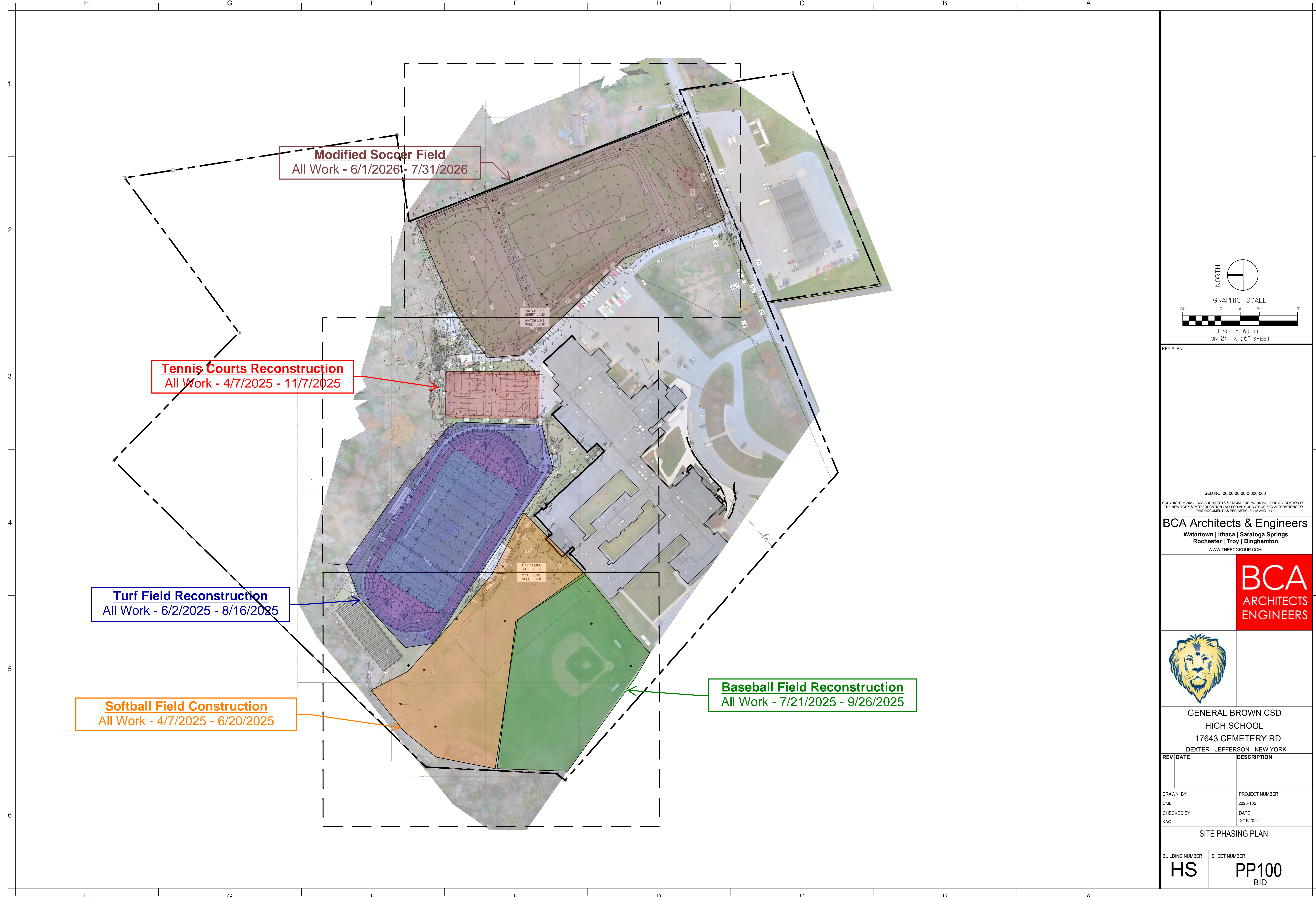
DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

AREA 2 - REFERENCE PLAN - CRAWL SPACE - AREA 2

BUILDING NUMBER HS	SHEET NUMBER AR103 BID
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KEY PLAN:

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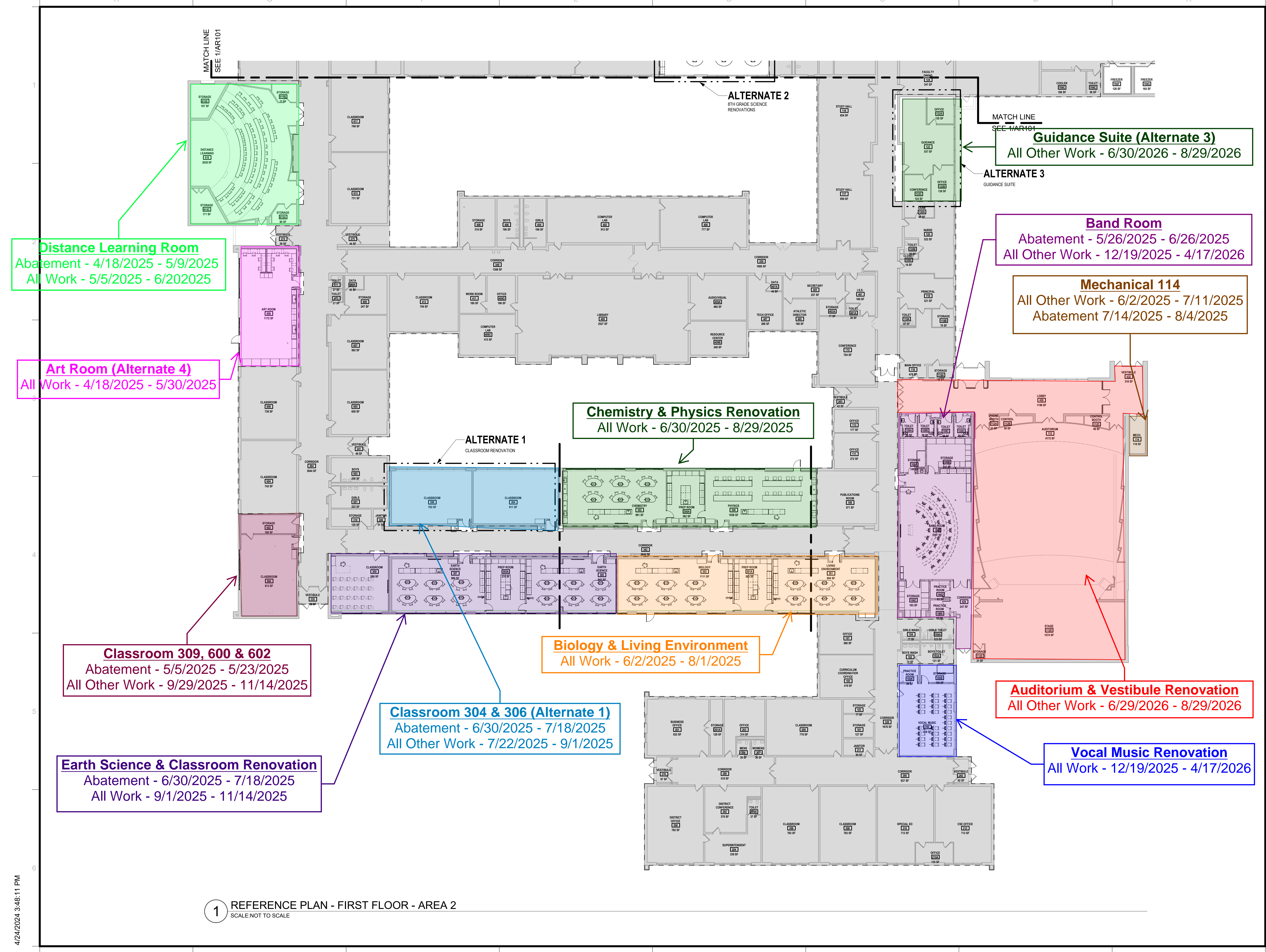
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REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

SITE PHASING PLAN

BUILDING NUMBER HS	SHEET NUMBER PP100 BID
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Distance Learning Room
 Abatement - 4/18/2025 - 5/9/2025
 All Work - 5/5/2025 - 6/20/2025

Art Room (Alternate 4)
 All Work - 4/18/2025 - 5/30/2025

Classroom 309, 600 & 602
 Abatement - 5/5/2025 - 5/23/2025
 All Other Work - 9/29/2025 - 11/14/2025

Earth Science & Classroom Renovation
 Abatement - 6/30/2025 - 7/18/2025
 All Work - 9/1/2025 - 11/14/2025

Classroom 304 & 306 (Alternate 1)
 Abatement - 6/30/2025 - 7/18/2025
 All Other Work - 7/22/2025 - 9/1/2025

Biology & Living Environment
 All Work - 6/2/2025 - 8/1/2025

Chemistry & Physics Renovation
 All Work - 6/30/2025 - 8/29/2025

Band Room
 Abatement - 5/26/2025 - 6/26/2025
 All Other Work - 12/19/2025 - 4/17/2026

Mechanical 114
 All Other Work - 6/2/2025 - 7/11/2025
 Abatement 7/14/2025 - 8/4/2025

Auditorium & Vestibule Renovation
 All Other Work - 6/29/2026 - 8/29/2026

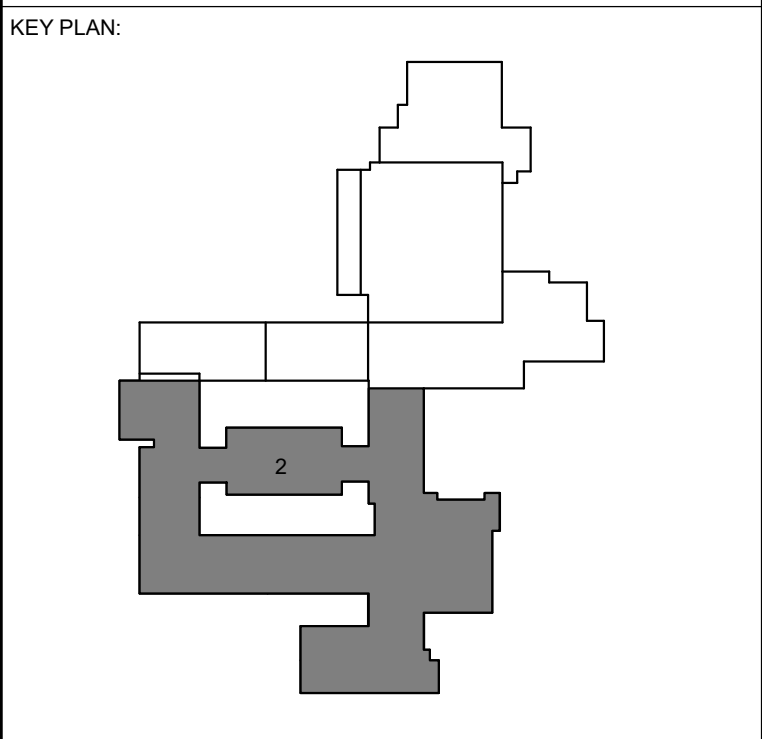
Vocal Music Renovation
 All Work - 12/19/2025 - 4/17/2026

Guidance Suite (Alternate 3)
 All Other Work - 6/30/2026 - 8/29/2026

1 REFERENCE PLAN - FIRST FLOOR - AREA 2
 SCALE: NOT TO SCALE

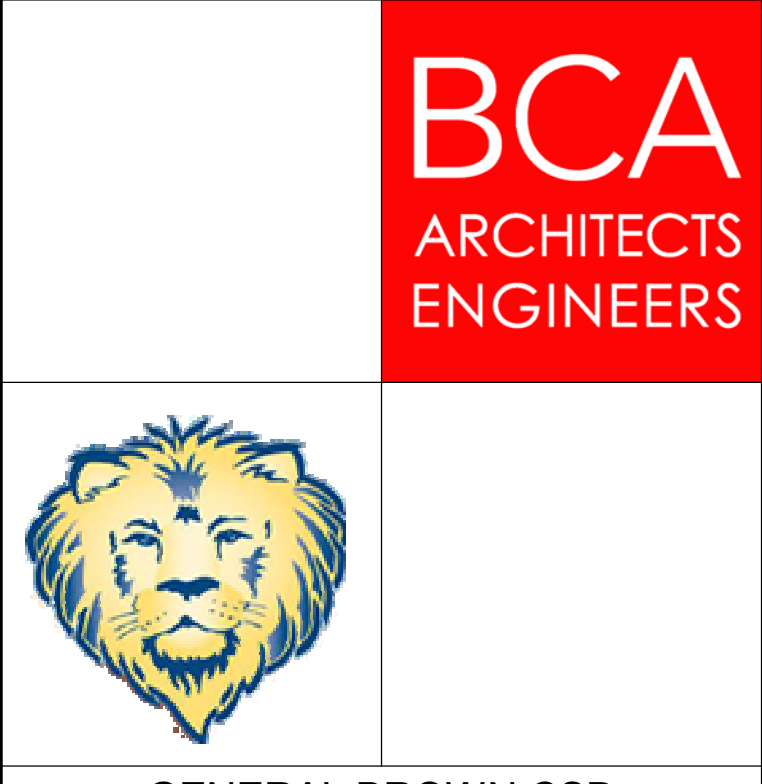
GENERAL PROJECT LEGEND

	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT - SQUARE FEET



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CHECKED BY MLC	DATE 12/16/2024
PHASING PLAN - AREA 2	
BUILDING NUMBER HS	SHEET NUMBER PP102 BID

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EXISTING PARKING CALCULATION

EXISTING PARKING SPACES	±146
EXISTING ACCESSIBLE SPACES	±13
TOTAL EXISTING SPACES	±159
PERCENTAGE OF ACCESSIBLE SPACES	±8%

NORTH

GRAPHIC SCALE

1 INCH = 100 FEET
ON 24" X 36" SHEET



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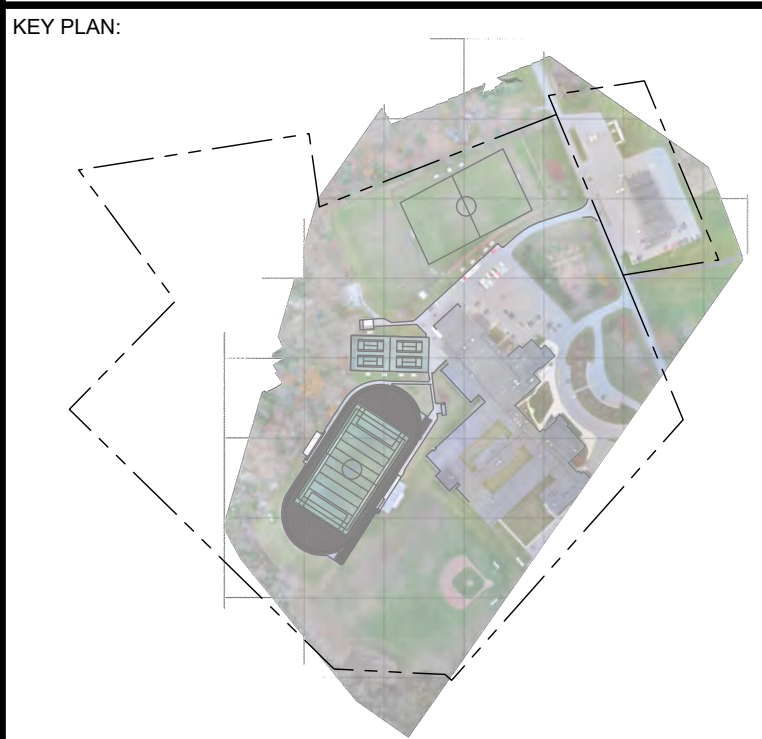
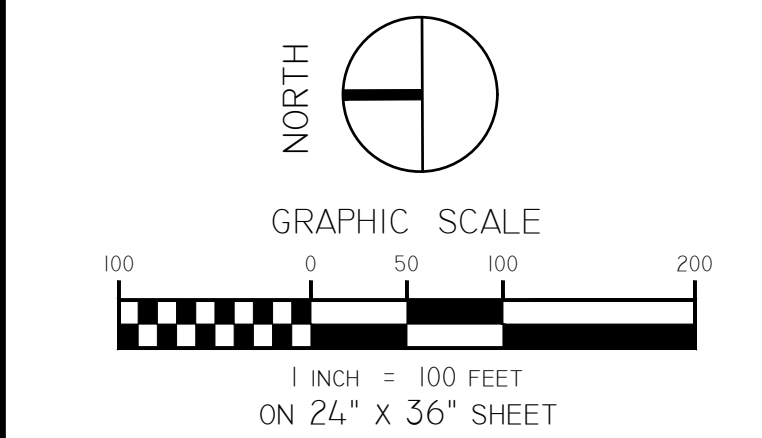
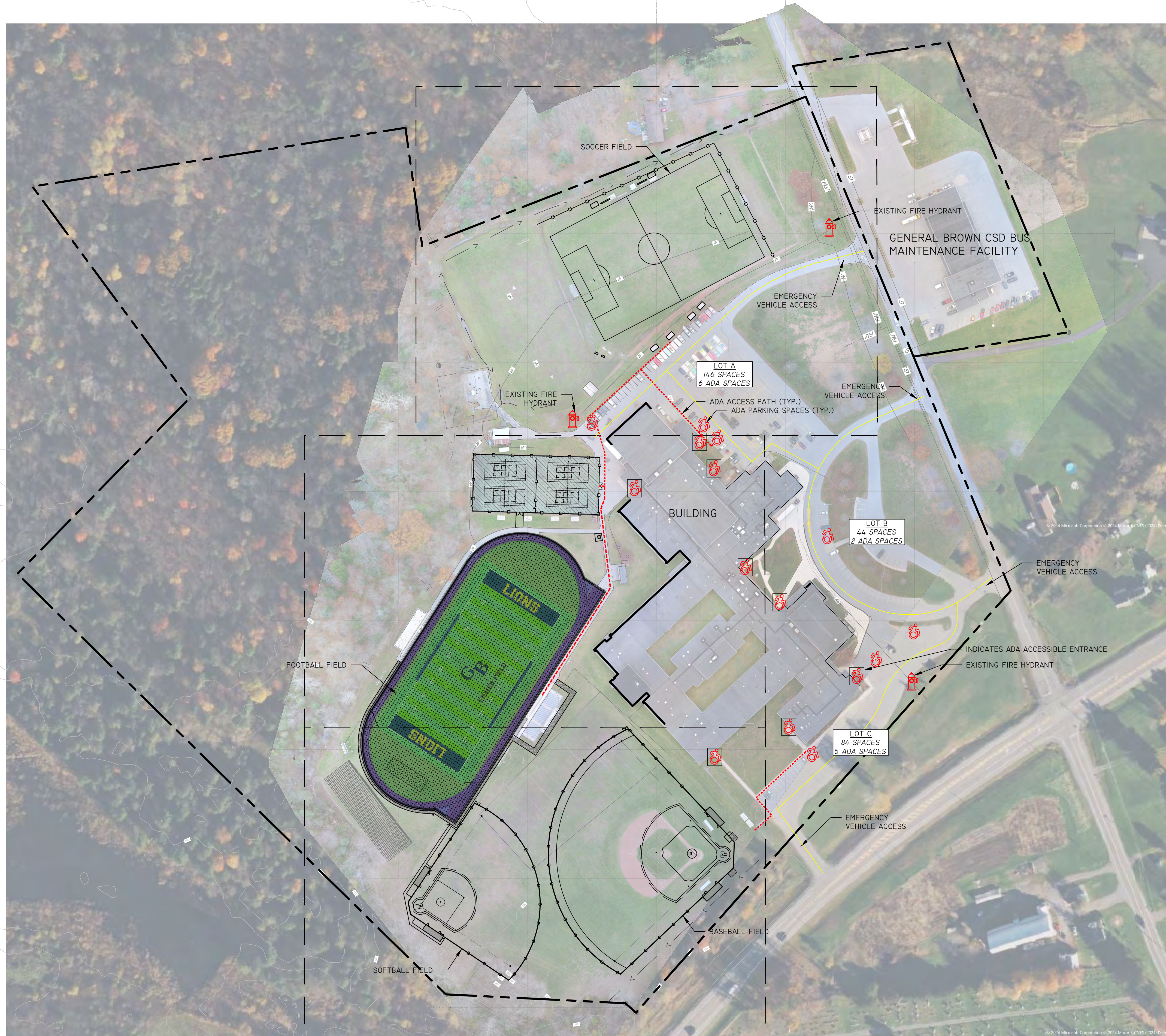
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DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/18/2024

SITE CODE COMPLIANCE PLAN - PHASE 1A

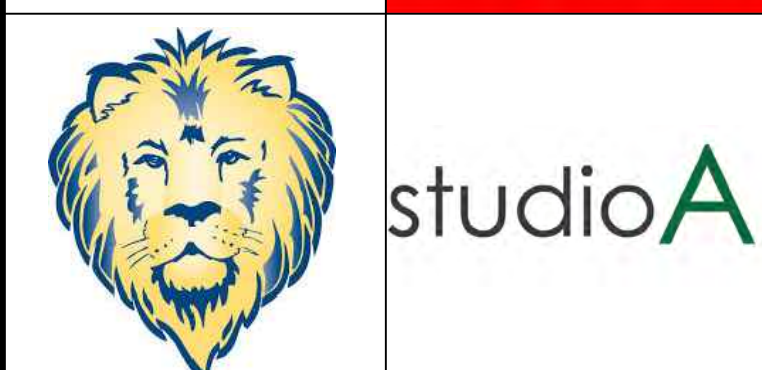
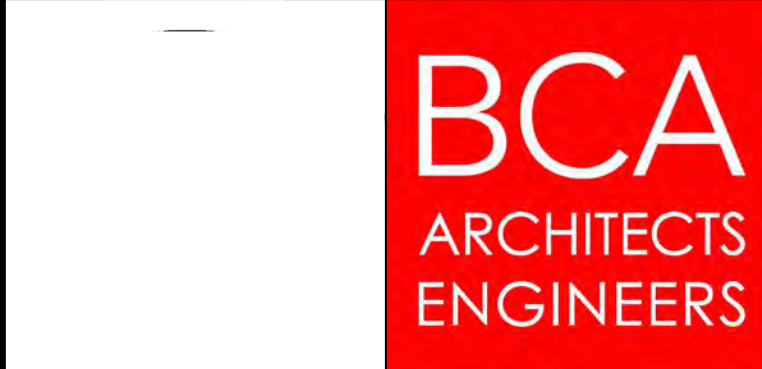
BUILDING NUMBER HS	SHEET NUMBER 1A-C100 BID
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12/13/2024 11:15:06 AM



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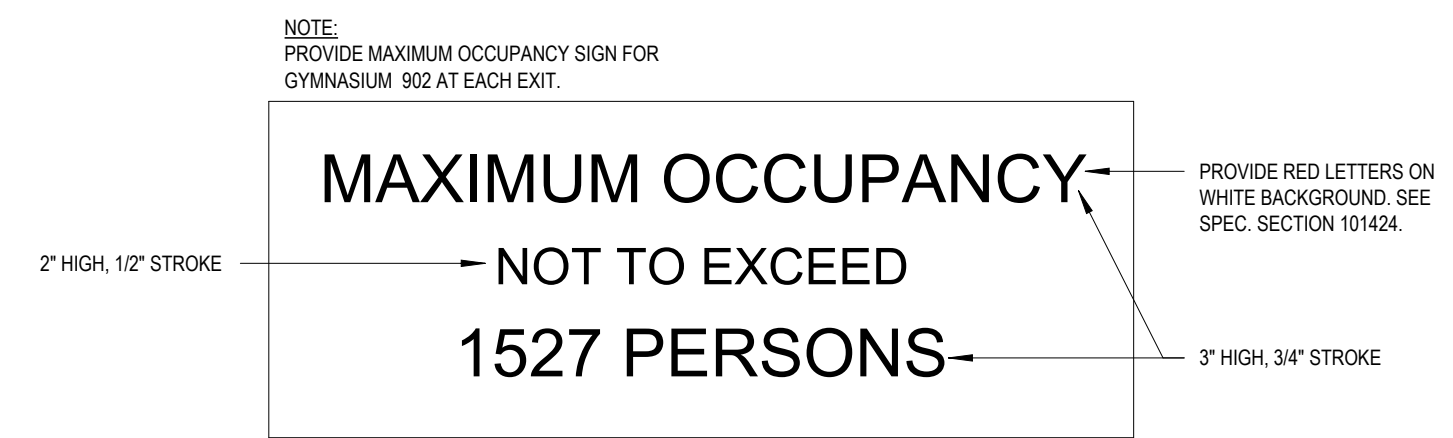
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 17643 CEMETERY RD
 DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

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BUILDING NUMBER HS	SHEET NUMBER C100 BID

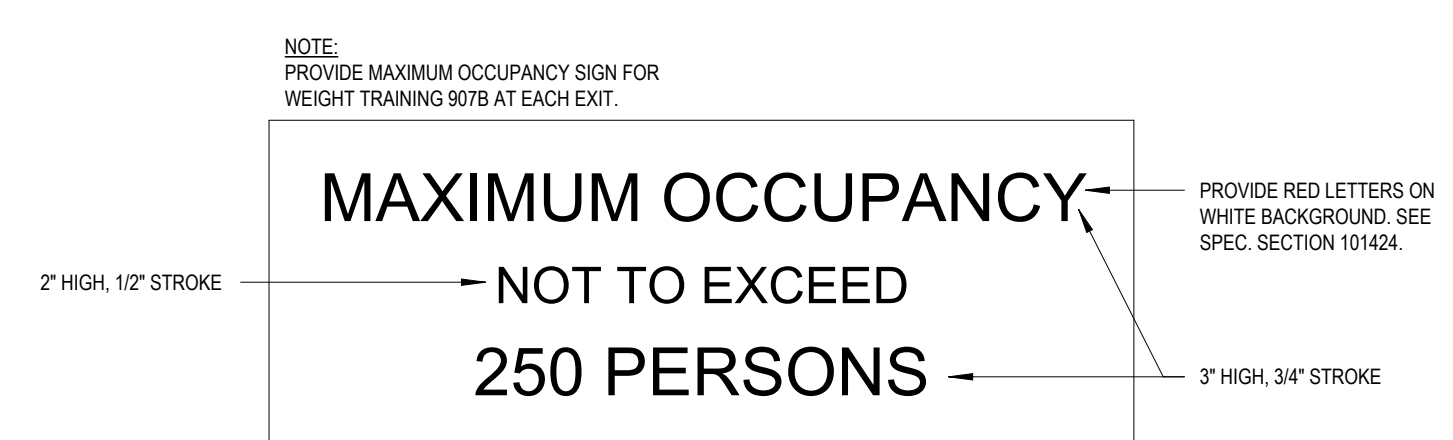
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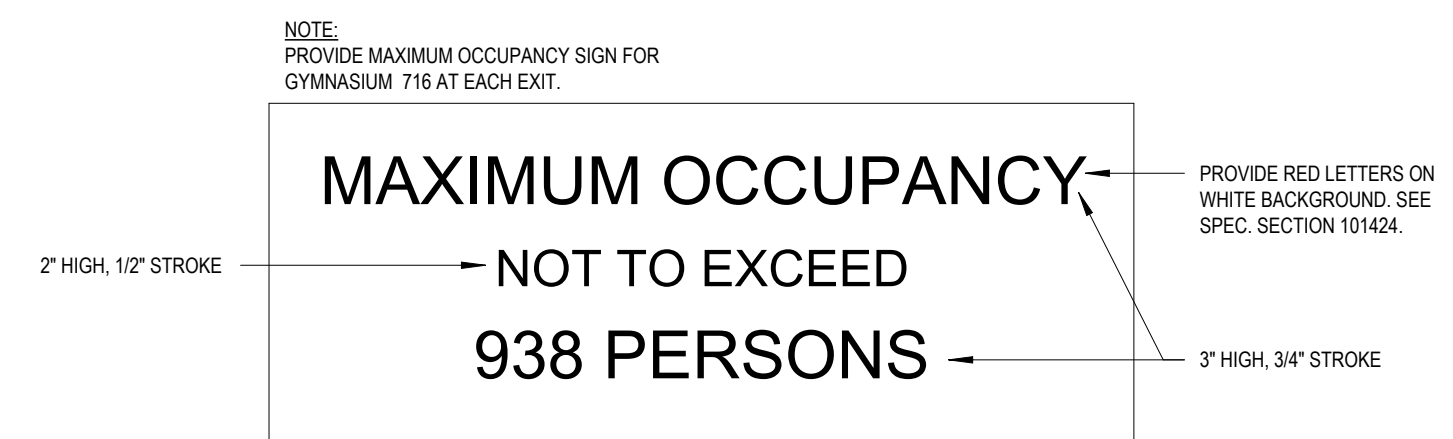
1 MAXIMUM OCCUPANCY SIGN - GYMNASIUM 902
SCALE: 1 1/2" = 1'-0"



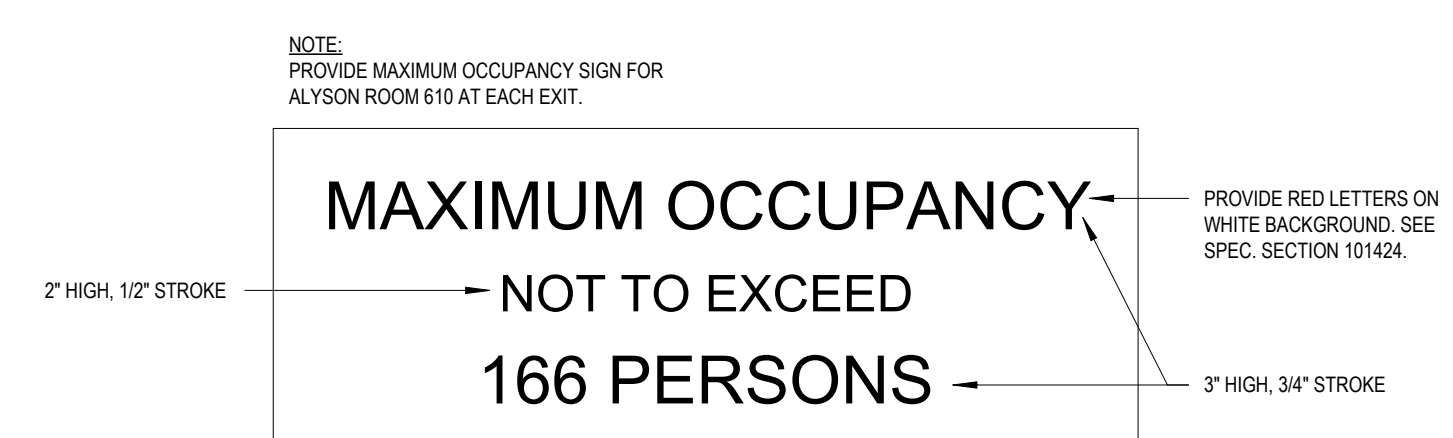
2 MAXIMUM OCCUPANCY SIGN - AEROBICS
SCALE: 1 1/2" = 1'-0"



3 MAXIMUM OCCUPANCY SIGN - WEIGHT TRAINING
SCALE: 1 1/2" = 1'-0"

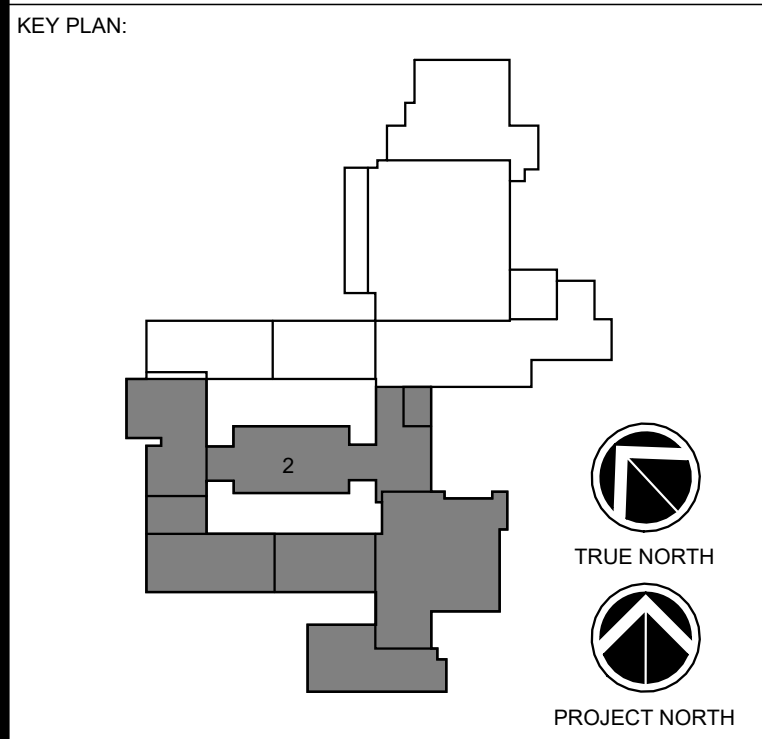


4 MAXIMUM OCCUPANCY SIGN - GYMNASIUM 716
SCALE: 1 1/2" = 1'-0"

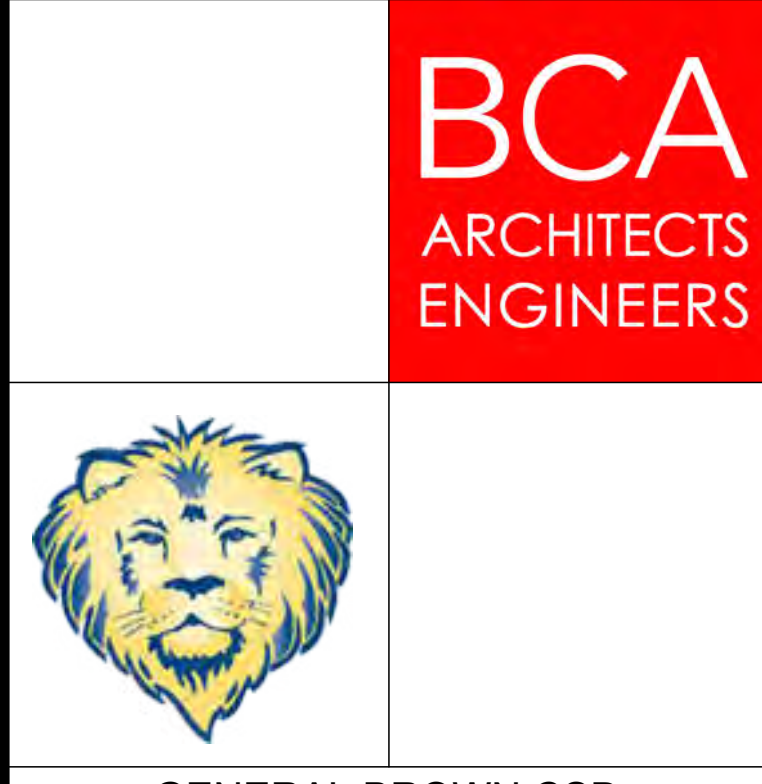


5 MAXIMUM OCCUPANCY SIGN - ALYSON ROOM
SCALE: 1 1/2" = 1'-0"

BUILDING CODE COMPLIANCE INFORMATION			
APPLICABLE CODE REFERENCES			
MANUAL OF PLANNING STANDARDS FOR SCHOOL BUILDINGS AS ESTABLISHED BY THE NYS EDUCATION DEPARTMENT			
2020 NEW YORK STATE BUILDING CODE			
2020 NEW YORK STATE EXISTING BUILDING CODE			
2020 NEW YORK STATE FIRE CODE			
2020 NEW YORK STATE MECHANICAL CODE			
2020 NEW YORK STATE PLUMBING CODE			
2020 NEW YORK STATE ENERGY CODE			
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN			
GENERAL PROJECT INFORMATION			
PROJECT NAME	GENERAL BROWN CENTRAL SCHOOL DISTRICT PHASE 1A		
PROJECT NUMBER (ARCHITECTS)	2023-105		
PROJECT ADDRESS	17643 CEMETERY RD, DEXTER		
ZIP CODE	13634-3001		
COUNTY	JEFFERSON		
STATE	NEW YORK		
EXISTING USE	SCHOOL		
OWNER			
SUPERINTENDANT	BRIAN MOORE		
CONTACT ADDRESS	17643 CEMETERY RD, DEXTER		
CONTACT NUMBER	315-779-2300 OPTION 9		
PLANNING JURISDICTION			
COUNTY	JEFFERSON		
CITY / TOWN	DEXTER		
STATE	NEW YORK		
PRIMARY DESIGN PROFESSIONAL			
PRINCIPAL IN CHARGE	MARI L CEDIL		
MANAGER / AGENT	ARIEL L SNYDER		
LICENSE NUMBER			
CONTACT NUMBER	(MLC) 315-783-8130 ext 215 (ALS) 315-782-8130 ext 240		
PROJECT SCOPE			
CLASSIFICATION OF WORK	ALTERATION LEVEL 1 AND ALTERATION LEVEL 2		
AREA OF WORK	LEVEL 1 ALTERATION	19,270 SF	
	LEVEL 2 ALTERATION	26,810 SF	
SPRINKLER	NOT REQUIRED		
BUILDING / SITE INFORMATION			
EXISTING BUILDING			
BUILDING CONSTRUCTION TYPE	1955 ORIGINAL	TYPE #B	
	1961 ADDITION		
	1969 ADDITION		
	1995 ADDITION		
TOTAL STORIES	1 STORY		
SPRINKLER	EXISTING BUILDING (NOT SPRINKLERED)		
OCCUPANCY CLASSIFICATION			
PRIMARY OCCUPANCY	(GROUP E) EDUCATIONAL GRADES 7-12		
	(GROUP A-1) AUDITORIUM		
	(GROUP A-2) CAFETERIA		
	(GROUP A-3) LIBRARY		
	(GROUP A-4) GYMNASIUM		
	(GROUP B) ADMINISTRATIVE OFFICES AND NURSES OFFICE		
	(GROUP S-2) LOW HAZARD STORAGE		
ACCESSORY OCCUPANCIES			
INCIDENTAL USE AREAS			
TOILET, MECHANICAL, ELECTRICAL, JANITORIAL AND MISC STORAGE AREAS			
GROSS BUILDING HEIGHT & AREA			
	ALLOWED	PROVIDED	CODE
TOTAL BUILDING HEIGHT	55'-0"	32'-0" (GYM)	IBC 504.3
NUMBER OF STORIES	2 STORIES	1 STORY	IBC 504.4
1ST LEVEL (ABOVE GRADE PLANE)	TOTAL	152,725 SF (EXISTING)	IBC 506.2
	100 WING	25,344 SF	
	200 WING	9,398 SF	
	300 WING	13,497 SF	
	400 WING	11,879 SF	
	500 WING	14,388 SF	
	600 WING	17,245 SF	
	700 WING	29,876 SF	
	800 WING	6,051 SF	
	900 WING	25,066 SF	
	MEZZANINE (N)	2,646 SF	
	MEZZANINE (S)	1,200 SF	
MEANS OF EGRESS			
	FUNCTION	FACTOR	CODE
	CLASSROOM	20 NET SF	
	SHOPS/ VOCATIONAL AREAS	50 NET SF	
	LOCKERS	50 GROSS SF	
	LIBRARY (STACK AREA)	100 GROSS SF	
	EXERCISE ROOMS	50 GROSS SF	
	STAGES / PLATFORMS	15 NET SF	
	BUSINESS	150 GROSS SF	IBC(1) 1004.5
	STORAGE / MECHANICAL EQUIPMENT ROOM	300 GROSS SF	
	ASSEMBLY (CONCENTRATED)	7 NET	
	ASSEMBLY (STANDING)	5 NET	
	ASSEMBLY (UNCONCENTRATED)	15 NET	1005.3.1
	STAIRS	0.3 IN / OCCUPANT	1005.3.2
	DOORS / OTHER	0.2 IN / OCCUPANT	
	STAIRS	60	SED
	DOORS	90	
	NOT MORE THAN 1 STORY ABOVE GRADE	100	1017.2
	TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM	200	1020.4
	DEAD END CORRIDOR	20' MAX	SED
	TRAVEL DISTANCE TO AN EXTERIOR DOOR AT GROUND FLOOR WITHOUT SPRINKLER SYSTEM	150	SED
	TRAVEL DISTANCE TO A STAIR ENCLOSURE AT OTHER THAN GROUND FLOOR WITHOUT SPRINKLER SYSTEM	120'	
MAXIMUM OCCUPANCY BASED UPON EGRESS WIDTH PER OCCUPANT WITHOUT SPRINKLERS, EU PER 22" CLEAR OPENING			
	STAIRS	60	SED
	DOORS	90	
	NOT MORE THAN 1 STORY ABOVE GRADE	100	1017.2
	TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM	200	1020.4
	DEAD END CORRIDOR	20' MAX	SED
	TRAVEL DISTANCE TO AN EXTERIOR DOOR AT GROUND FLOOR WITHOUT SPRINKLER SYSTEM	150	SED
	TRAVEL DISTANCE TO A STAIR ENCLOSURE AT OTHER THAN GROUND FLOOR WITHOUT SPRINKLER SYSTEM	120'	
SITE			
CLIMATE ZONE	6A (JEFFERSON)		
SITE ACREAGE (TOTAL)	49.37 ACRES		
SITE ACREAGE AFFECTED (PROJECT)	2.73 ACRES		
FEMA FLOOD ZONE	ZONE C		



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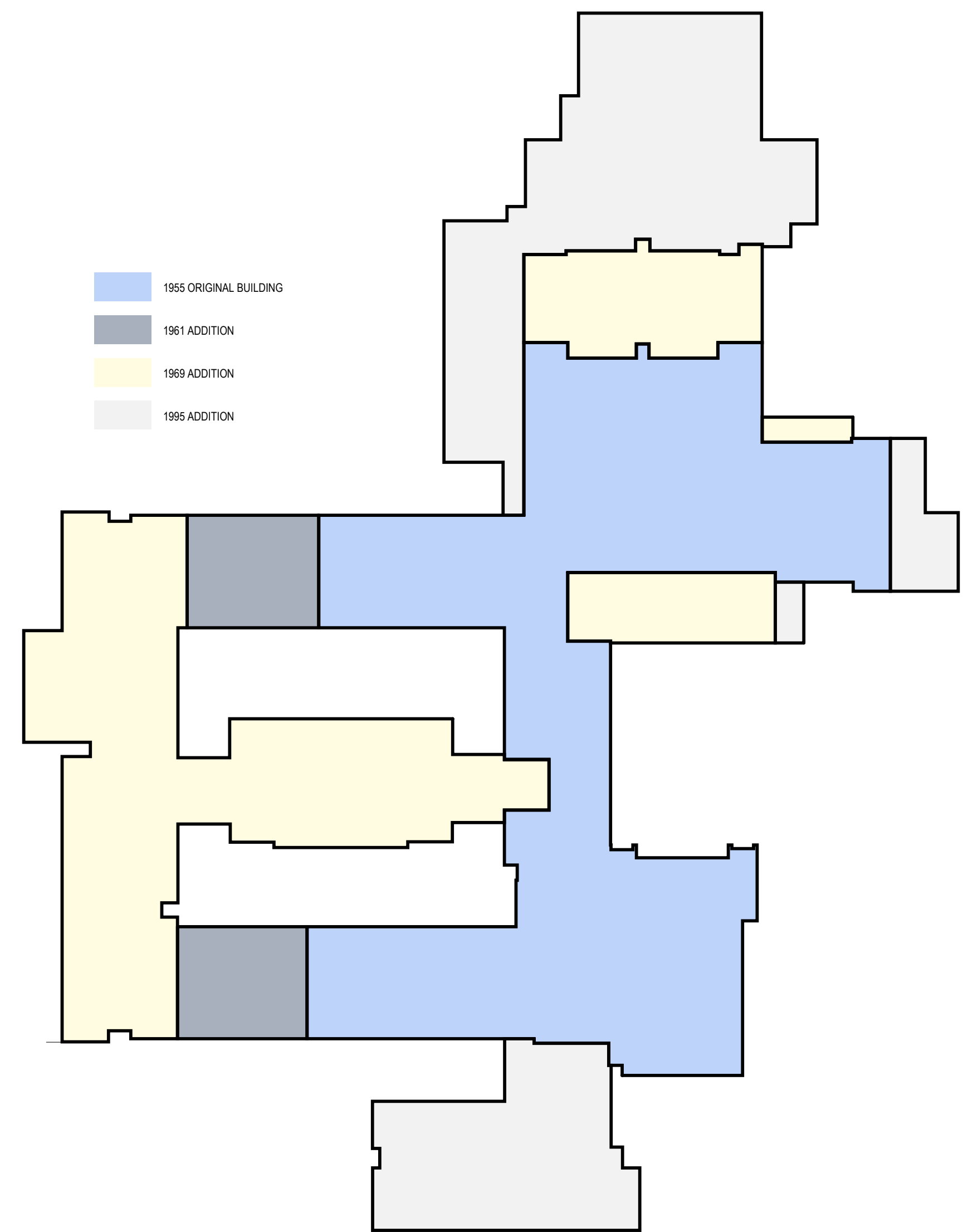
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REV	DATE	DESCRIPTION

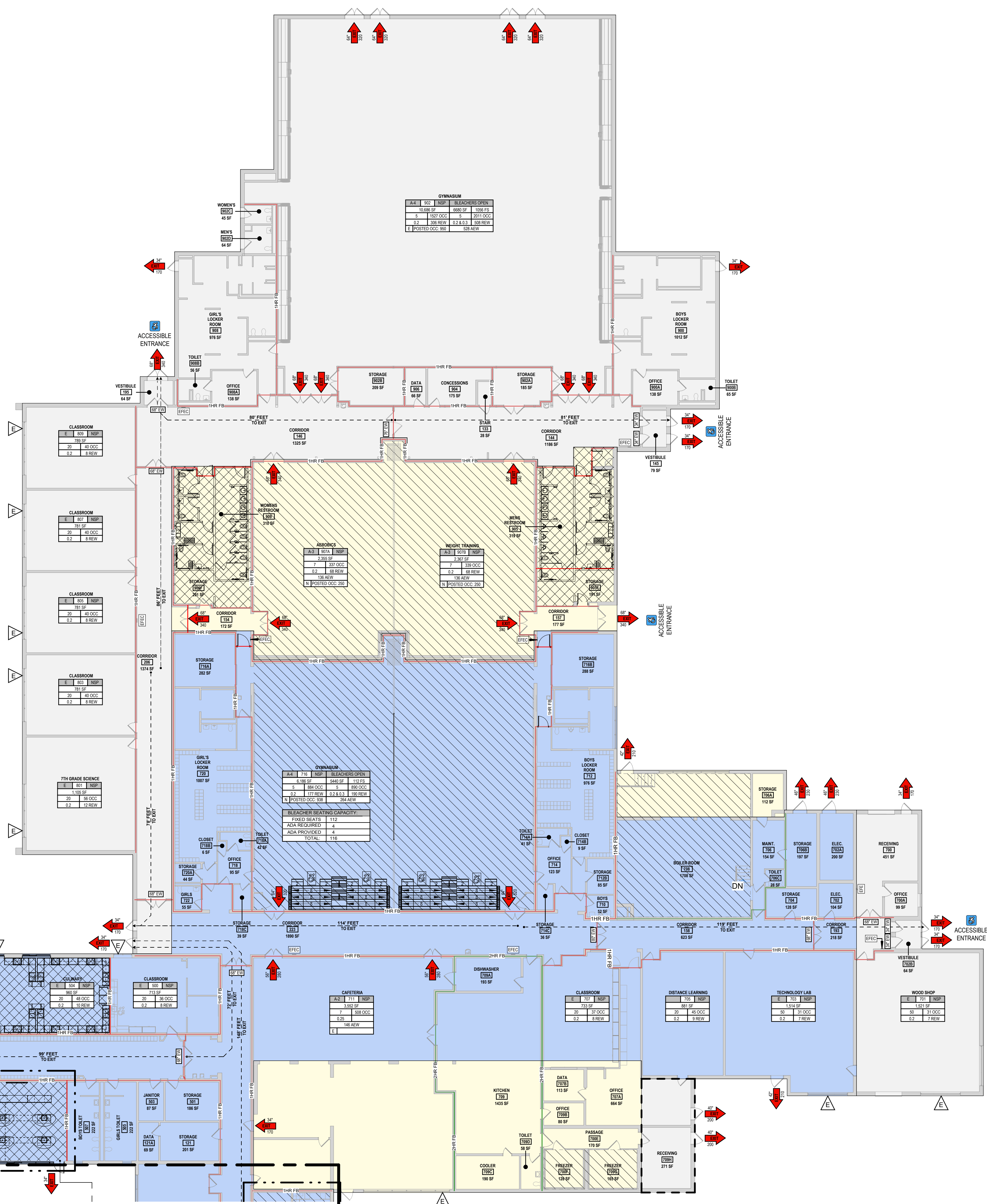
DRAWN BY: MJK/ALS PROJECT NUMBER: 2023-105
 CHECKED BY: MLC DATE: 12/16/2024

CODE COMPLIANCE - ANALYSIS

BUILDING NUMBER: **HS** SHEET NUMBER: **CC101**
 BID



VINTAGE PLAN
SCALE: 1" = 60'-0"



ALTERNATE: GC3

1 CODE COMPLIANCE PLAN - AREA 1
SCALE: NOT TO SCALE

FIRE BARRIER LEGEND

- EXISTING 1 HR FIRE BARRIER
- EXISTING 2 HR FIRE BARRIER

CODE COMPLIANCE LEGEND

GENERAL CODE COMPLIANCE TAG:

ROOM NAME	ROOM	SPRINKLER:
OCCUPANCY	AREA	NSP = NO SPRINKLER
LOAD FACTOR	1.00C	SP = SPRINKLERED
EGRESS FACTOR	0.2	ARE = OCCUPANT LOAD
	0.3	OC = OCCUPANT LOAD
	0.2	REW = REQUIRED EGRESS WIDTH

ASSEMBLY CODE COMPLIANCE TAG:

ROOM NAME	ROOM	ACTUAL EGRESS WIDTH PROVIDED
OCCUPANCY	AREA	MAXIMUM OCCUPANCY SIGN:
LOAD FACTOR	1.00C	E = EXISTING SIGN
EGRESS FACTOR	0.2	N = NEW SIGN
	0.3	
	0.2	

AUDITORIUM CODE COMPLIANCE TAG:

ROOM	NUMBER OF FIXED SEATS
REMAINING SF OUTSIDE OF FIXED SEATING AREAS	REQUIRED EGRESS WIDTH / ACTUAL EGRESS WIDTH PROVIDED
PROVIDED ACCESSIBLE SEATING	REQUIRED ACCESSIBLE SEATING
	REQUIRED MAX SEATING
	MAXIMUM OCCUPANCY SIGN: (E) EXISTING SIGN, (N) PROVIDE NEW SIGN

GYMNASIUM CODE COMPLIANCE TAG

ROOM	BLEACHER SEATING CAPACITY
REMAINING SF OUTSIDE OF FIXED SEATING AREAS (BLEACHERS)	0.2 OCC LOAD FACTOR FOR AREA, 0.3 OCC LOAD FACTOR FOR BLEACHER

EXIT TAG:

- EXIT WIDTH
- EXISTING RESCUE WINDOW
- ALTERATION LEVEL 1
- ALTERATION LEVEL 2
- TRAVEL DISTANCE

KEY PLAN:

TRUE NORTH
PROJECT NORTH

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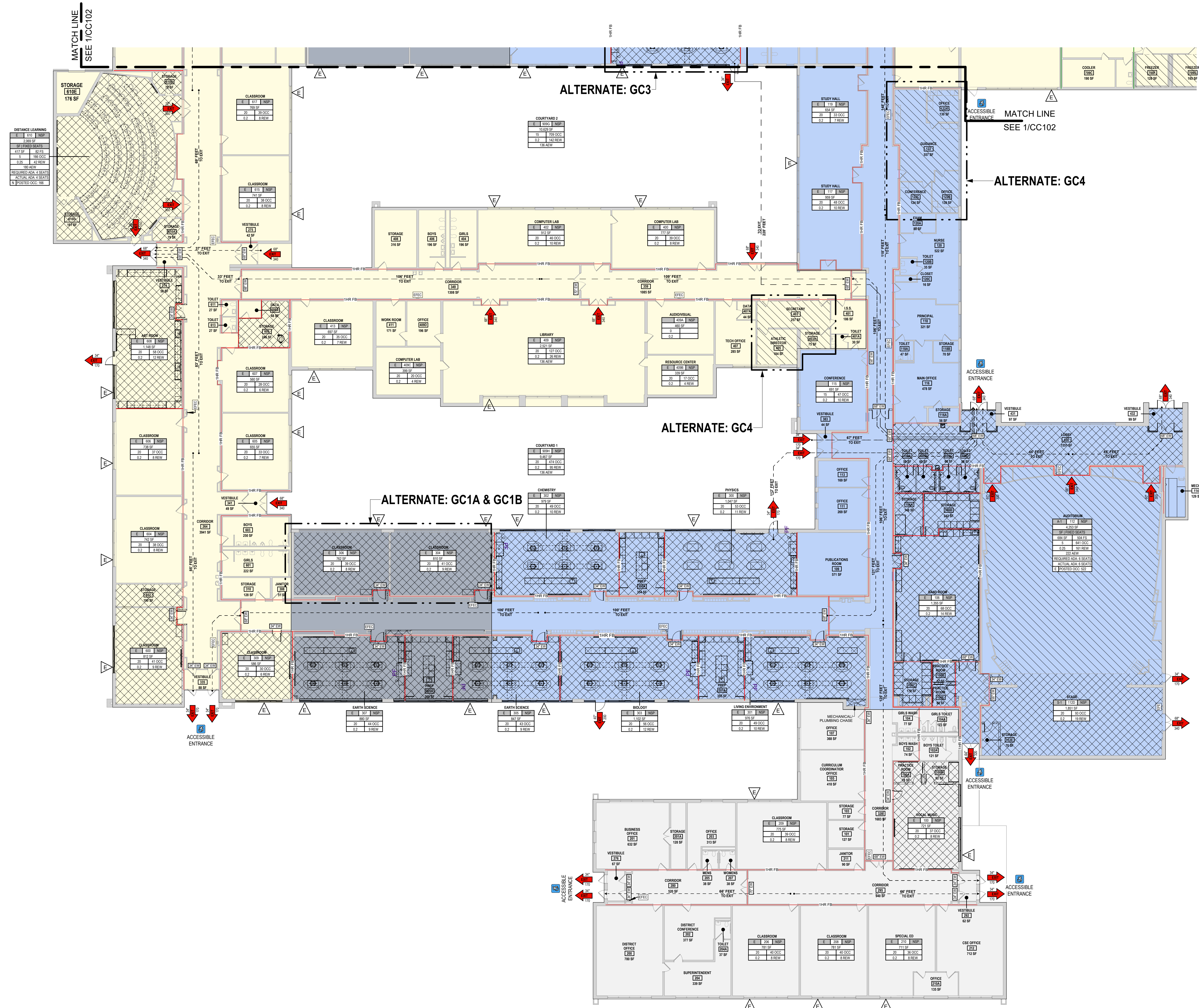
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CHECKED BY: MLC DATE: 12/16/2024

CODE COMPLIANCE PLAN - AREA 1

BUILDING NUMBER: HS SHEET NUMBER: CC102
BID



DISTANCE LEARNING

ROOM	NSP
3000	
SPRINKLED SEATS	
411 SF	32.00
NSP	18.00
0.25	42.00
NSP	
REQUIRED ADA SEATS	
ACTUAL ADA SEATS	
POSTED OCC. 100	

1 CODE COMPLIANCE PLAN - AREA 2
SCALE: NOT TO SCALE

FIRE BARRIER LEGEND

- EXISTING 1 HR FIRE BARRIER
- EXISTING 2 HR FIRE BARRIER

CODE COMPLIANCE LEGEND

GENERAL CODE COMPLIANCE TAG:

ROOM NAME	ROOM	NSP	SP
OCCUPANCY	100	100	100
LOAD FACTOR	20	30.00C	30.00C
EGRESS FACTOR	0.2	1.00W	1.00W

ASSEMBLY CODE COMPLIANCE TAG:

ROOM NAME	ROOM	NSP	SP
OCCUPANCY	100	100	100
LOAD FACTOR	20	30.00C	30.00C
EGRESS FACTOR	0.2	1.00W	1.00W

AUDITORIUM CODE COMPLIANCE TAG:

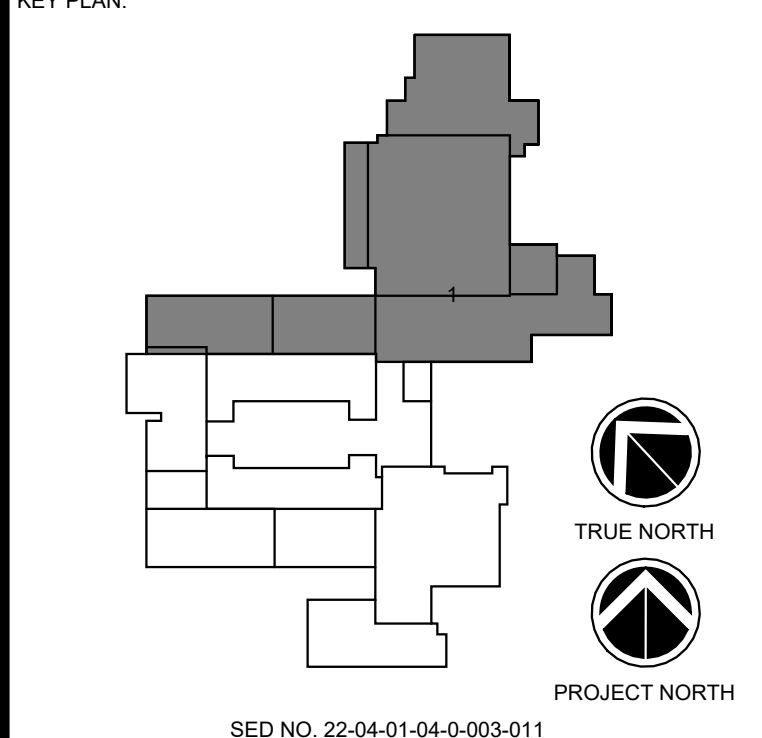
ROOM	NSP	SP
100	100	100
100	100	100
100	100	100

GYMNASIUM CODE COMPLIANCE TAG

ROOM	NSP	SP
100	100	100
100	100	100
100	100	100

EXIT TAG

- EXIT WIDTH
- EXIT CAPACITY
- EXISTING RESCUE WINDOW
- ALTERATION LEVEL 1
- ALTERATION LEVEL 2
- TRAVEL DISTANCE



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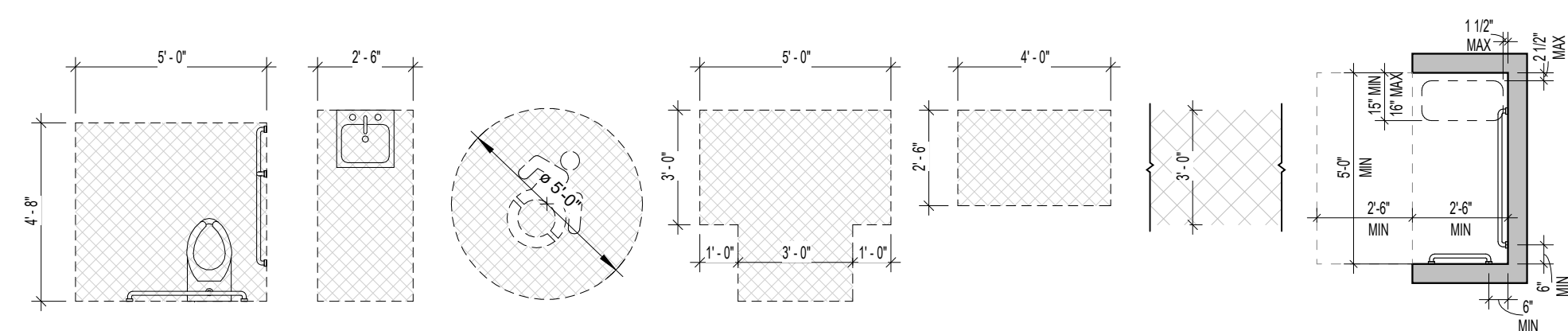
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REV	DATE	DESCRIPTION

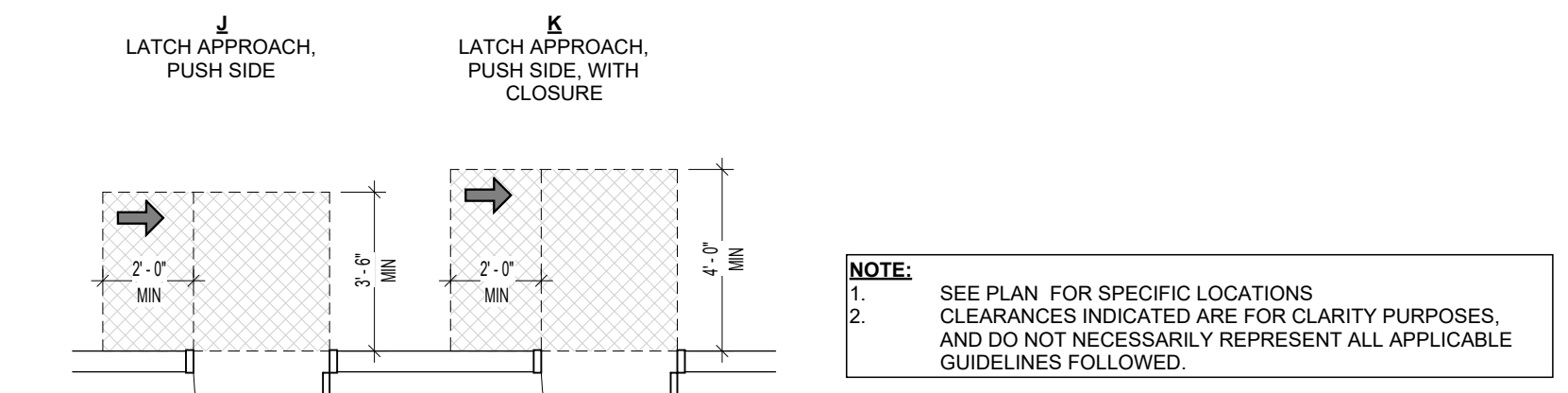
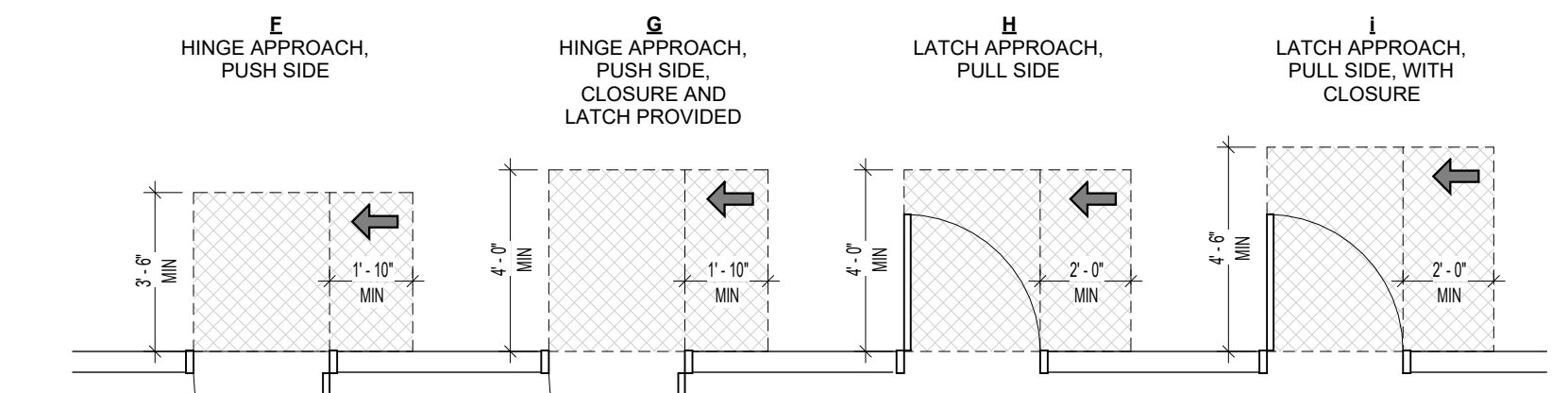
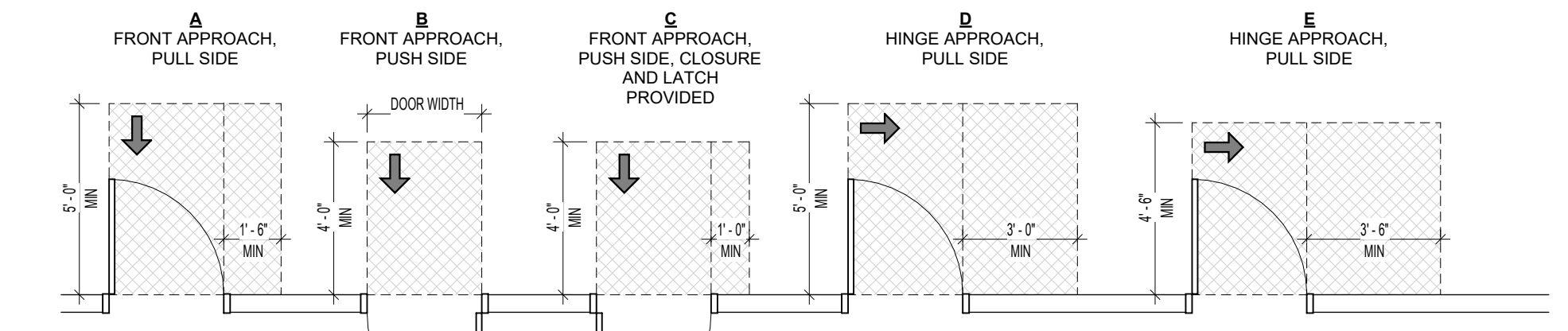
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CHECKED BY: MLC DATE: 12/16/2024

CODE COMPLIANCE PLAN - AREA 2

BUILDING NUMBER	SHEET NUMBER
HS	CC103
	BID

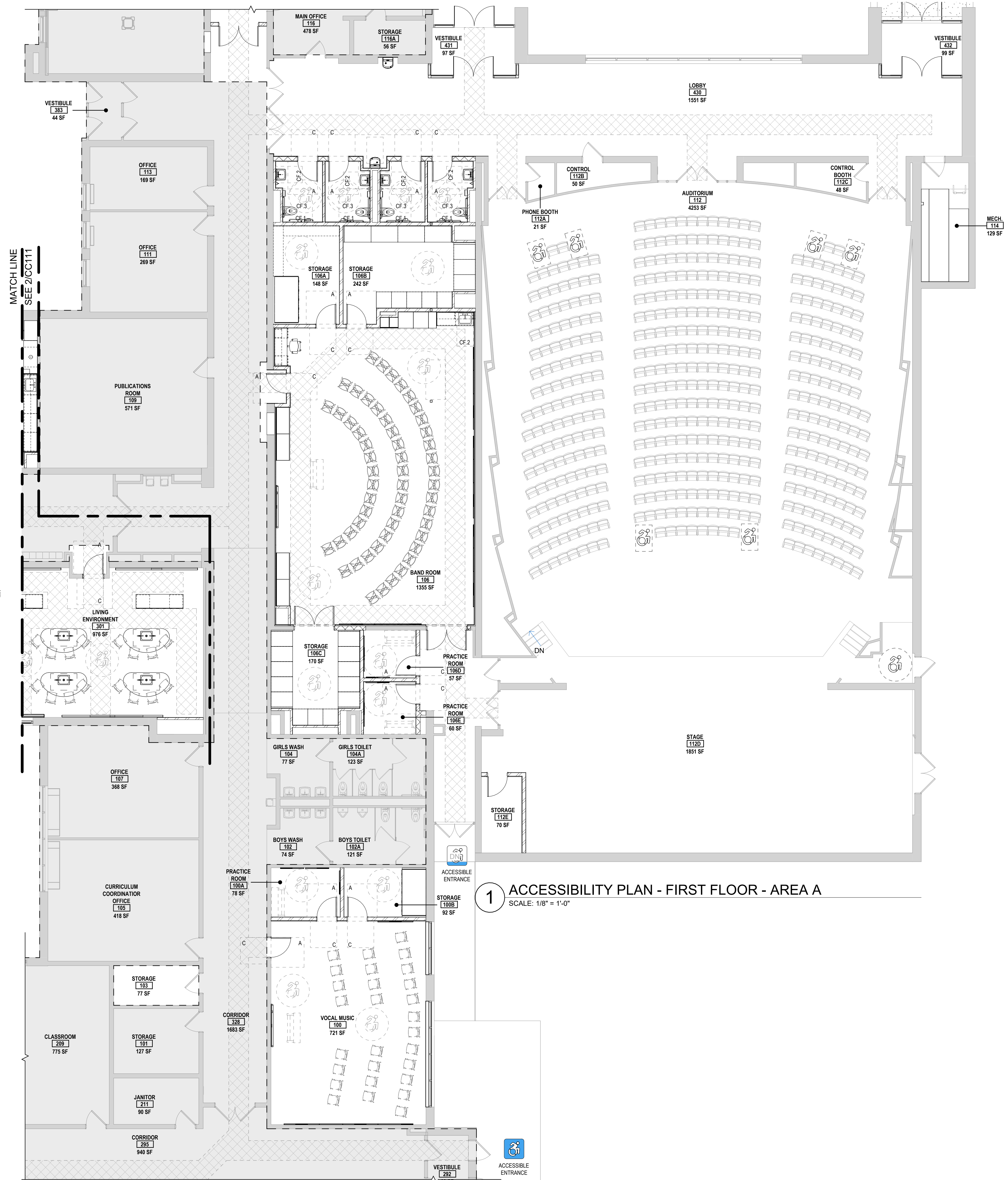


ADA TYPICAL CLEARANCE TYPES
SCALE: 1/4" = 1'-0"



NOTE:
1. SEE PLAN FOR SPECIFIC LOCATIONS
2. CLEARANCES INDICATED ARE FOR CLARITY PURPOSES, AND DO NOT NECESSARILY REPRESENT ALL APPLICABLE GUIDELINES FOLLOWED.

ADA DOOR APPROACH CLEARANCE TYPE
SCALE: 1/4" = 1'-0"



GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

KEY PLAN:

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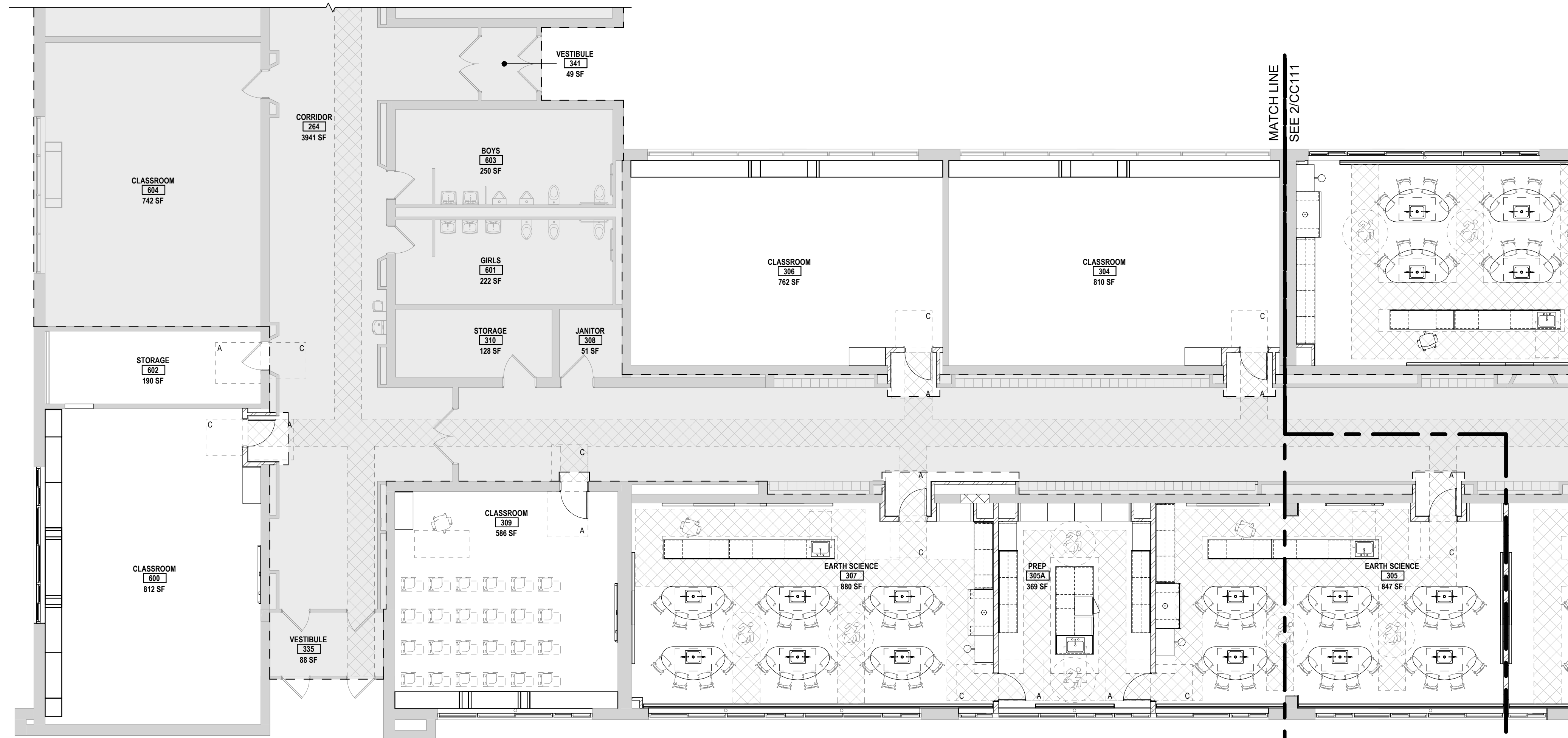
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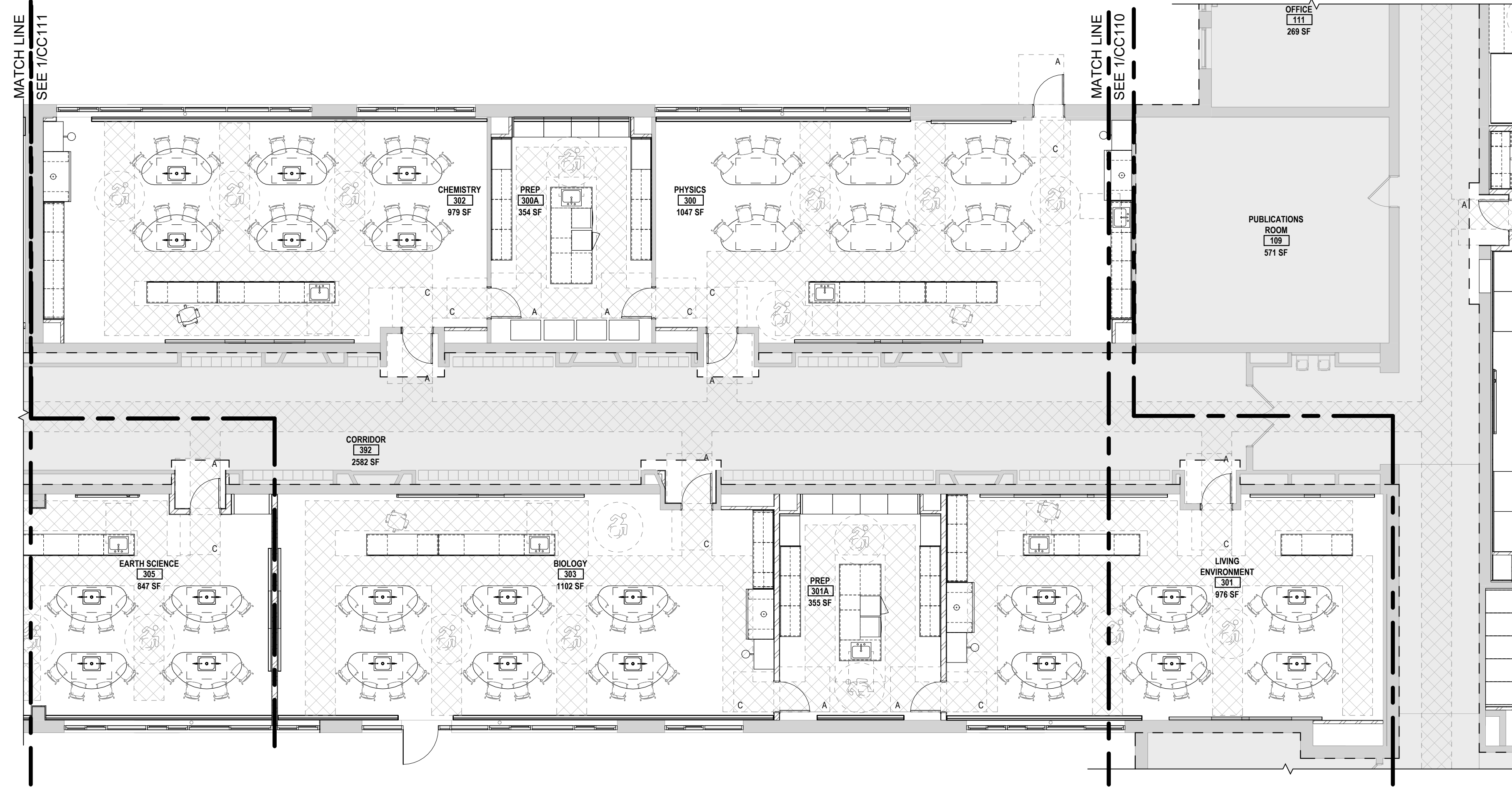
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CHECKED BY MLC	DATE 12/16/2024

ACCESSIBILITY PLAN - AREA A

BUILDING NUMBER HS	SHEET NUMBER CC110 BID
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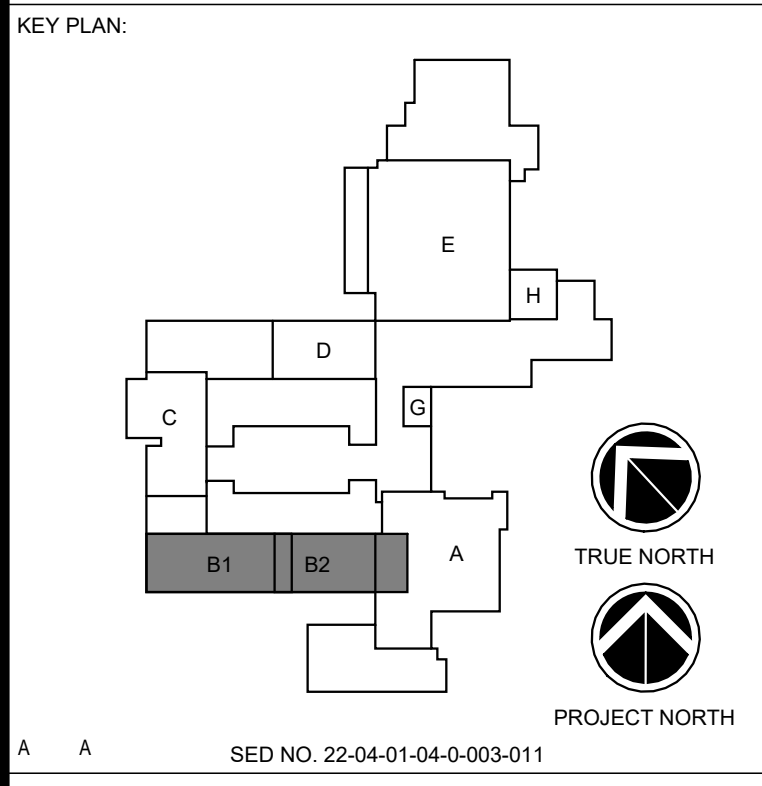
1 ACCESSIBILITY PLAN - AREA B1
SCALE: 1/8" = 1'-0"



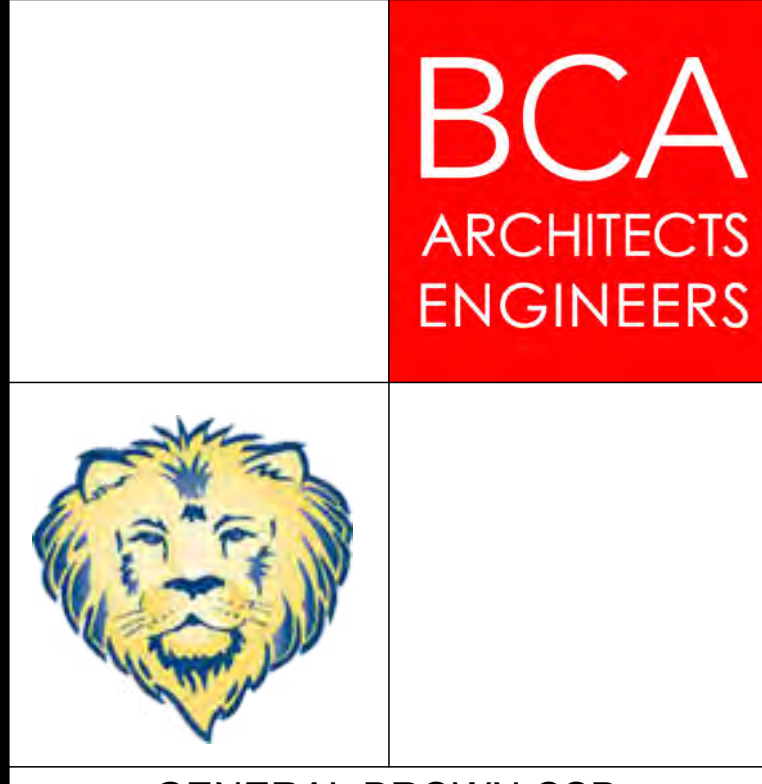
2 ACCESSIBILITY PLAN - AREA B2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT



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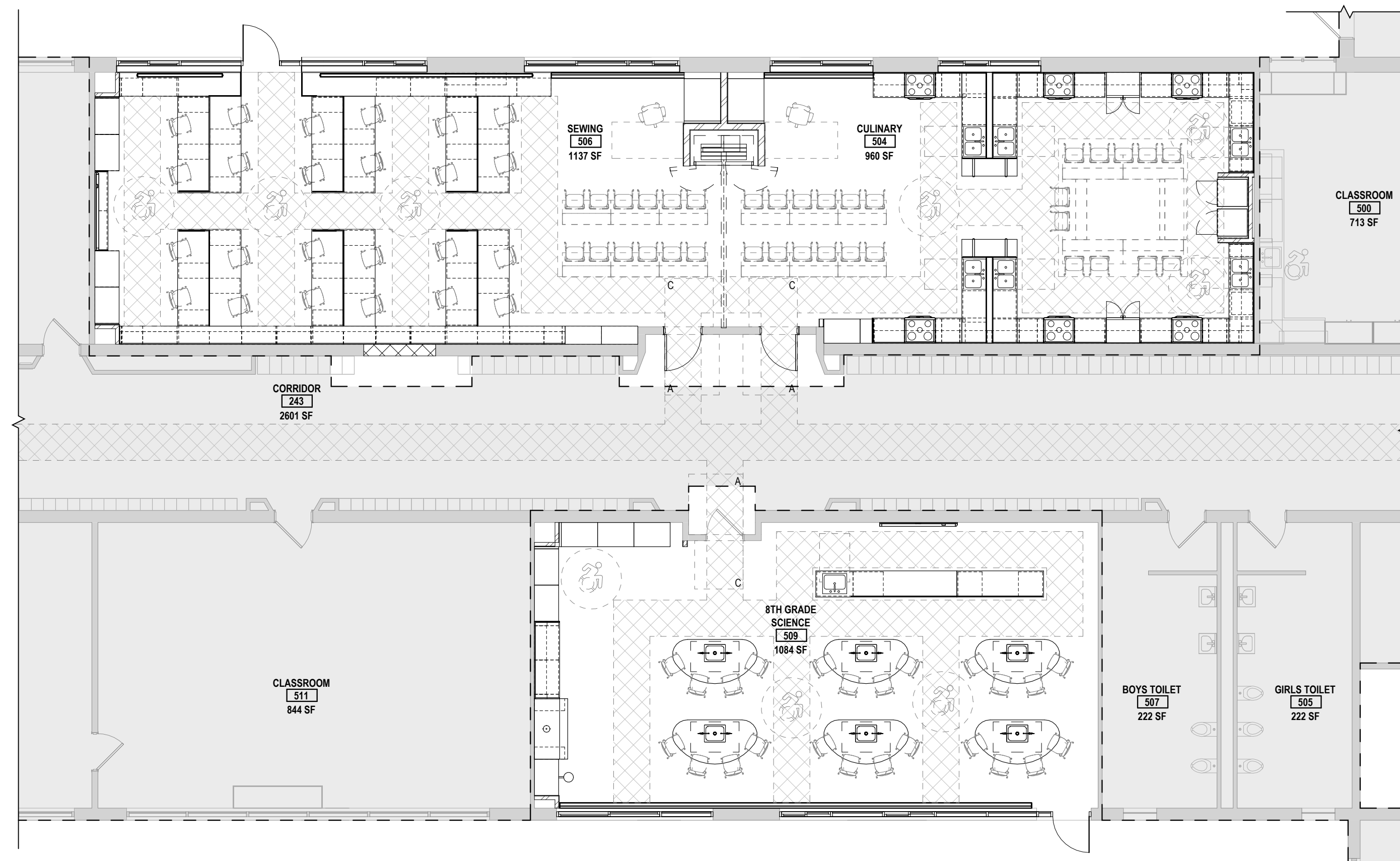


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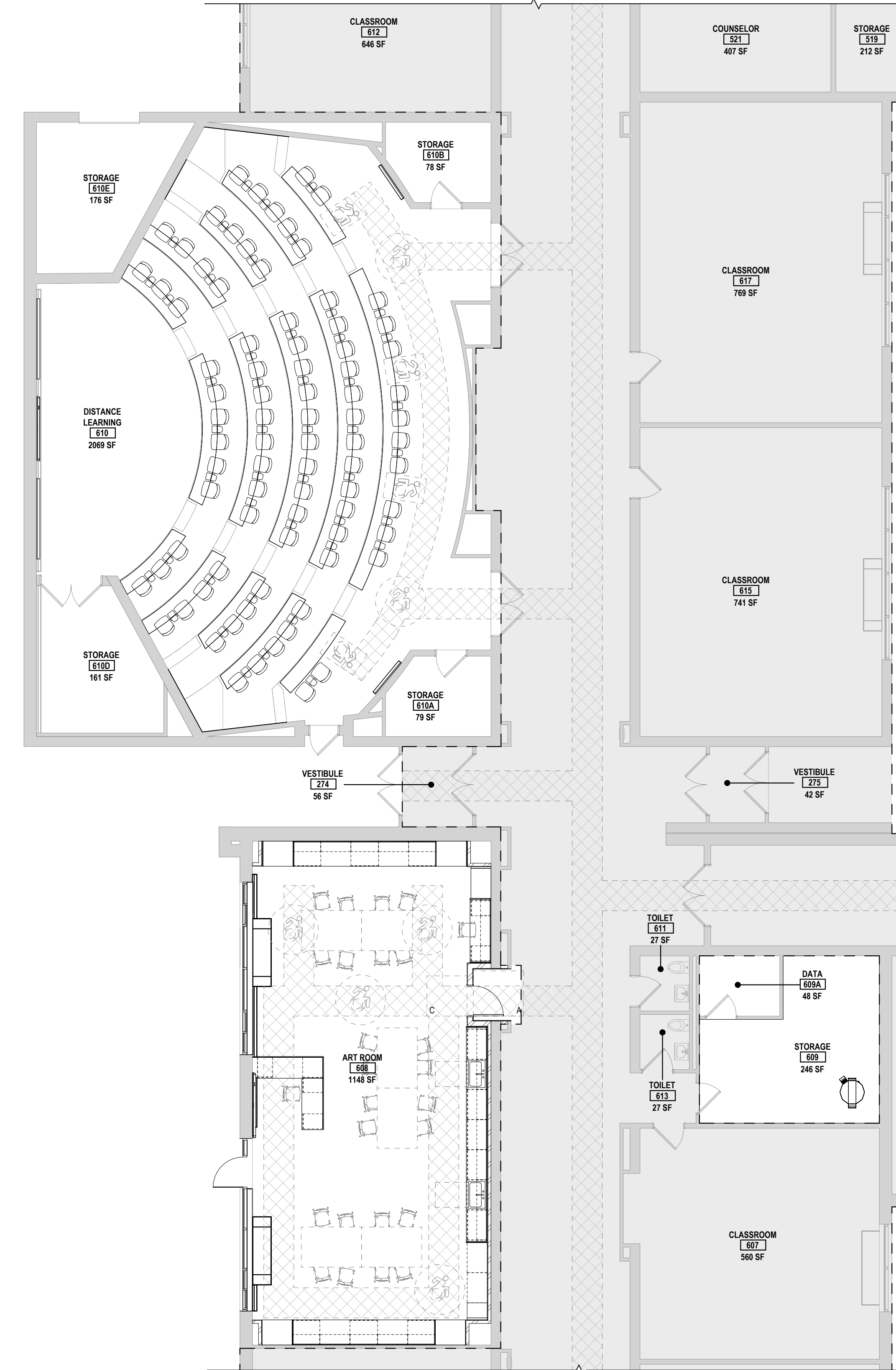
REV	DATE	DESCRIPTION

DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024
BUILDING NUMBER HS	SHEET NUMBER CC111 BID

12/17/2024 12:36:33 AM



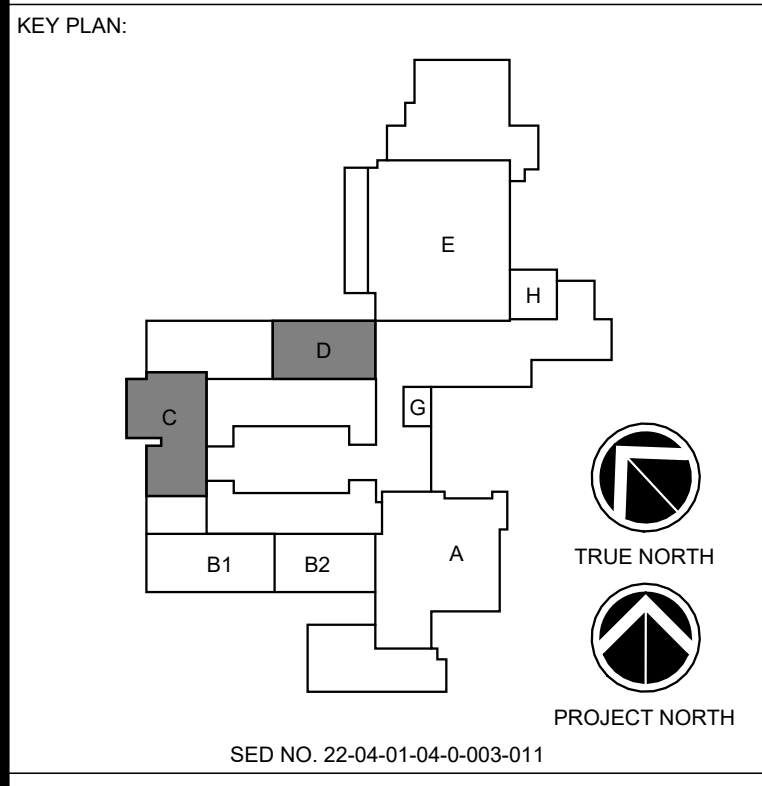
2 ACCESSIBILITY PLAN - AREA D
 SCALE: 1/8" = 1'-0"



1 ACCESSIBILITY PLAN - AREA C
 SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT



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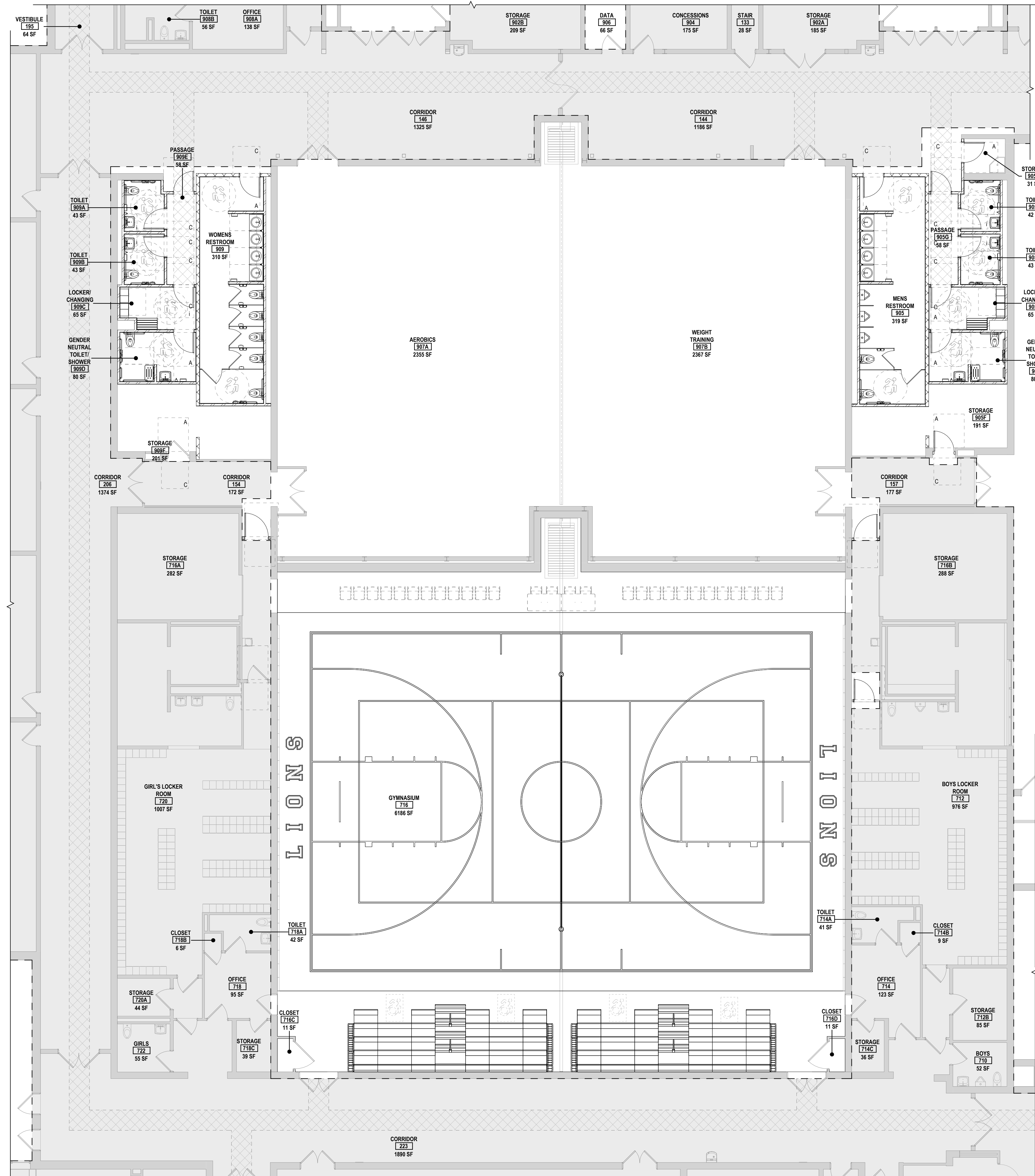
REV	DATE	DESCRIPTION

DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

ACCESSIBILITY PLAN - AREA C AND D




BUILDING NUMBER HS	SHEET NUMBER CC112 BID
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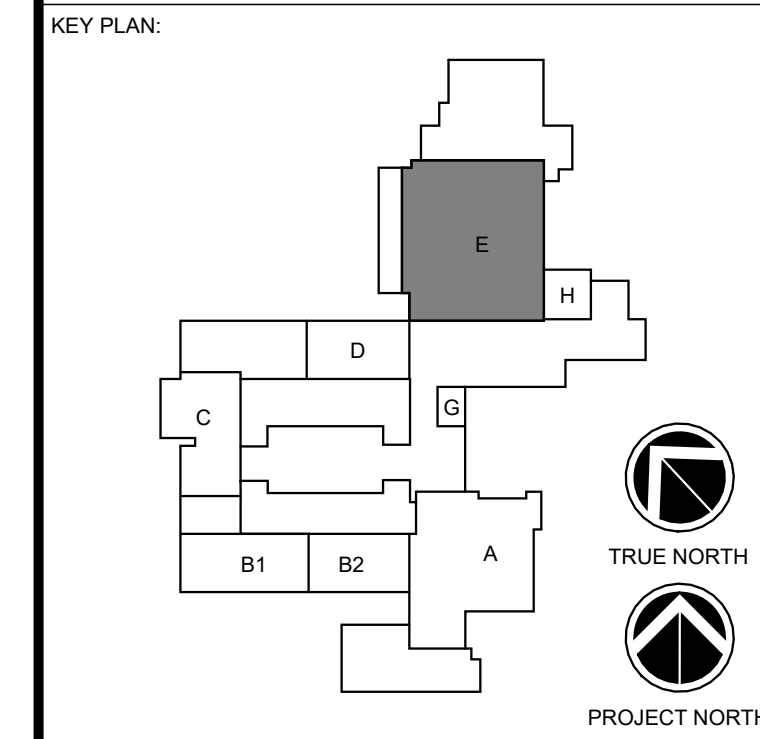
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1 ACCESSIBILITY PLAN - AREA E
SCALE: 1/8" = 1'-0"

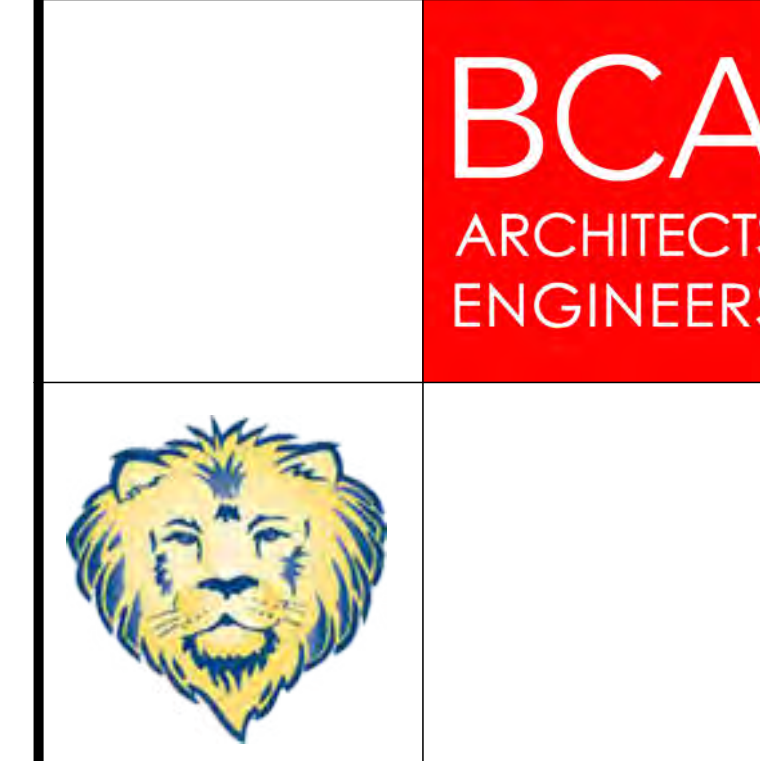
GENERAL PROJECT LEGEND

-  INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
-  INDICATES AREA OF WORK FOR THIS PROJECT
-  INDICATES AREA OF WORK FOR THIS PROJECT



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REV	DATE	DESCRIPTION

ACCESSIBILITY PLAN - AREA E

BUILDING NUMBER	SHEET NUMBER
HS	CC113
	BID

SITE PREPARATION & DEMOLITION NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND SUBSURFACE CONDITIONS PRIOR TO THE START OF WORK. COORDINATE ALL UTILITY REQUIREMENTS AND WORK WITH THE APPROPRIATE UTILITY PROVIDER. NOTIFY OWNER'S REPRESENTATIVE OF ANY AND ALL DISCREPANCIES.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED. MATERIALS THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A TIMELY FASHION SO AS NOT TO DISRUPT PROGRESS AND TO ENSURE SAFE SITE CONDITIONS.
- CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY ITEMS KNOWN TO CONTAIN HAZARDOUS MATERIALS OR SUBSTANCES. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF HAZARDOUS MATERIALS OR SUBSTANCES DISCOVERED DURING THE COMPLETION OF SPECIFIED WORK.
- CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL TO FULL DEPTH WITHIN THE LIMIT OF GRADING BEFORE COMMENCING EXCAVATION AND GRADING OPERATIONS. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
- CONTRACTOR SHALL IMPLEMENT AND BE RESPONSIBLE FOR ALL NECESSARY MEASURES AND PROCEDURES TO MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN, PEDESTRIANS, LOCAL TRAFFIC AND ROADWAYS, ADJACENT PROPERTIES, AND ETC. FOR DURATION OF PROJECT AND UNTIL PROJECT COMPLETION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND/OR RESTORATION REQUIRED AS A RESULT OF DEFICIENT PROTECTION MEASURES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND PAY ALL ASSOCIATED COSTS.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED DAILY BY THE CONTRACTOR ONLY.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT TO BE REMOVED.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EXPOSED SOIL DISTURBANCE SHALL BE IN ACCORDANCE WITH THE NYS DEC REQUIREMENTS. ANY EXPOSED SOIL SHALL BE PROPERLY STABILIZED WITH EITHER PERMANENT SEED AND MULCH IF SOIL DISTURBANCE IS COMPLETED OR TEMPORARILY SEEDED AND MULCHED IF IT WILL BE MORE THAN 14 DAYS BEFORE ADDITIONAL SOIL DISTURBANCE WILL OCCUR. EXPOSED SOIL SHALL RECEIVE TEMPORARY OR PERMANENT SEED AND MULCH WITHIN 14 DAYS OF DISTURBANCE.
- THE CONTRACTOR SHALL LIMIT THE AREA OF CLEARING AND GRUBBING, EXCAVATION, BORROW, AND EMBANKMENT OPERATIONS IN PROGRESS, COMMENSURATE WITH THEIR CAPABILITY AND PROGRESS IN KEEPING THE FINISH GRADING AND MULCHING, SEEDING AND OTHER TEMPORARY AND/OR PERMANENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS.
- THE CONTRACTOR SHALL DESIGNATE TO THE OWNER'S REPRESENTATIVE A QUALIFIED EROSION AND SEDIMENT CONTROL SUPERVISOR WITH ADEQUATE TRAINING, EXPERIENCE, AND AUTHORITY TO IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE NYS DEC REQUIREMENTS.
- CONSTRUCTION IS TO PROCEED IN ACCORDANCE WITH THE CONSTRUCTION PHASING SCHEDULE SUPPLIED BY THE CONTRACTOR OR SHOWN ON THE PLANS. GRASSES SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS POSSIBLE. FOR TIME FRAMES OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH EXCELSIOR MATTING) WILL BE USED UNTIL SUCH A TIME AS GRASS CAN BE ESTABLISHED.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY SITE DISTURBANCE. THIS INCLUDES GRADING OPERATIONS, UTILITY OR STRUCTURE INSTALL.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYS DEC REQUIREMENTS.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA SERVED IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED AFTER EVERY STORM EVENT.
- THE CONTRACTORS ATTENTION IS DIRECTED TO THE FACT THAT THROUGHOUT THE DURATION OF THE PROJECT IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL WATER COURSES FROM WATER BORNE SEDIMENT OR POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF WATERBODIES BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS, CONCRETE LEACHATE, OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.

LAYOUT NOTES:

- VERIFY LOCATION OF ROADS AFFECTING SCOPE OF WORK.
- VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERING DRAWINGS. NOTIFY ENGINEER OF ANY CONFLICTS WITH THE PROJECT CONSTRUCTION SCOPE.
- ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING AND FENCING TO BE PARALLEL, UNLESS NOTED OTHERWISE. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
- REFERENCE TO NORTH REFERS TO PLAN NORTH. REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

SITE WORK NOTES:

- BEFORE ANY LAND CLEARING IS COMMENCED, THE CONTRACTOR SHALL ARRANGE A MEETING ON SITE WITH THE OWNER'S REPRESENTATIVE TO IDENTIFY WHICH TREES ARE TO BE PROTECTED OR REMOVED. NO CLEARING SHALL OCCUR WITHOUT A CLEAR UNDERSTANDING OF THE EXISTING CONDITIONS TO BE PRESERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD. THE PLACEMENT OF PROTECTION DEVICES ADDITIONAL TO THOSE NOTED SHALL, HOWEVER, BE AT THE CONTRACTORS DISCRETION. VEHICLES SHALL NOT BE PARKED WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE KEPT. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE KEPT. ALL TEMPORARY EROSION AND SEDIMENT (E&S) CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE. E&S CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED TO ENSURE SATISFACTORY PERFORMANCE. ANY DAMAGE OCCURRING DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ASSOCIATED FINES RESULTING FROM SUCH DAMAGE SHALL ALSO BE PAID BY THE CONTRACTOR.
- ALL PROPOSED GRADES SET IN THE FIELD TO BE COMPLETED BY A NEW YORK STATE LICENSED SURVEYOR.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO REQUIRED GRADE IN A MAXIMUM OF 12' COMPACTED LIFTS.

- ALL SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH SLOPE STABILIZATION MATS. LOCATIONS AND METHODS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY BEFORE CONTINUING WORK.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINE SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING GRADE, PROVIDING VERTICAL CURVES OR ROUNDINGS AT THE TOP AND BOTTOM OF ALL SLOPES.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED AT NO COST TO THE OWNER.
- GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURE TO PREVENT PONDING. FINISHED SURFACES SHALL BE FREE FROM ANY ABRUPT OR IRREGULAR CHANGES.
- EXCAVATION REQUIRED WITHIN DRIP LINE OF TREES DESIGNATED TO REMAIN SHALL BE DONE BY HAND SO THAT NO DAMAGE OCCURS TO EXISTING ROOT SYSTEM. PLANT MATERIALS DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL EXPENSE TO THE OWNER.
- EXCAVATION SHALL BE TO ELEVATIONS INDICATED WITH A TOLERANCE OF ± 1".
- SUBBASE COURSE MATERIAL SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 304, TYPE 2 AND SHALL CONFORM TO MIN 95% MODIFIED PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE COMPACTED ON SITE SOIL MATERIAL.
- EMBANKMENT FILL SHALL CONFORM WITH ALL REQUIREMENTS OF NYSDOT SPEC. SECTION 203. MAXIMUM ALLOWABLE LOOSE LIFTS FOR EMBANKMENTS SHALL BE 12 INCH AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS ESTABLISHED THROUGH THE STANDARD PROCTOR COMPACTION TEST PER ASTM D698.
- ALL TRENCHES AND OTHER EXCAVATION SIDE SLOPES INDICATED ON THE DRAWINGS ARE DIAGNOSTIC ONLY AND ARE NOT INTENDED TO INDICATE A STABLE EXCAVATION SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY AND STABILITY OF ALL EXCAVATION SLOPES, SHEETING, SHORING, TRENCH BOXES, AND ANY OTHER MEANS REQUIRED FOR A SAFE WORK ENVIRONMENT AND FOR PROTECTION OF ADJACENT ROADWAYS AND OTHER STRUCTURES. ALL EXCAVATION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING REGULATORY AGENCIES:
 - SUBPART 23-4, "EXCAVATION OPERATIONS", OF NEW YORK DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 23.
 - SUBPART P, "EXCAVATIONS" OF THE UNITED STATES DEPARTMENT OF LABOR OSHA REGULATIONS FOR CONSTRUCTION.
 - ALL OTHER MUNICIPAL, COUNTY, STATE OR FEDERAL AGENCIES, REGULATIONS OR LAWS PERTAINING TO EXCAVATION SAFETY AS MAY APPLY AT THE WORK SITE.
 - THE MORE STRINGENT PROVISION IN EACH OF THE ABOVE CODES SHALL APPLY. THESE PROVISIONS SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND SHALL BE INCREASED IF NECESSARY TO PROVIDE SAFE WORKING CONDITIONS.
- CRUSHED STONE, WHERE CALLED FOR ON THE DRAWINGS, SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 703-02, SIZE DESIGNATION 2.

PLANTING NOTES:

- ALL PLANT BEDS TO BE MULCHED WITH 4" DEEP SHREDDED CEDAR-NATURAL COLOR, UNLESS OTHERWISE NOTED ON THE PLANS.
- PRIOR TO PLANTING, CONTRACTOR SHALL LOCATE, VERIFY, AND REPORT ANY CONFLICTS OF EXISTING UTILITY LINES TO THE LANDSCAPE ARCHITECT.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY DIRECTOR'S REPRESENTATIVE.
- WRITTEN APPROVAL IS REQUIRED FROM LANDSCAPE ARCHITECT OF ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL. CHANGED PLANTS SHALL BE EQUIVALENT FORM, HEIGHT, FLOWER, COLOR, LEAF, SIZE, BRANCHING, CULTURE AND FRUIT.
- A MINIMUM OF 6" OF SUITABLE TOPSOIL IS REQUIRED IN AREAS WITH PROPOSED LAWN SEEDING PRIOR TO SEEDING.
- PRIOR TO COMMENCEMENT OF PLANTING, STAKE LOCATION OF ALL PLANTINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- SCHEDULE DELIVERY OF PLANTS ONLY IN REASONABLE TIME AS TO WHEN THEY CAN BE INSTALLED. PLANTS TO BE INSPECTED BY LANDSCAPE ARCHITECT AT DELIVERY.
- MAINTENANCE TO BEGIN IMMEDIATELY FOLLOWING INSTALLATION OF PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE.
- TREES SHALL NOT BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BE PLANTED 3" HIGHER THAN PREVIOUS GRADE. SHRUBS AND GROUND COVER SHALL BE PLANTED AS THE SAME RELATIONSHIP TO GRADE AS PREVIOUS GRADE.
- PLANT MATERIAL QUANTITIES TO BE PROVIDED BY CONTRACTOR AS SHOWN ON DRAWINGS.
- UNLESS NOTED ON PLANT LIST, PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FOR SEEDING OF DISTURBED AREAS USE SPECIFIED MIX FOR DESIGNATED AREA OR APPROVED EQUAL APPROVED BY LANDSCAPE ARCHITECT. ALL DISTURBED AREAS NOT COVERED WITH SITE IMPROVEMENTS OR LANDSCAPING SHALL BE COVERED WITH 3" OF TOPSOIL AND SEEDED TO ESTABLISH A DENSE GROWTH OF TURF. SEED MIX SHALL INCLUDE 70% CREEPING RED FESCUE AND 30% BLEND OF SHADE-TOLERANT HARD FESCUE. SEED MIX LBS/1,000 SQ. FT. SHALL BE COMPLIANT WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGE 4.46.

KEY PLAN:

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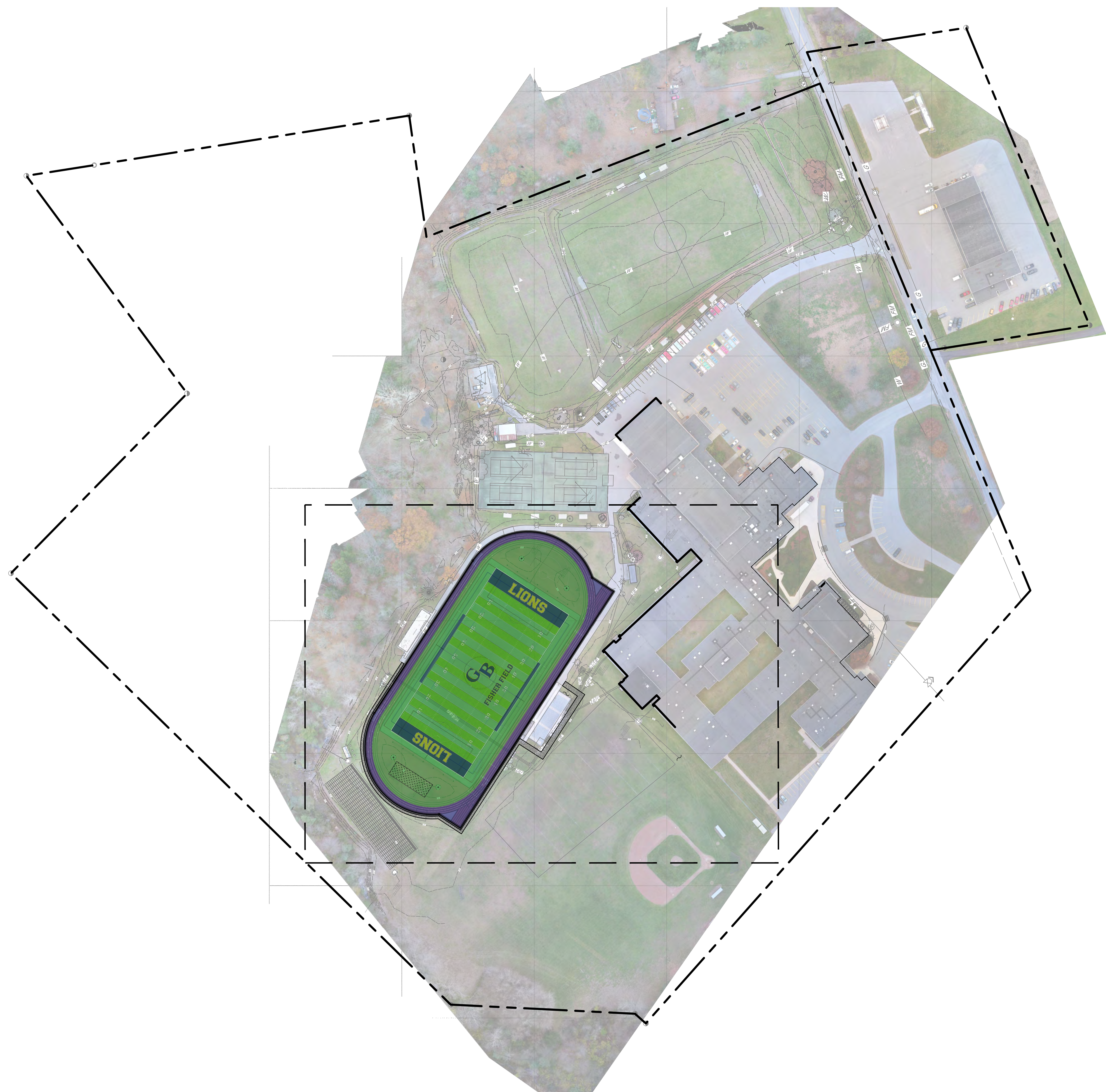
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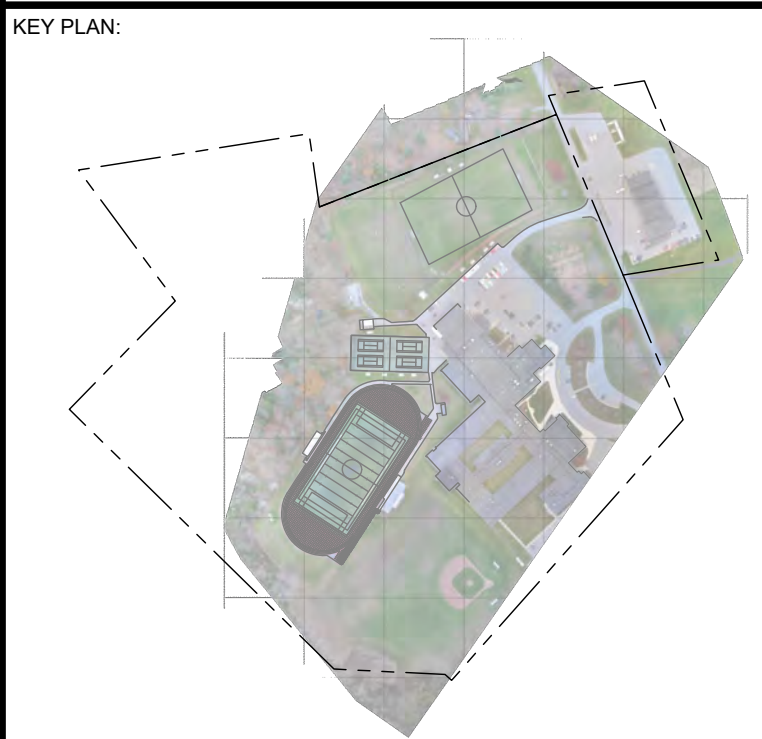
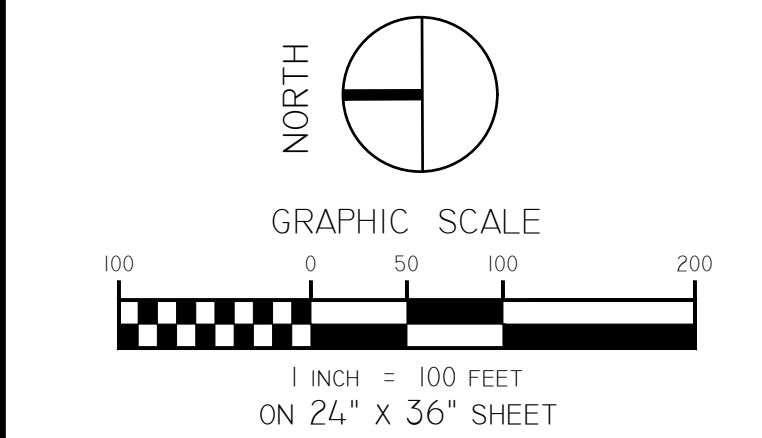
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CHECKED BY KAC	DATE 12/16/2024

MASTER NOTES

BUILDING NUMBER HS	SHEET NUMBER 1A-C000 BID
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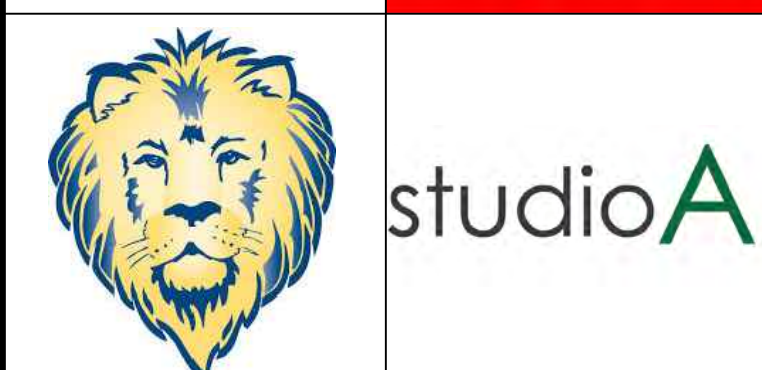
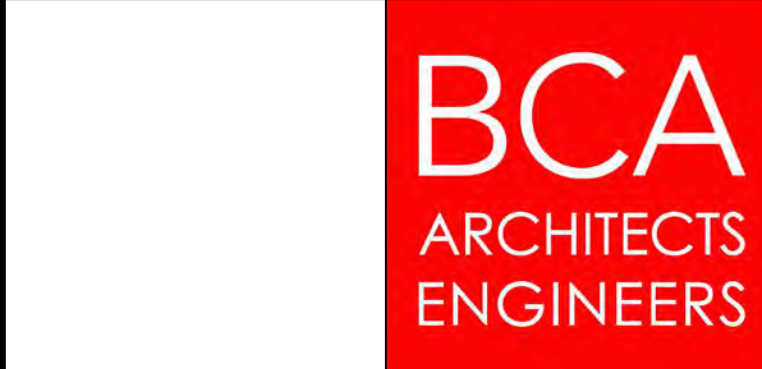


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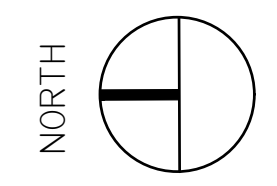
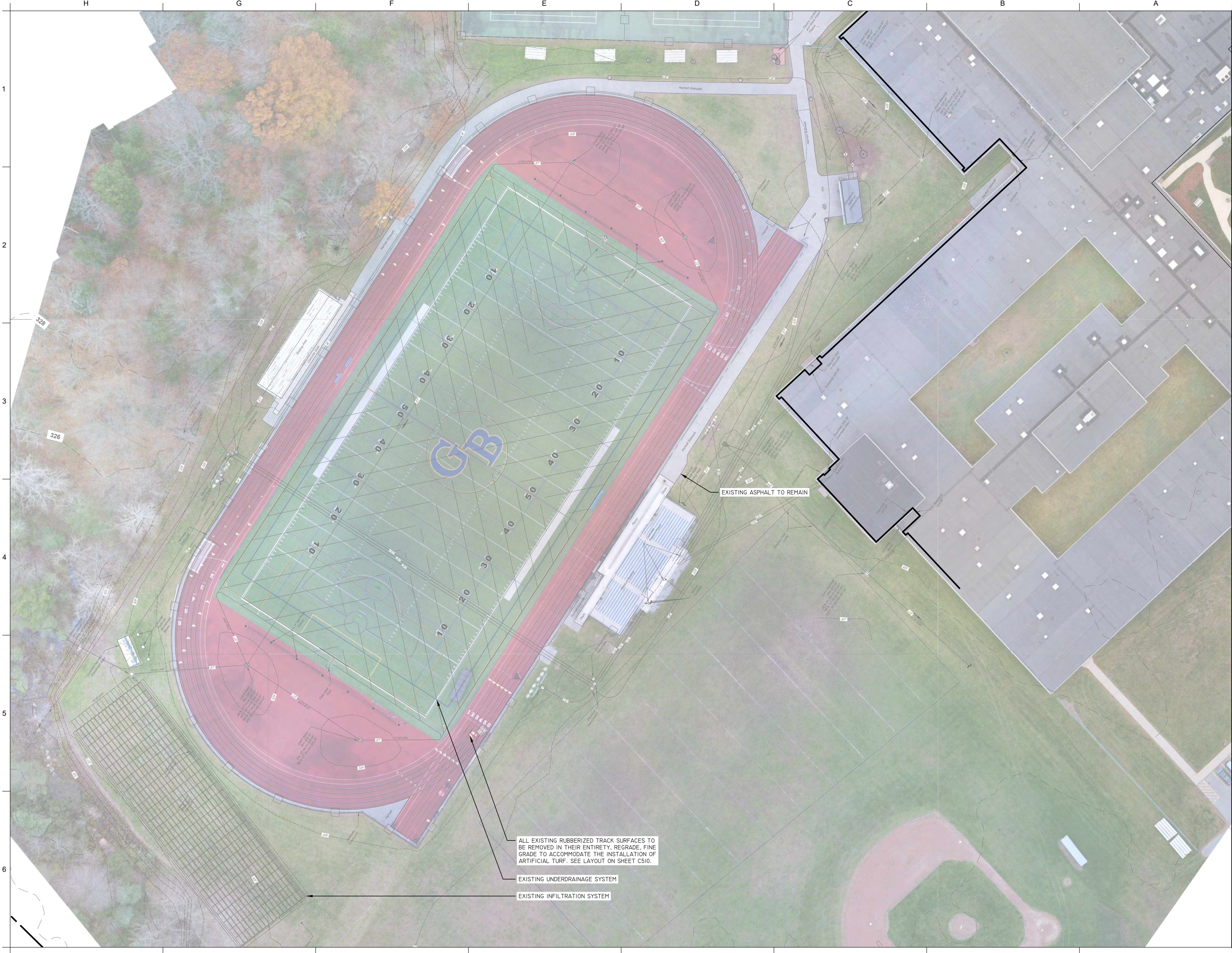
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OVERALL KEY PLAN

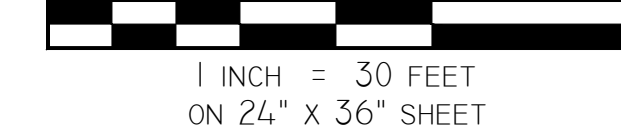
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NORTH

GRAPHIC SCALE



1 INCH = 30 FEET
ON 24" x 36" SHEET

KEY PLAN:



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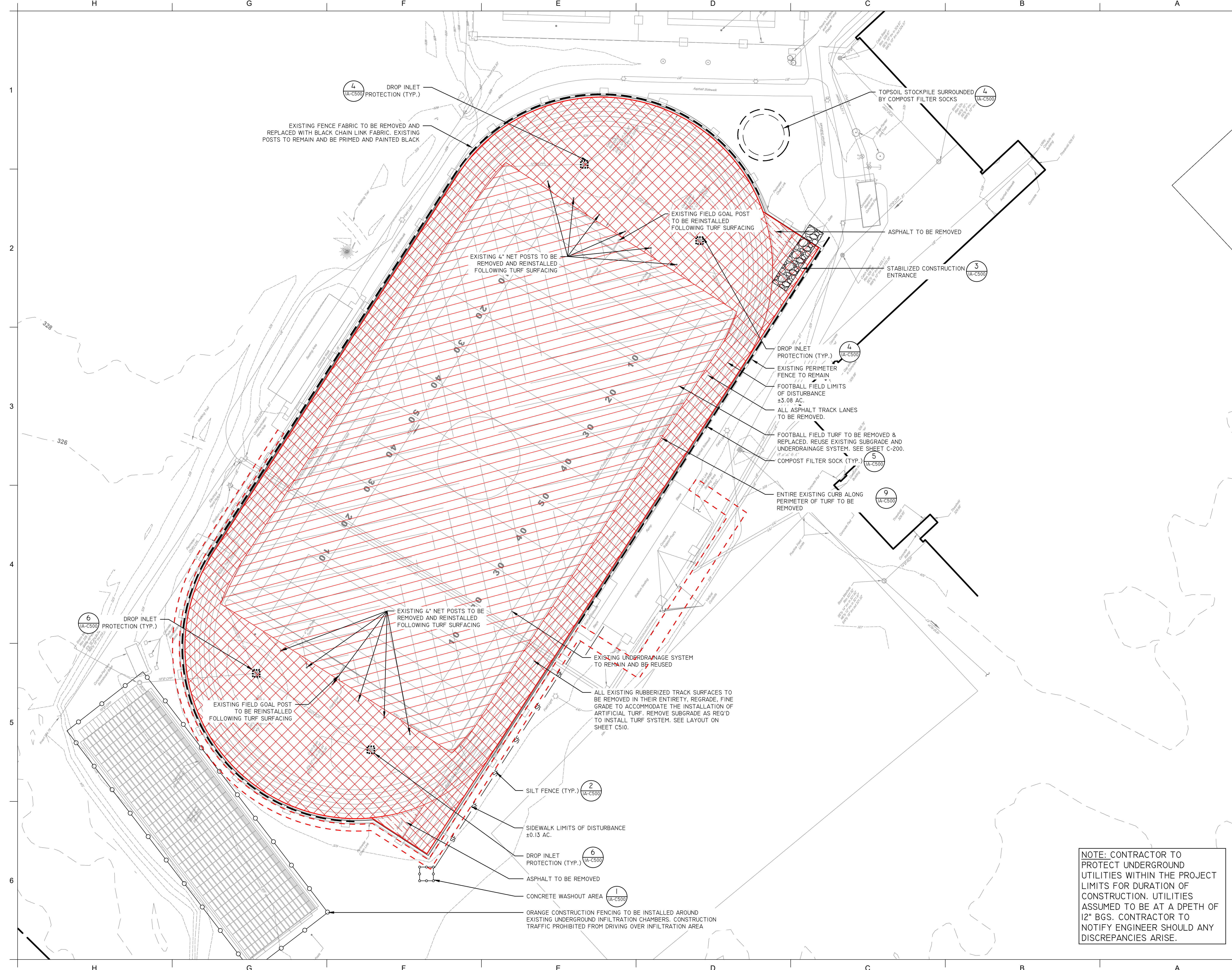
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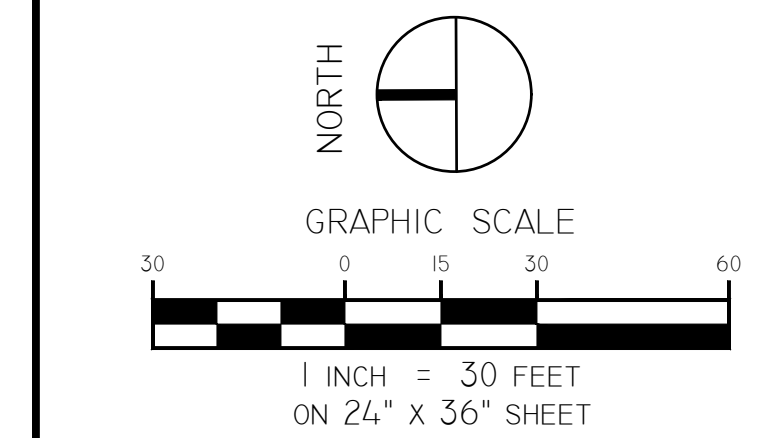
EXISTING CONDITIONS

BUILDING NUMBER HS	SHEET NUMBER 1A-C090 BID
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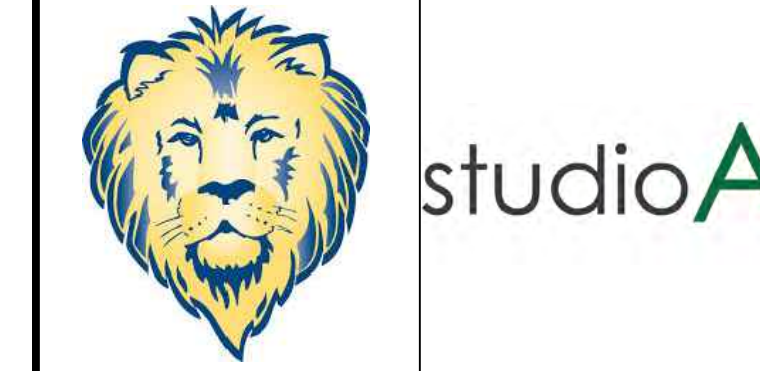
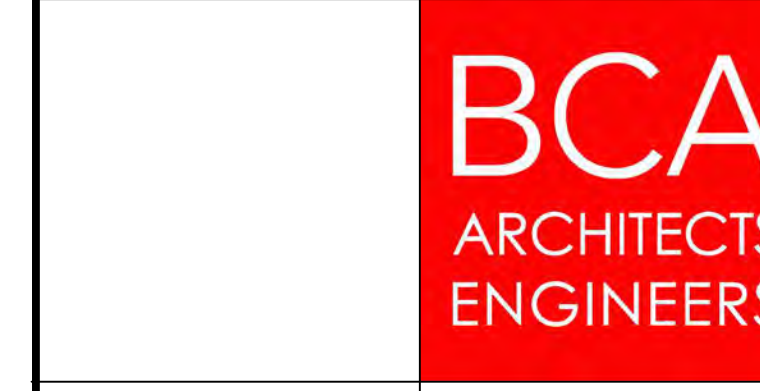


- LEGEND:**
- PROPERTY LINE
 - - - - - .330 - - - - - EXISTING MAJOR CONTOUR
 - - - - - EXISTING MINOR CONTOUR
 - SF - SILT FENCE
 - O - CONSTRUCTION FENCE
 - - - - - COMPOST FILTER SOCK
 - - - - - DISTURBANCE LIMITS
 - < - TEMPORARY SWALE
 - X - SEDIMENT TRAP
 - X - SURFACE TO BE REMOVED
 - X - SITE FEATURE OR TREE TO BE REMOVED



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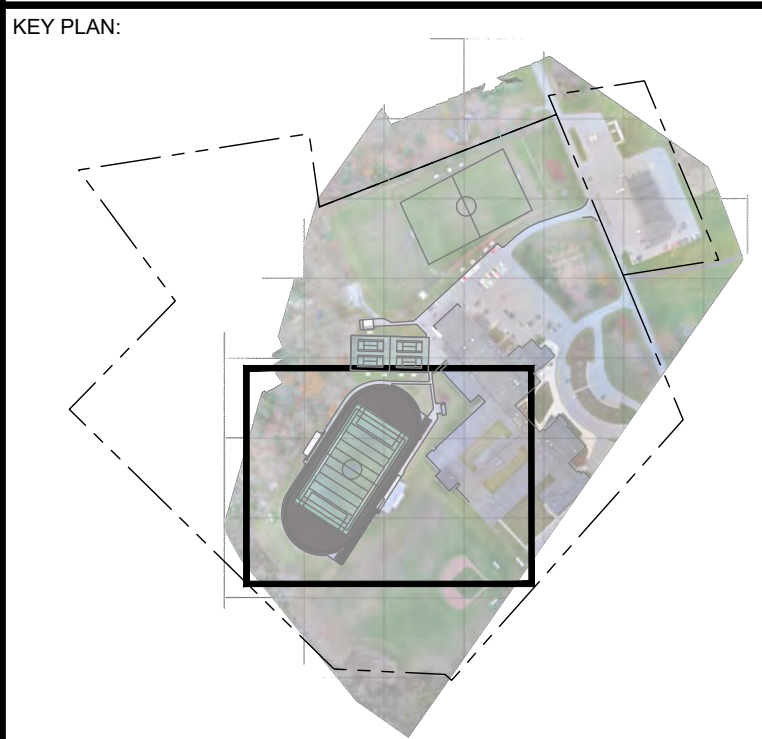
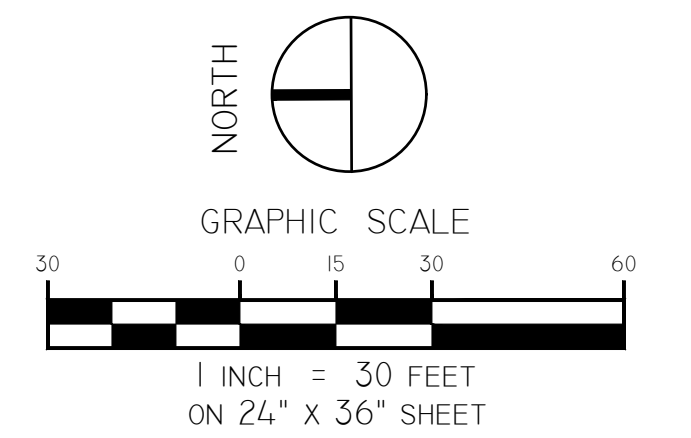
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DEMO, EROSION & SEDIMENT CONTROL PLAN

BUILDING NUMBER HS	SHEET NUMBER 1A-C100 BID
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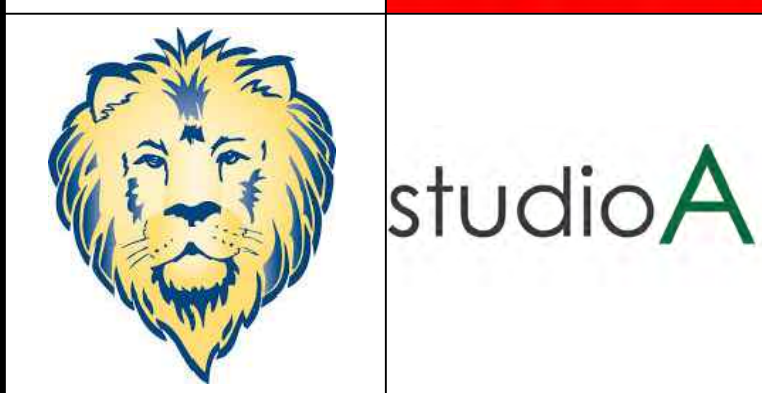
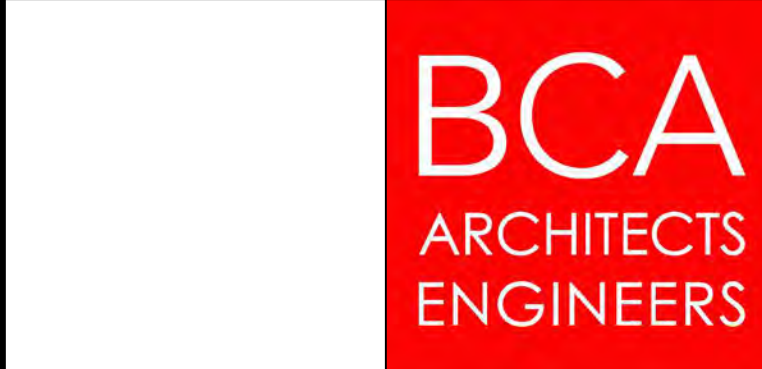
NOTE: CONTRACTOR TO PROTECT UNDERGROUND UTILITIES WITHIN THE PROJECT LIMITS FOR DURATION OF CONSTRUCTION. UTILITIES ASSUMED TO BE AT A DPETH OF 12" BGS. CONTRACTOR TO NOTIFY ENGINEER SHOULD ANY DISCREPANCIES ARISE.

LEGEND	
	PROPERTY LINE
	PROPOSED ARTIFICIAL TURF
	PROPOSED ASPHALT WALKWAY



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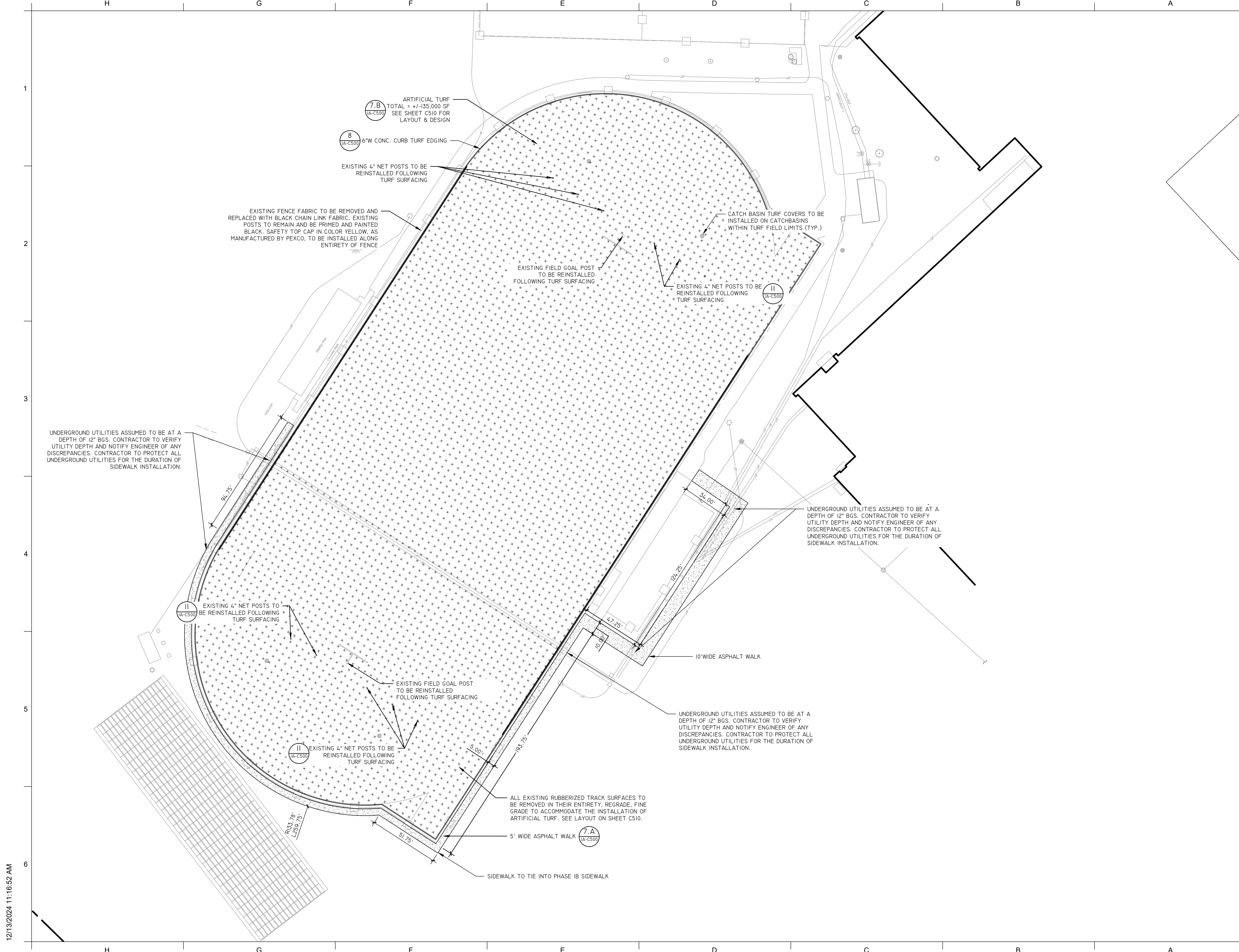
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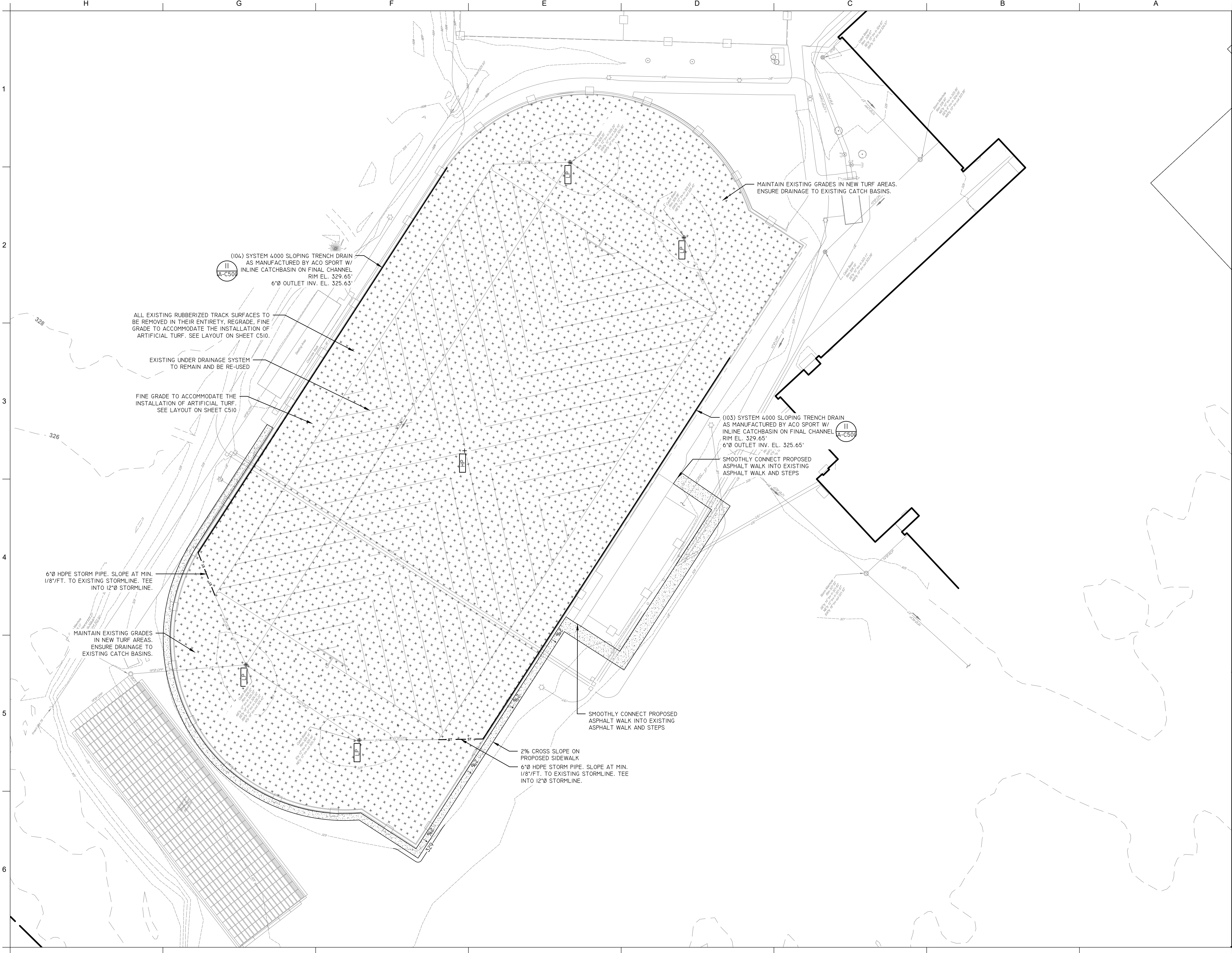
LAYOUT AND MATERIALS PLAN

BUILDING NUMBER HS	SHEET NUMBER 1A-C200 BID
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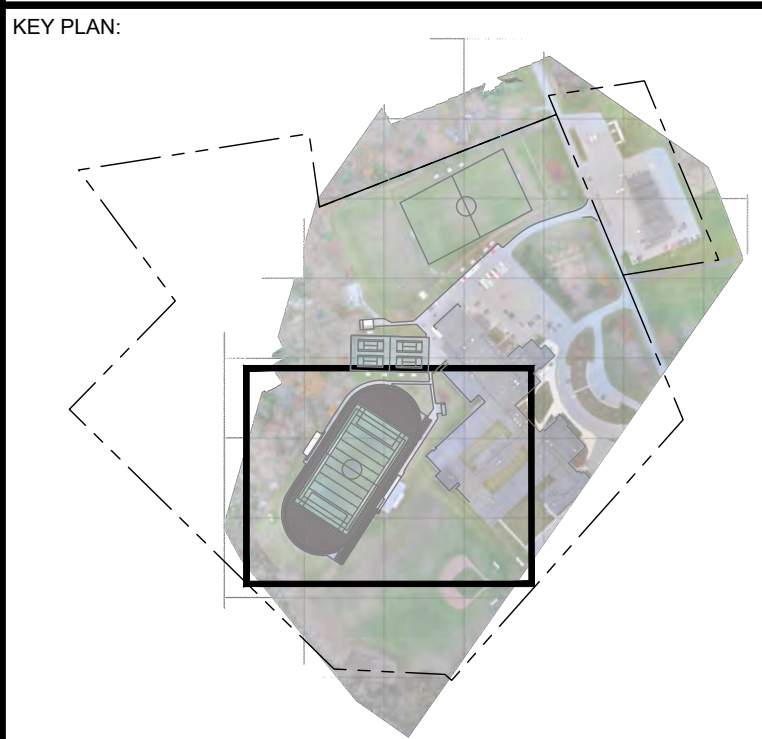
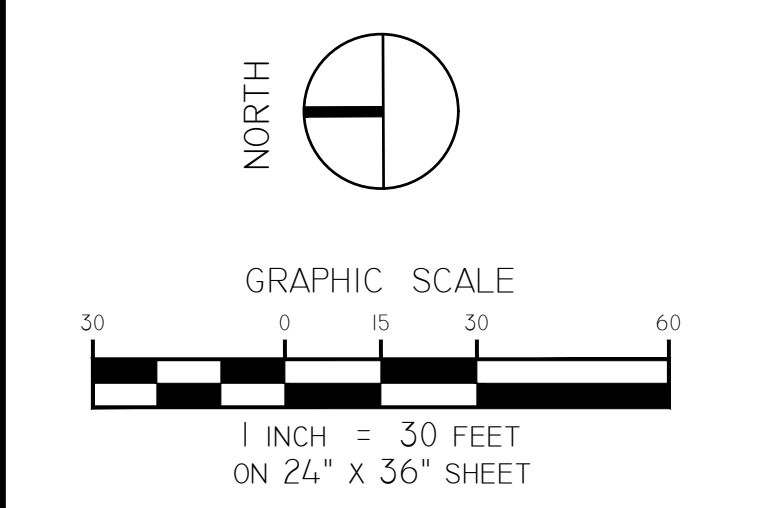
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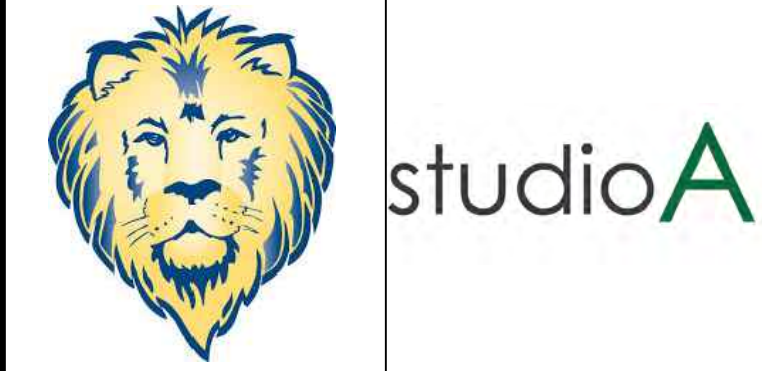
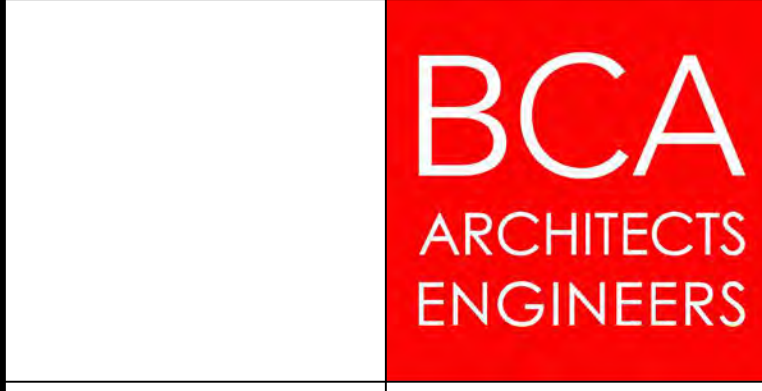
LEGEND:

	PROPERTY LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	4" UNDERDRAIN
	PERF. HDPE STORM PIPE
	HDPE STORM PIPE
	STORMWATER MANAGEMENT PRACTICE
	SPOT GRADE
	HIGH POINT
	LOW POINT



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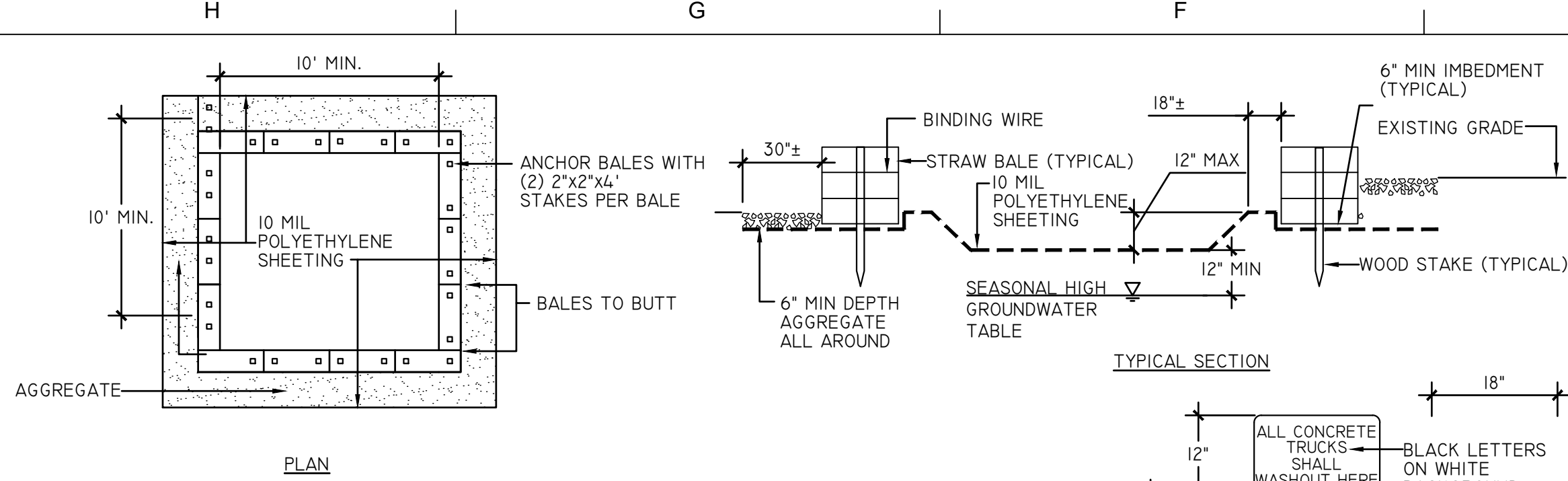
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GRADING & DRAINAGE PLAN

BUILDING NUMBER HS	SHEET NUMBER 1A-C300 BID
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CAPACITY:
THE WASHOUT FACILITY SHALL BE SIZED TO CONTAIN SOLIDS, WASH WATER, AND RAINFALL SIZED TO ALLOW FOR EVAPORATION OF WASH WATER AND RAINFALL. WASH WATER SHALL BE ESTIMATED AT 7 GALLONS PER CHUTE AND 50 GALLONS PER HOPPER OF CONCRETE PUMP TRUCK AND/OR DISCHARGING DRUM. THE MINIMUM SIZE SHALL BE 8 FEET BY 8 FEET AT THE BOTTOM AND 2 FEET DEEP. IF EXCAVATED, THE SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

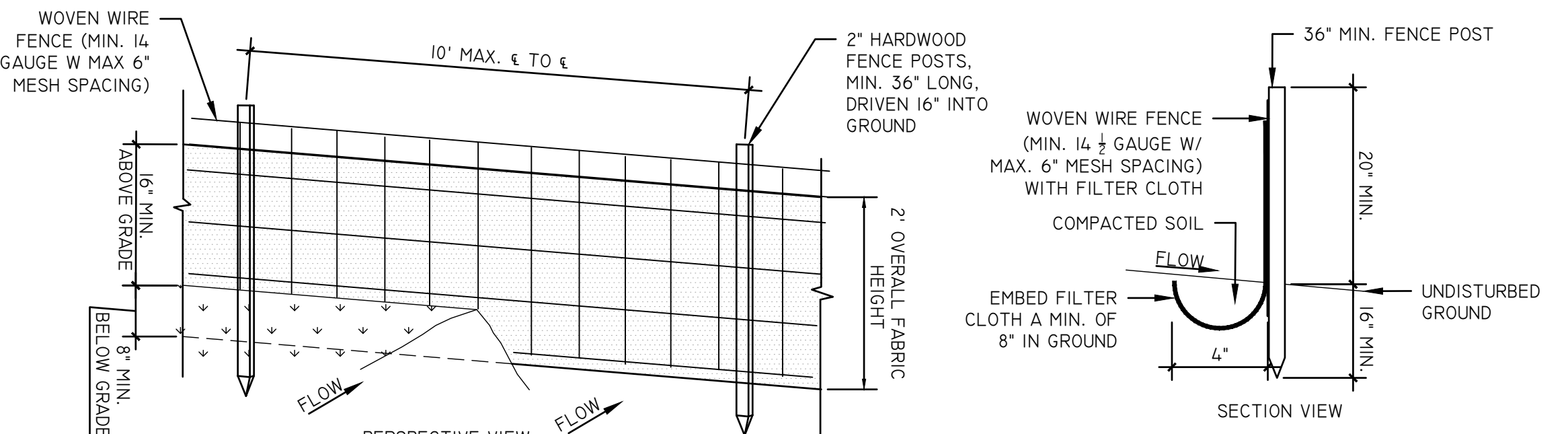
LOCATION:
LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.

LINER:
ALL WASHOUT FACILITIES SHALL BE LINED TO PREVENT LEACHING OF LIQUIDS IN THE GROUND. THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEAR, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN APPURTENANCE EXCEPT AT THE ACCESS POINT. IF PRE-FABRICATED WASHOUTS ARE USED THEY MUST ENSURE THE CAPTURE AND CONTAINMENT OF THE CONCRETE WASH AND BE SIZED BASED ON THE EXPECTED FREQUENCY OF CONCRETE POURS. THEY SHALL BE SITED AS NOTED IN THE LOCATION CRITERIA.

MAINTENANCE:

- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHALL BE PUMPED TO A STABILIZED AREA SUCH AS GRASS FILTER STRIP.
- ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
- DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
- THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

1 CONCRETE WASHOUT AREA DETAIL SCALE: N.T.S.

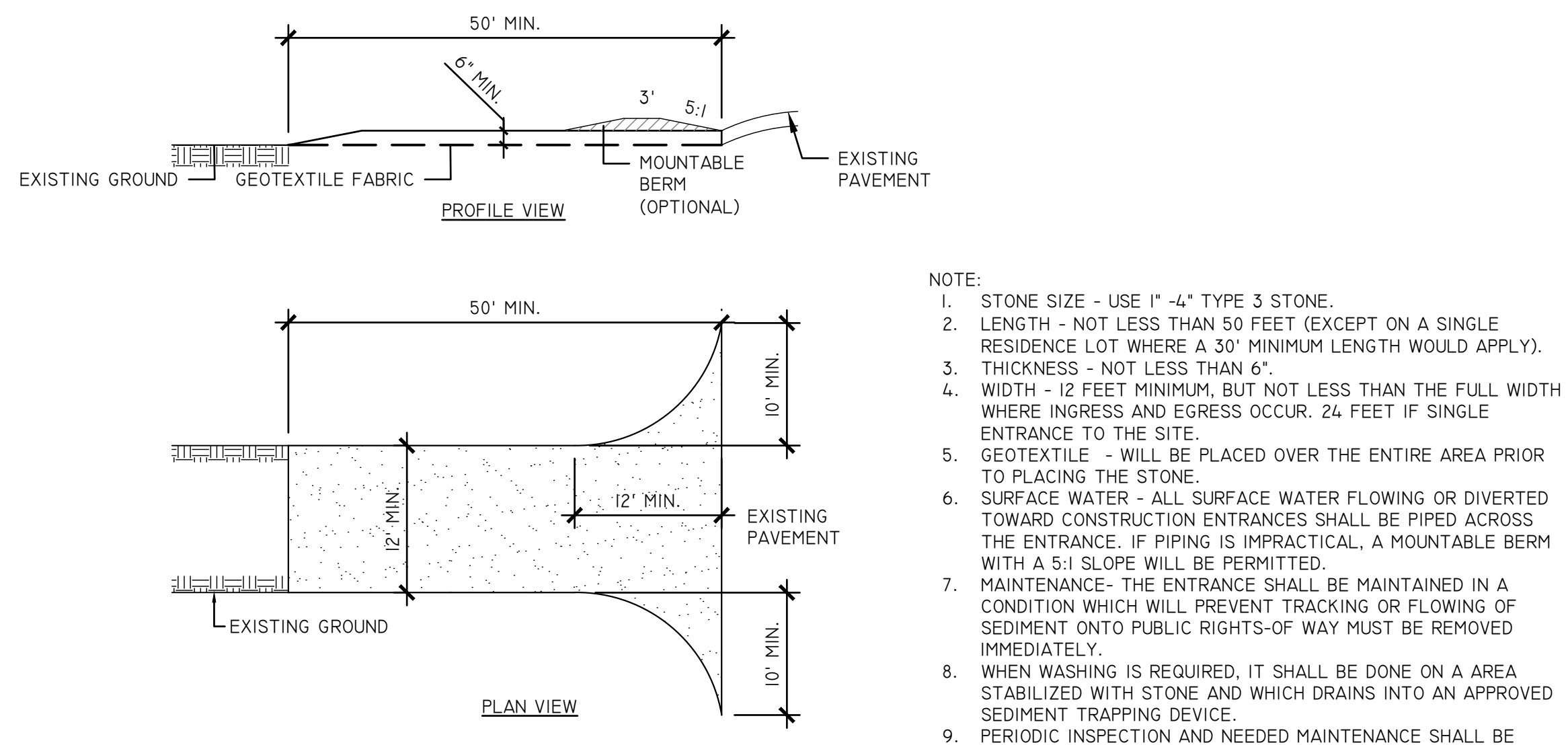


NOTES:

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 36" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAX MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FIXITEX X, MARAFI 100X, STABILINKA TILON OR APPROVE EQUIVALENT IF USING THE WOVEN WIRE FENCE. IF THE WOVEN WIRE FENCE IS NOT USED, FILTER FABRIC MUST BE NYS DOT APPROVED MATERIAL LIST FOR SILT FENCE. UNSUPPORTED 1.2M POST SPACING

SLOPE	STANDARD FENCE	REINFORCED FENCE	SUPER
<2%	300 / 1500	NA	NA
2%-10%	125 / 1000	250 / 2000	300 / 2500
10-20%	100 / 750	150 / 1000	200 / 1000
20%-33%	60 / 500	80 / 750	100 / 1000

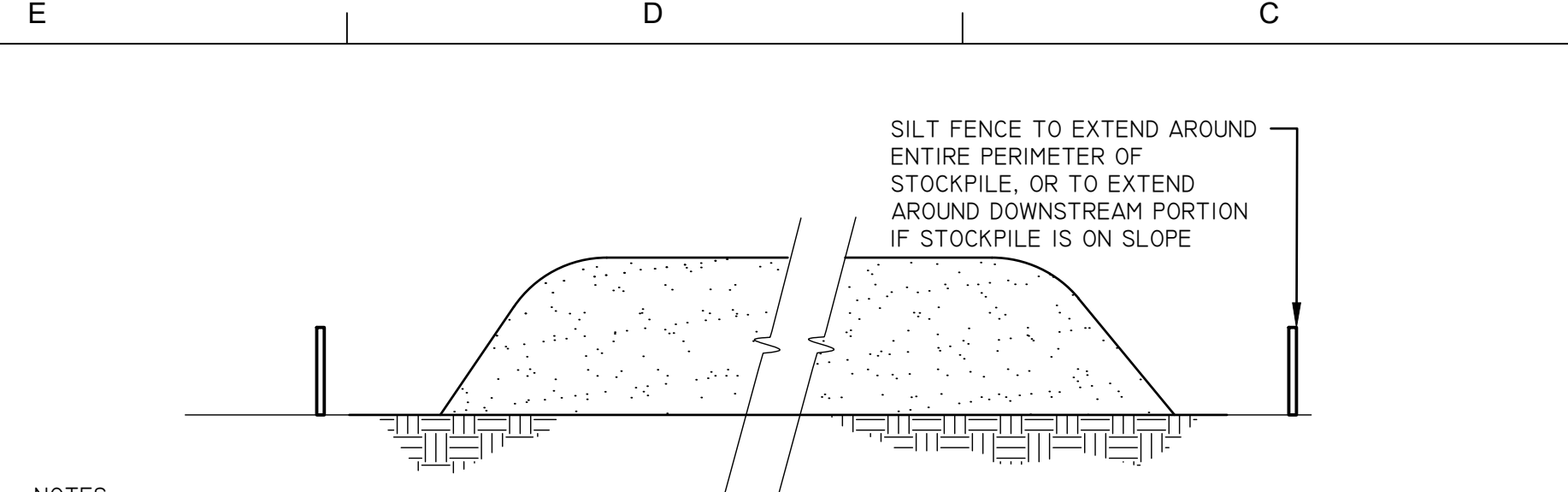
2 SILT FENCE DETAIL SCALE: N.T.S.



NOTE:

- STONE SIZE - USE 1" - 4" TYPE 3 STONE.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6".
- WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH WHERE INGRESS AND EGRESS OCCUR. 24 FEET IF SINGLE ENTRANCE TO THE SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH A 5:1 SLOPE WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

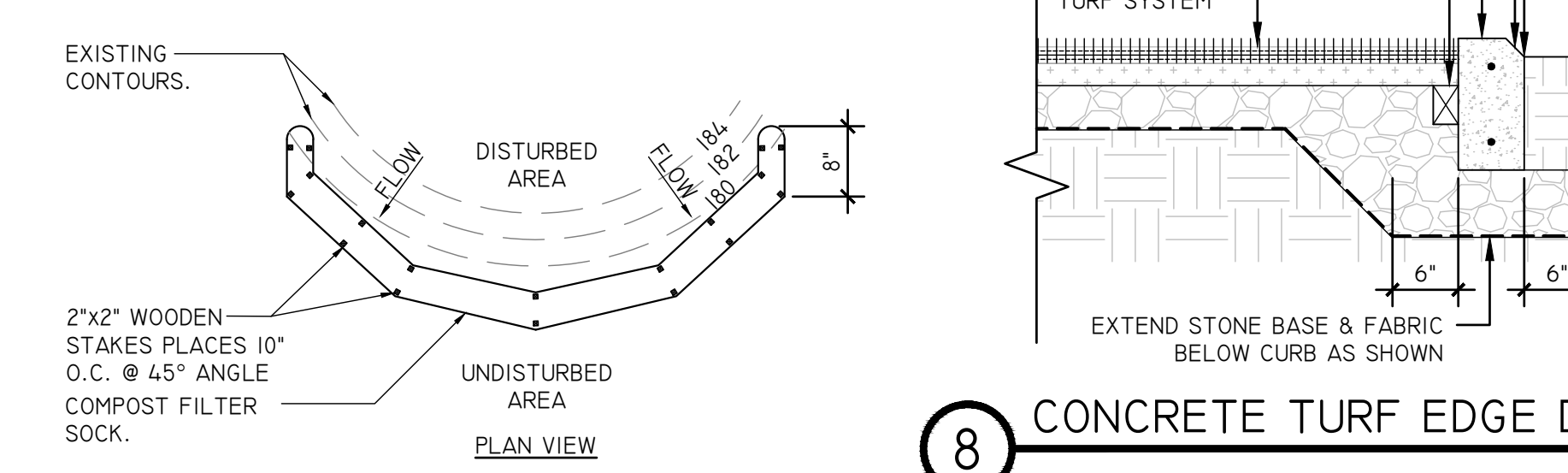
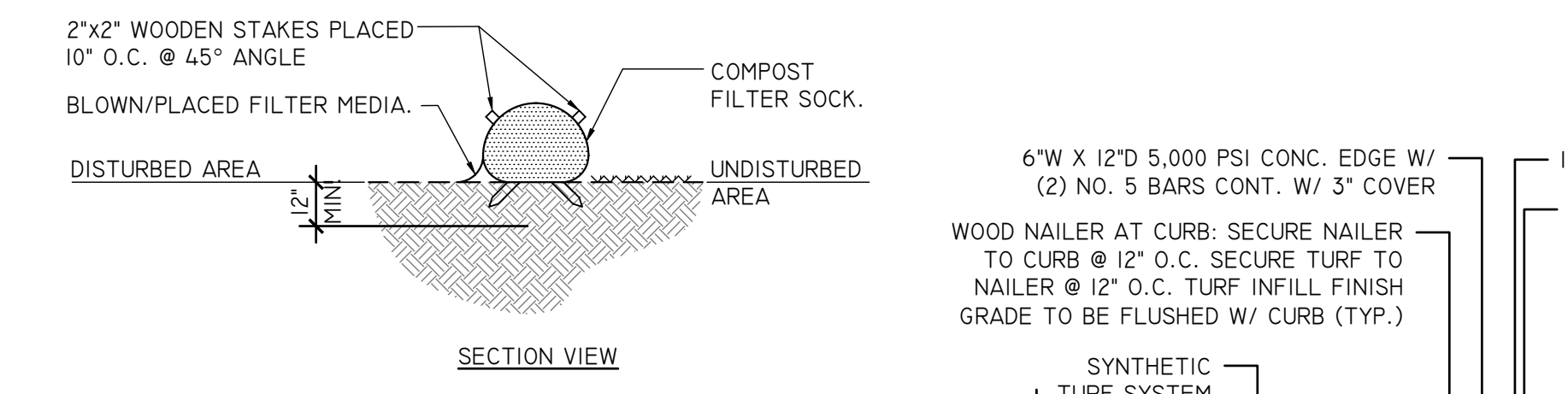
3 STABILIZED CONSTRUCTION ENTRANCE SCALE: N.T.S.



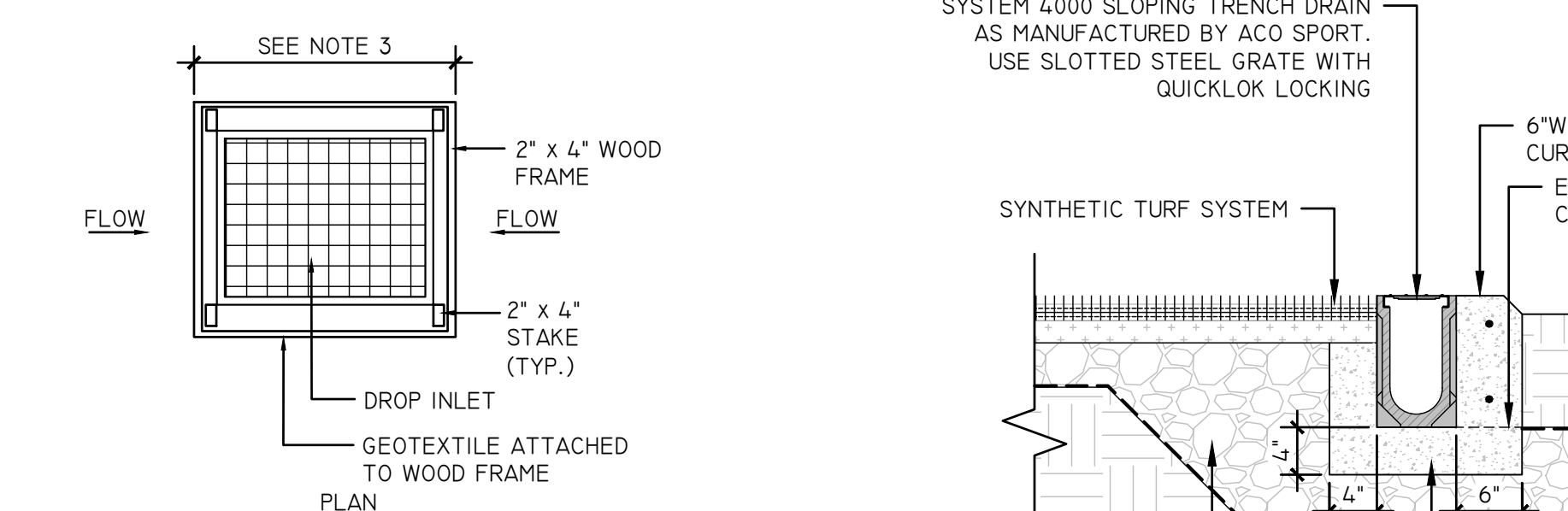
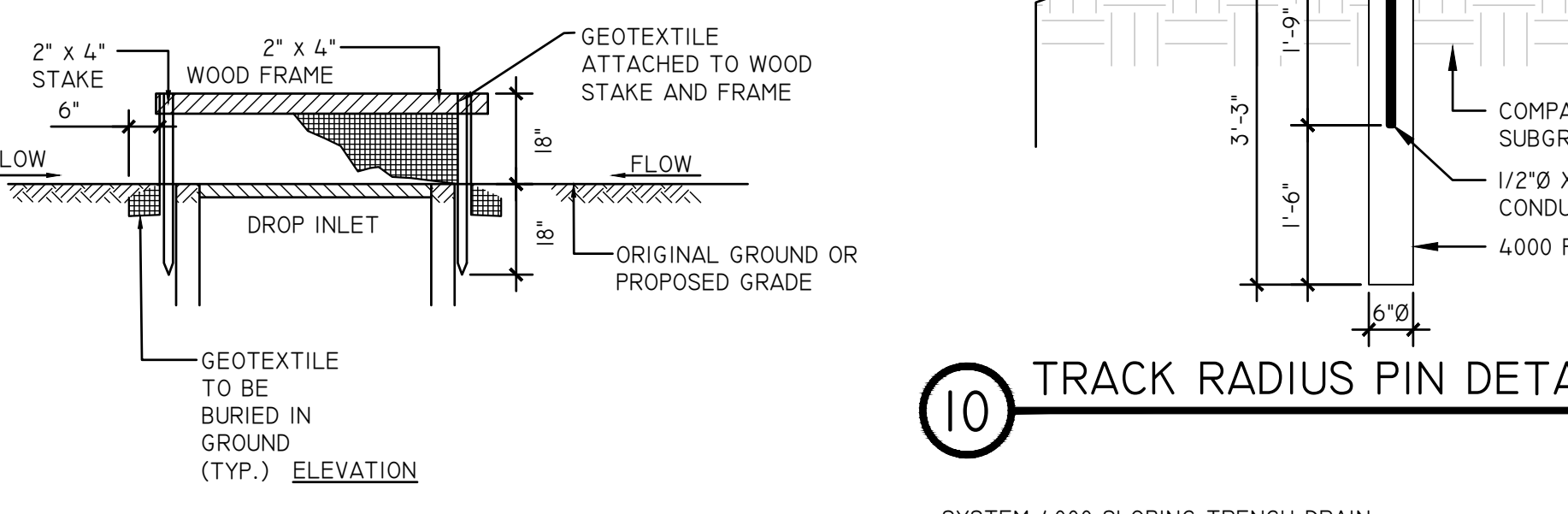
NOTES:

- REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
- IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 10 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
- INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK OR AFTER SUBSTANTIAL RAINFALL. REPAIR OR REPLACE DEFICIENCIES IMMEDIATELY.
- SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY TOWN OR ENGINEER.

4 TOPSOIL STOCKPILE DETAIL SCALE: N.T.S.



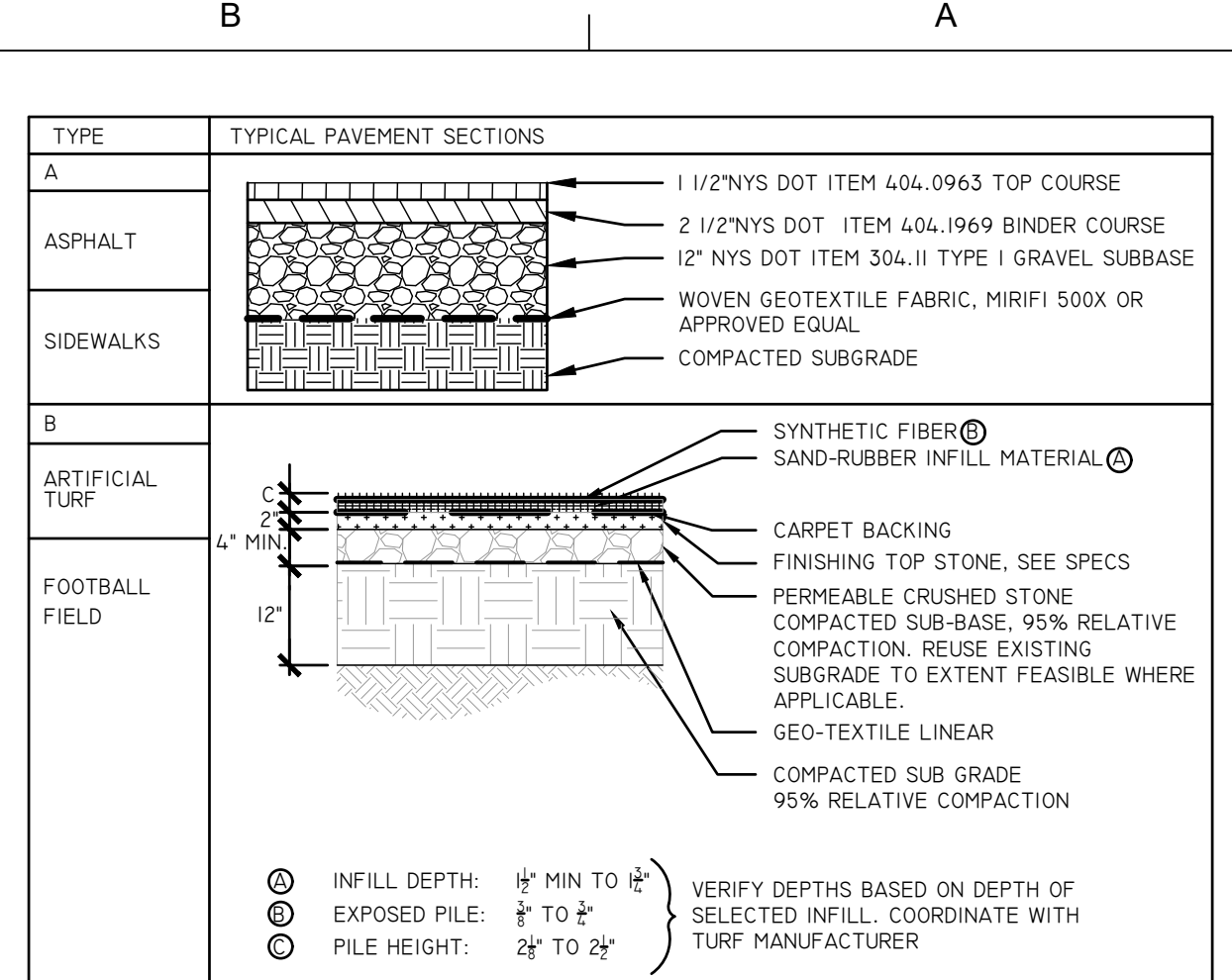
5 COMPOST FILTER SOCK SCALE: N.T.S.



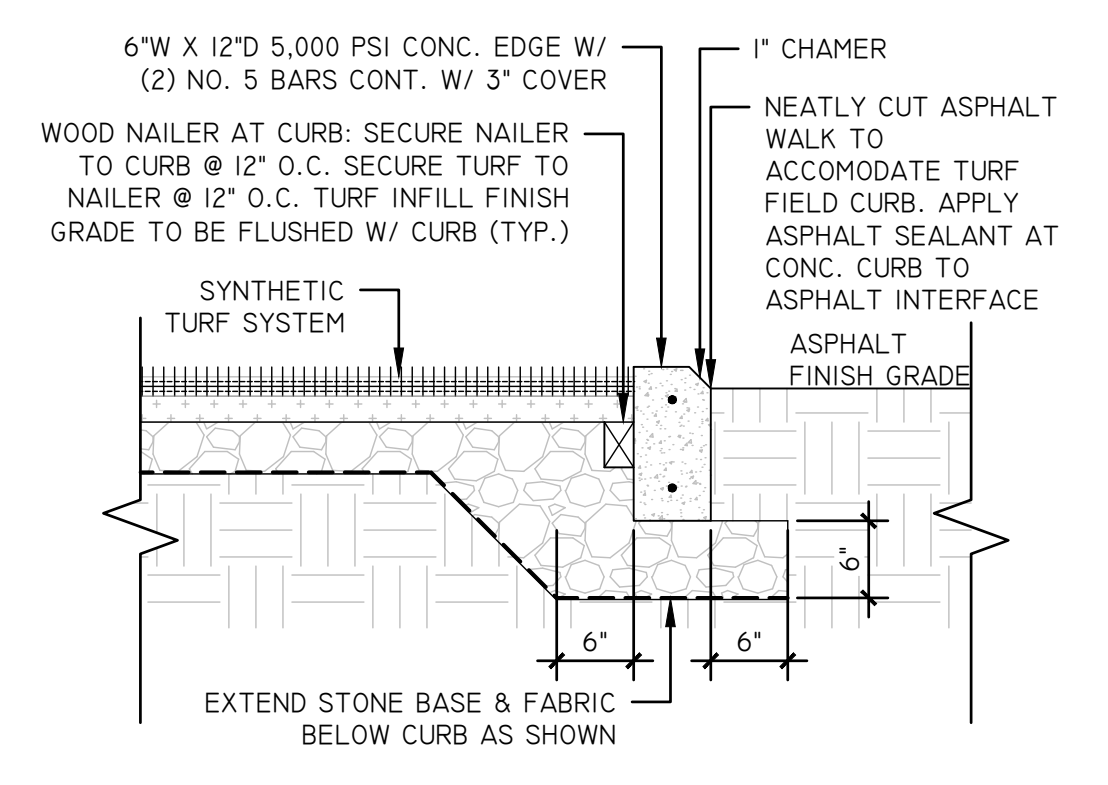
NOTES:

- GEOTEXTILE SHALL BE CUT FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NECESSARY THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIAL WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET DRIVE STAKES 18" MINIMUM INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
- GEOTEXTILE SHALL BE EMBEDDED 12" BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO STAKES AND FRAME.
- GEOTEXTILE FABRIC SHALL HAVE EOS OF 40-85.
- A 2" x 4" WOOD FRAME SHALL BE FORMED AROUND THE CREST OF FABRIC FOR OVERFLOW STABILITY.
- INLET PROTECTION TO REMAIN IN-PLACE UNTIL AREA IS STABILIZED.

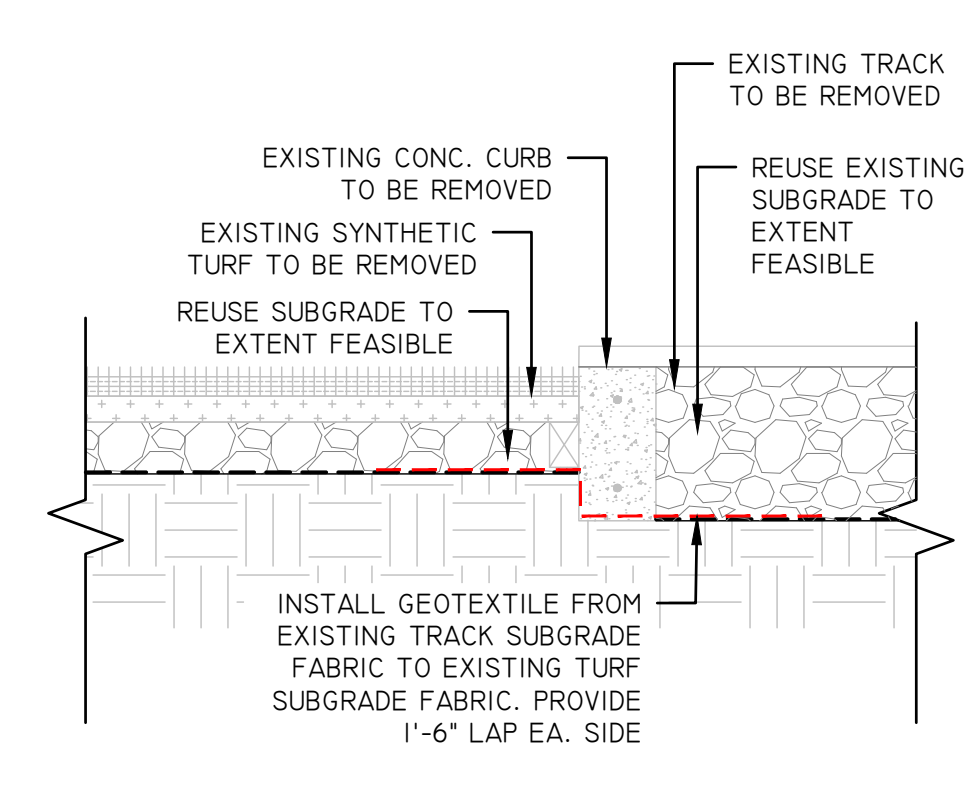
6 DROP INLET PROTECTION DETAIL SCALE: N.T.S.



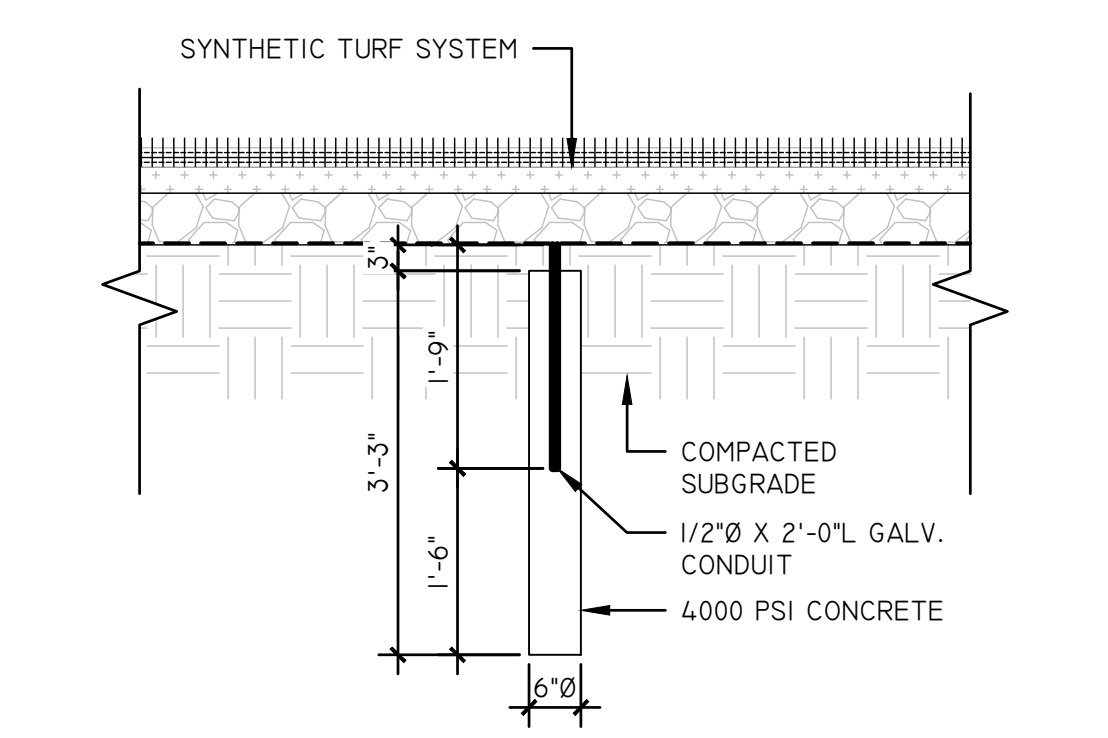
7 PAVEMENT SCHEDULE SCALE: N.T.S.



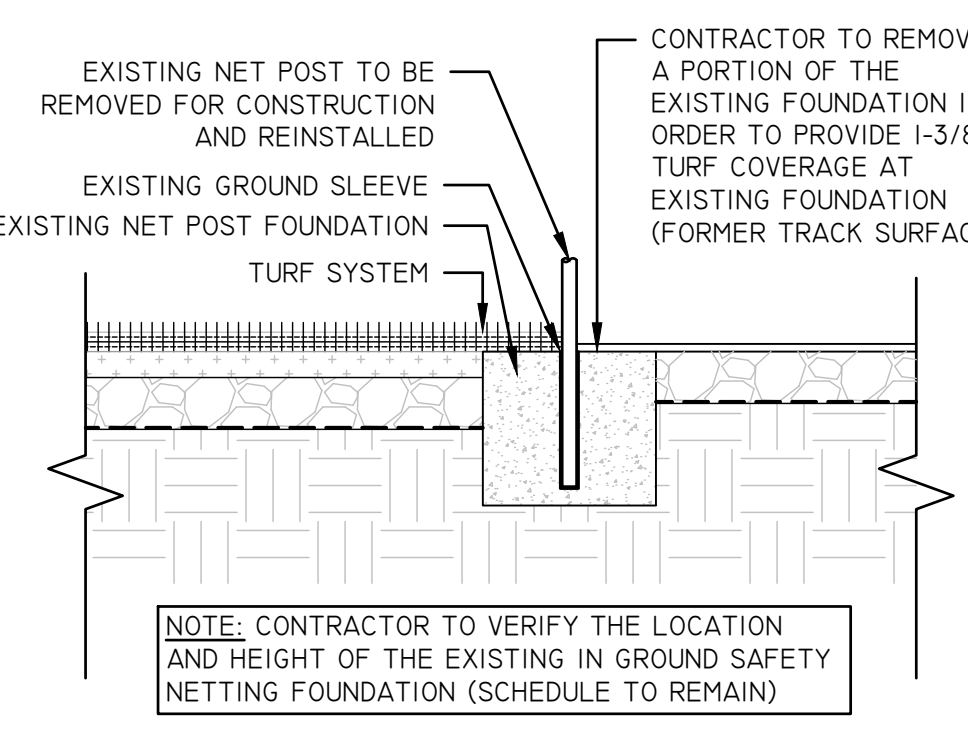
8 CONCRETE TURF EDGE DETAIL SCALE: N.T.S.



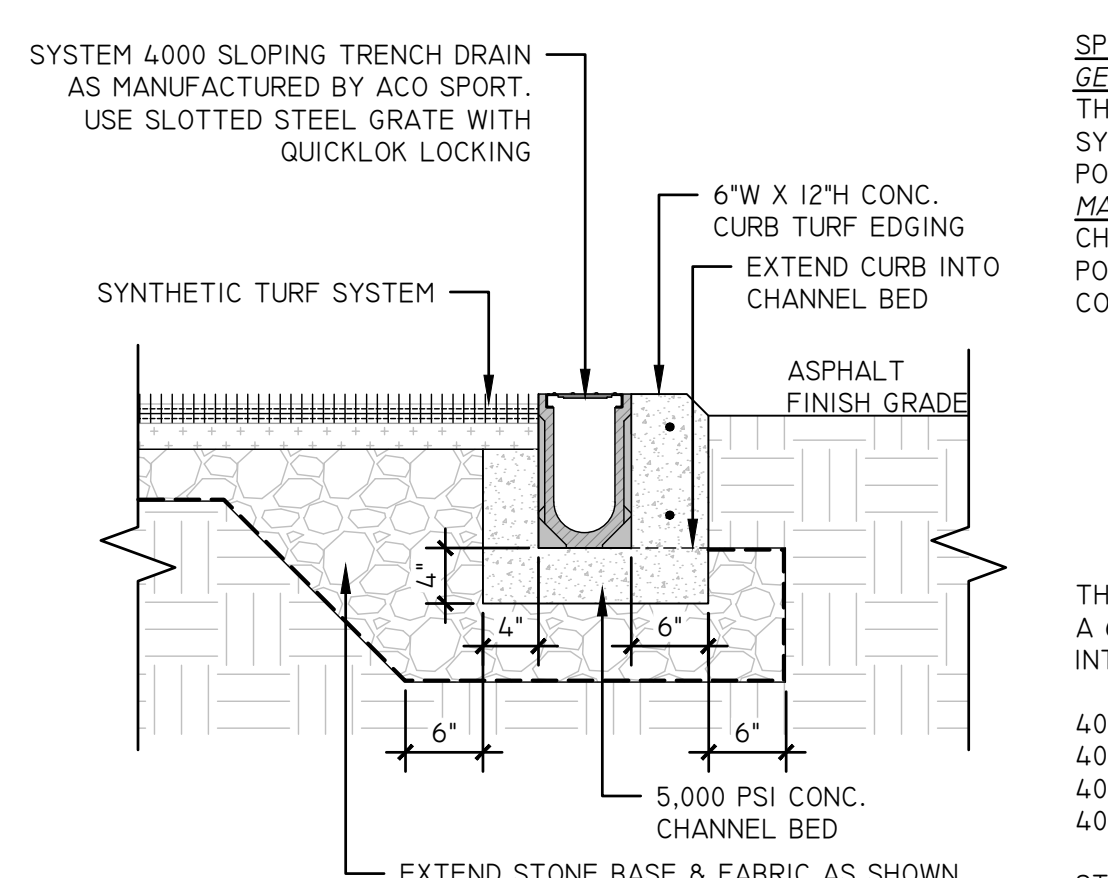
9 CONCRETE EDGE REMOVAL DETAIL SCALE: N.T.S.



10 TRACK RADIUS PIN DETAIL SCALE: N.T.S.



11 IN-GROUND SAFETY NET DETAIL SCALE: N.T.S.



NOTES:

- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
- MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
- EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
- REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

12 TRENCH DRAIN DETAIL SCALE: N.T.S.

SPECIFICATION CLAUSE:
GENERAL
THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE SYSTEM 4000 CHANNEL SYSTEM AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.
MATERIALS
CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:
COMPRESSIVE STRENGTH: 14,000 PSI
FLEXURAL STRENGTH: 4,000 PSI
TENSILE STRENGTH: 1,500 PSI
WATER ABSORPTION: 0.07%
FROST PROOF: YES
DILUTE ACID AND ALKALI RESISTANT: YES
BI7 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 4" (100MM) NOMINAL INTERNAL WIDTH AND A 6.1" (155MM) OVERALL WIDTH. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

4002 CHANNEL: INVERT DEPTH - 4.65"
4010 CHANNEL: INVERT DEPTH - 6.54"
4020 CHANNEL: INVERT DEPTH - 8.90"
4030 CHANNEL: INVERT DEPTH - 11.26"

STANDARD ACO DRAIN GRATES AND LOCKING DEVICES ARE USED. SEE SEPARATE SPECIFICATION SHEETS FOR INFORMATION.

THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. REFER TO ARCHITECT'S PLANS FOR TRENCH AND CATCH BASIN LOCATION.

KEY PLAN:

SED NO. 22-04-01-04-0-003-010

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BCA ARCHITECTS ENGINEERS

studioA

GENERAL BROWN CSD HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY	PROJECT NUMBER
CML	2023-105

CHECKED BY	DATE
KAC	12/16/2024

CONSTRUCTION DETAILS

BUILDING NUMBER	SHEET NUMBER
HS	1A-C500

BID

SITE PREPARATION & DEMOLITION NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND SUBSURFACE CONDITIONS PRIOR TO THE START OF WORK. COORDINATE ALL UTILITY REQUIREMENTS AND WORK WITH THE APPROPRIATE UTILITY PROVIDER. NOTIFY OWNER'S REPRESENTATIVE OF ANY AND ALL DISCREPANCIES.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED. MATERIALS THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR IN A TIMELY FASHION SO AS NOT TO DISRUPT PROGRESS AND TO ENSURE SAFE SITE CONDITIONS.
- CONTRACTOR SHALL NOT REMOVE OR DISTURB ANY ITEMS KNOWN TO CONTAIN HAZARDOUS MATERIALS OR SUBSTANCES. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY OF HAZARDOUS MATERIALS OR SUBSTANCES DISCOVERED DURING THE COMPLETION OF SPECIFIED WORK.
- CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL TO FULL DEPTH WITHIN THE LIMIT OF GRADING BEFORE COMMENCING EXCAVATION AND GRADING OPERATIONS. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
- CONTRACTOR SHALL IMPLEMENT AND BE RESPONSIBLE FOR ALL NECESSARY MEASURES AND PROCEDURES TO MAINTAIN AND PROTECT EXISTING UTILITIES TO REMAIN, PEDESTRIANS, LOCAL TRAFFIC AND ROADWAYS, ADJACENT PROPERTIES, AND ETC. FOR DURATION OF PROJECT AND UNTIL PROJECT COMPLETION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES AND/OR RESTORATION REQUIRED AS A RESULT OF DEFICIENT PROTECTION MEASURES.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND PAY ALL ASSOCIATED COSTS.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED DAILY BY THE CONTRACTOR ONLY.
- CONTRACTOR SHALL BE REQUIRED TO SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
- CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES NOT TO BE REMOVED.

EROSION & SEDIMENT CONTROL NOTES:

- ALL EXPOSED SOIL DISTURBANCE SHALL BE IN ACCORDANCE WITH THE NYS DEC REQUIREMENTS. ANY EXPOSED SOIL SHALL BE PROPERLY STABILIZED WITH EITHER PERMANENT SEED AND MULCH IF SOIL DISTURBANCE IS COMPLETED OR TEMPORARILY SEEDED AND MULCHED IF IT WILL BE MORE THAN 14 DAYS BEFORE ADDITIONAL SOIL DISTURBANCE WILL OCCUR. EXPOSED SOIL SHALL RECEIVE TEMPORARY OR PERMANENT SEED AND MULCH WITHIN 14 DAYS OF DISTURBANCE.
- THE CONTRACTOR SHALL LIMIT THE AREA OF CLEARING AND GRUBBING, EXCAVATION, BORROW, AND EMBANKMENT OPERATIONS IN PROGRESS, COMMENSURATE WITH THEIR CAPABILITY AND PROGRESS IN KEEPING THE FINISH GRADING AND MULCHING, SEEDING AND OTHER TEMPORARY AND/OR PERMANENT CONTROL MEASURES IN ACCORDANCE WITH THESE PLANS.
- THE CONTRACTOR SHALL DESIGNATE TO THE OWNER'S REPRESENTATIVE A QUALIFIED EROSION AND SEDIMENT CONTROL SUPERVISOR WITH ADEQUATE TRAINING, EXPERIENCE, AND AUTHORITY TO IMPLEMENT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES AS PER THE NYS DEC REQUIREMENTS.
- CONSTRUCTION IS TO PROCEED IN ACCORDANCE WITH THE CONSTRUCTION PHASING SCHEDULE SUPPLIED BY THE CONTRACTOR OR SHOWN ON THE PLANS. GRASSES SHALL BE ESTABLISHED ON ALL DISTURBED AREAS AS SOON AS POSSIBLE. FOR TIME FRAMES OUTSIDE THE GROWING SEASON, OTHER METHODS OF SOIL STABILIZATION (SUCH AS THE USE OF JUTE MESH EXCELSIOR MATTING) WILL BE USED UNTIL SUCH A TIME AS GRASS CAN BE ESTABLISHED.
- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY SITE DISTURBANCE. THIS INCLUDES GRADING OPERATIONS, UTILITY OR STRUCTURE INSTALL.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH NYS DEC REQUIREMENTS.
- APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL THE CONTRIBUTING DRAINAGE AREA SERVED IS STABILIZED.
- THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED AFTER EVERY STORM EVENT.
- THE CONTRACTORS ATTENTION IS DIRECTED TO THE FACT THAT THROUGHOUT THE DURATION OF THE PROJECT IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL WATER COURSES FROM WATER BORNE SEDIMENT OR POLLUTANTS ORIGINATING FROM ANY WORK DONE ON, OR IN SUPPORT OF THIS PROJECT.
- ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO PREVENT CONTAMINATION OF WATERBODIES BY SILT, SEDIMENT, FUELS, SOLVENTS, LUBRICANTS, EPOXY COATINGS, CONCRETE LEACHATE, OR ANY OTHER POLLUTANT ASSOCIATED WITH CONSTRUCTION AND CONSTRUCTION PROCEDURES.

LAYOUT NOTES:

- VERIFY LOCATION OF ROADS AFFECTING SCOPE OF WORK.
- VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT AND PIPING, DRAINAGE STRUCTURES AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERING DRAWINGS. NOTIFY ENGINEER OF ANY CONFLICTS WITH THE PROJECT CONSTRUCTION SCOPE.
- ALL ANGLES TO BE 90 DEGREES AND ALL LINES OF PAVING AND FENCING TO BE PARALLEL, UNLESS NOTED OTHERWISE. MAINTAIN HORIZONTAL ALIGNMENT OF ADJACENT ELEMENTS AS NOTED ON THE DRAWINGS.
- REFERENCE TO NORTH REFERS TO PLAN NORTH. REFERENCE TO SCALE IS FOR FULL-SIZED DRAWINGS ONLY. DO NOT SCALE FROM REDUCED DRAWINGS.

SITE WORK NOTES:

- BEFORE ANY LAND CLEARING IS COMMENCED, THE CONTRACTOR SHALL ARRANGE A MEETING ON SITE WITH THE OWNER'S REPRESENTATIVE TO IDENTIFY WHICH TREES ARE TO BE PROTECTED OR REMOVED. NO CLEARING SHALL OCCUR WITHOUT A CLEAR UNDERSTANDING OF THE EXISTING CONDITIONS TO BE PRESERVED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND PLANTS DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD. THE PLACEMENT OF PROTECTION DEVICES ADDITIONAL TO THOSE NOTED SHALL, HOWEVER, BE AT THE CONTRACTORS DISCRETION. VEHICLES SHALL NOT BE PARKED WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE KEPT. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE KEPT. ALL TEMPORARY EROSION AND SEDIMENT (E&S) CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH DISTURBANCE. E&S CONTROL DEVICES SHALL BE REGULARLY INSPECTED AND MAINTAINED AS NEEDED TO ENSURE SATISFACTORY PERFORMANCE. ANY DAMAGE OCCURRING DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER. ASSOCIATED FINES RESULTING FROM SUCH DAMAGE SHALL ALSO BE PAID BY THE CONTRACTOR.
- ALL PROPOSED GRADES SET IN THE FIELD TO BE COMPLETED BY A NEW YORK STATE LICENSED SURVEYOR.
- ALL AREAS REQUIRING FILL SHALL BE BROUGHT TO REQUIRED GRADE IN A MAXIMUM OF 12' COMPACTED LIFTS.

- ALL SLOPES 3:1 AND GREATER SHALL BE STABILIZED WITH SLOPE STABILIZATION MATS. LOCATIONS AND METHODS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH (1/8") PER FOOT. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY BEFORE CONTINUING WORK.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINE SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY INTO EXISTING GRADE, PROVIDING VERTICAL CURVES OR ROUNDINGS AT THE TOP AND BOTTOM OF ALL SLOPES.
- DURING GRADING OPERATIONS, DRAINAGE OF THE SITE AND ADJACENT AREAS SHALL BE MAINTAINED CONTINUOUSLY TO PREVENT EROSION OR OTHER DAMAGE. WHEN IT IS NECESSARY TO INTERRUPT DRAINAGE OR OTHER EXISTING UTILITIES, CONTRACTOR IS TO PROVIDE TEMPORARY FACILITIES UNTIL PERMANENT WORK IS COMPLETED AT NO COST TO THE OWNER.
- GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURE TO PREVENT PONDING. FINISHED SURFACES SHALL BE FREE FROM ANY ABRUPT OR IRREGULAR CHANGES.
- EXCAVATION REQUIRED WITHIN DRIP LINE OF TREES DESIGNATED TO REMAIN SHALL BE DONE BY HAND SO THAT NO DAMAGE OCCURS TO EXISTING ROOT SYSTEM. PLANT MATERIALS DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND AT NO ADDITIONAL EXPENSE TO THE OWNER.
- EXCAVATION SHALL BE TO ELEVATIONS INDICATED WITH A TOLERANCE OF ± 1".
- SUBBASE COURSE MATERIAL SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 304, TYPE 2 AND SHALL CONFORM TO MIN 95% MODIFIED PROCTOR DENSITY. BACKFILL MATERIAL SHALL BE COMPACTED ON SITE SOIL MATERIAL.
- EMBANKMENT FILL SHALL CONFORM WITH ALL REQUIREMENTS OF NYSDOT SPEC. SECTION 203. MAXIMUM ALLOWABLE LOOSE LIFTS FOR EMBANKMENTS SHALL BE 12 INCH AND SHALL BE COMPACTED TO NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS ESTABLISHED THROUGH THE STANDARD PROCTOR COMPACTION TEST PER ASTM D698.
- ALL TRENCHES AND OTHER EXCAVATION SIDE SLOPES INDICATED ON THE DRAWINGS ARE DIAGNOSTIC ONLY AND ARE NOT INTENDED TO INDICATE A STABLE EXCAVATION SLOPE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY AND STABILITY OF ALL EXCAVATION SLOPES, SHEETING, SHORING, TRENCH BOXES, AND ANY OTHER MEANS REQUIRED FOR A SAFE WORK ENVIRONMENT AND FOR PROTECTION OF ADJACENT ROADWAYS AND OTHER STRUCTURES. ALL EXCAVATION WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE FOLLOWING REGULATORY AGENCIES:
 - SUBPART 23-4, "EXCAVATION OPERATIONS", OF NEW YORK DEPARTMENT OF LABOR INDUSTRIAL CODE RULE 23.
 - SUBPART P, "EXCAVATIONS" OF THE UNITED STATES DEPARTMENT OF LABOR OSHA REGULATIONS FOR CONSTRUCTION.
 - ALL OTHER MUNICIPAL, COUNTY, STATE OR FEDERAL AGENCIES, REGULATIONS OR LAWS PERTAINING TO EXCAVATION SAFETY AS MAY APPLY AT THE WORK SITE.
 - THE MORE STRINGENT PROVISION IN EACH OF THE ABOVE CODES SHALL APPLY. THESE PROVISIONS SHALL BE CONSIDERED MINIMUM REQUIREMENTS AND SHALL BE INCREASED IF NECESSARY TO PROVIDE SAFE WORKING CONDITIONS.
- CRUSHED STONE, WHERE CALLED FOR ON THE DRAWINGS, SHALL CONFORM TO NYS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS SECTION 703-02, SIZE DESIGNATION 2.
- ALL SPOILS ARE TO BE REMOVED FROM SITE

PLANTING NOTES:

- ALL PLANT BEDS TO BE MULCHED WITH 4" DEEP SHREDDED CEDAR-NATURAL COLOR, UNLESS OTHERWISE NOTED ON THE PLANS.
- PRIOR TO PLANTING, CONTRACTOR SHALL LOCATE, VERIFY, AND REPORT ANY CONFLICTS OF EXISTING UTILITY LINES TO THE LANDSCAPE ARCHITECT.
- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY DIRECTOR'S REPRESENTATIVE.
- WRITTEN APPROVAL IS REQUIRED FROM LANDSCAPE ARCHITECT OF ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIAL. CHANGED PLANTS SHALL BE EQUIVALENT FORM, HEIGHT, FLOWER, COLOR, LEAF, SIZE, BRANCHING, CULTURE AND FRUIT.
- A MINIMUM OF 6" OF SUITABLE TOPSOIL IS REQUIRED IN AREAS WITH PROPOSED LAWN SEEDING PRIOR TO SEEDING.
- PRIOR TO COMMENCEMENT OF PLANTING, STAKE LOCATION OF ALL PLANTINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
- SCHEDULE DELIVERY OF PLANTS ONLY IN REASONABLE TIME AS TO WHEN THEY CAN BE INSTALLED. PLANTS TO BE INSPECTED BY LANDSCAPE ARCHITECT AT DELIVERY.
- MAINTENANCE TO BEGIN IMMEDIATELY FOLLOWING INSTALLATION OF PLANT MATERIALS AND LAWN UNTIL FINAL ACCEPTANCE.
- TREES SHALL NOT BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BE PLANTED 3" HIGHER THAN PREVIOUS GRADE. SHRUBS AND GROUND COVER SHALL BE PLANTED AS THE SAME RELATIONSHIP TO GRADE AS PREVIOUS GRADE.
- PLANT MATERIAL QUANTITIES TO BE PROVIDED BY CONTRACTOR AS SHOWN ON DRAWINGS.
- UNLESS NOTED ON PLANT LIST, PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN.
- FOR SEEDING OF DISTURBED AREAS USE SPECIFIED MIX FOR DESIGNATED AREA OR APPROVED EQUAL APPROVED BY LANDSCAPE ARCHITECT. ALL DISTURBED AREAS NOT COVERED WITH SITE IMPROVEMENTS OR LANDSCAPING SHALL BE COVERED WITH 3" OF TOPSOIL AND SEEDED TO ESTABLISH A DENSE GROWTH OF TURF. SEED MIX SHALL INCLUDE 70% CREEPING RED FESCUE AND 30% BLEND OF SHADE-TOLERANT HARD FESCUE. SEED MIX LBS/1,000 SQ. FT. SHALL BE COMPLIANT WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, PAGE 4.46.

KEY PLAN:

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studioA

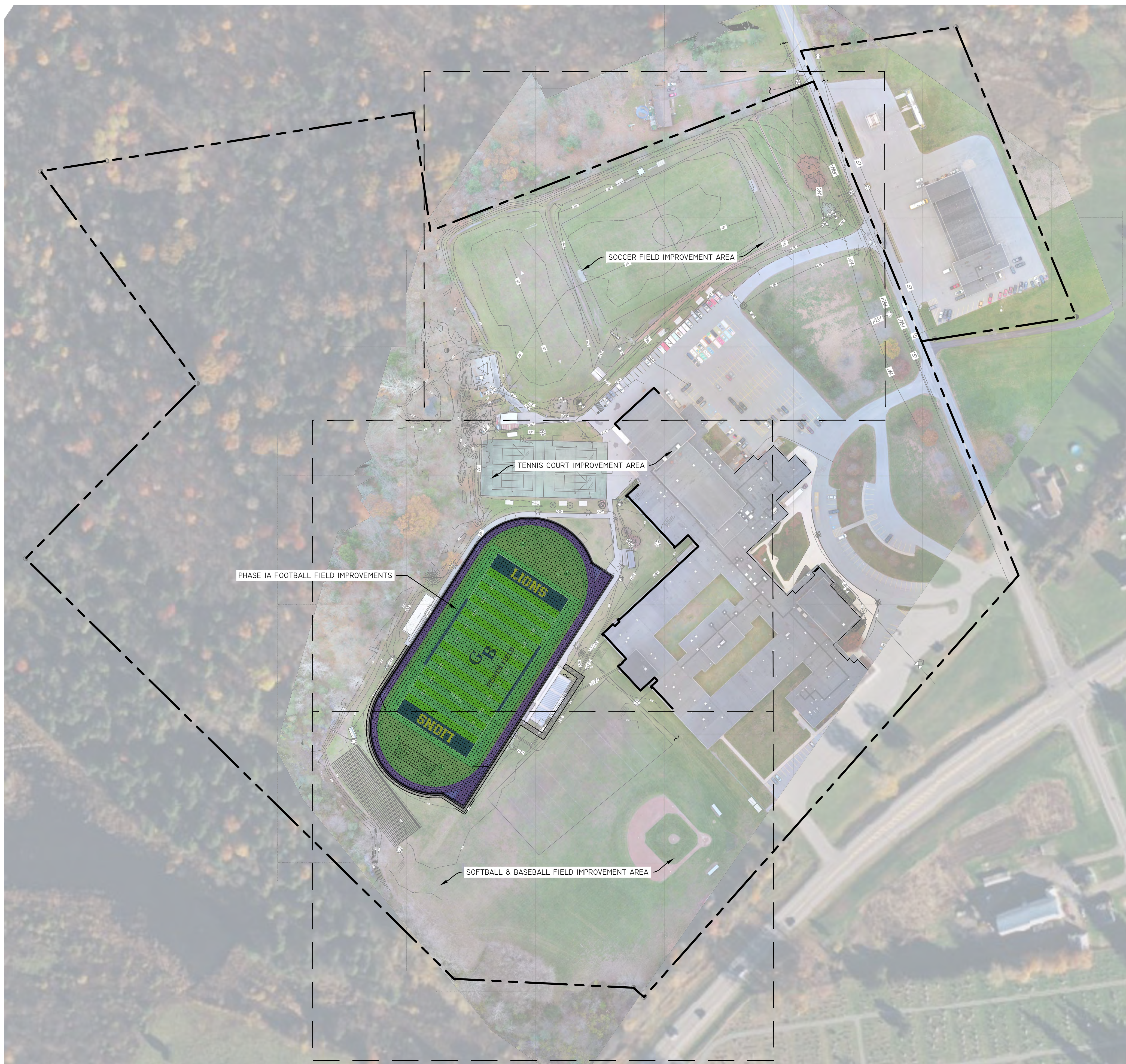
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 HIGH SCHOOL
 17643 CEMETERY RD
 DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

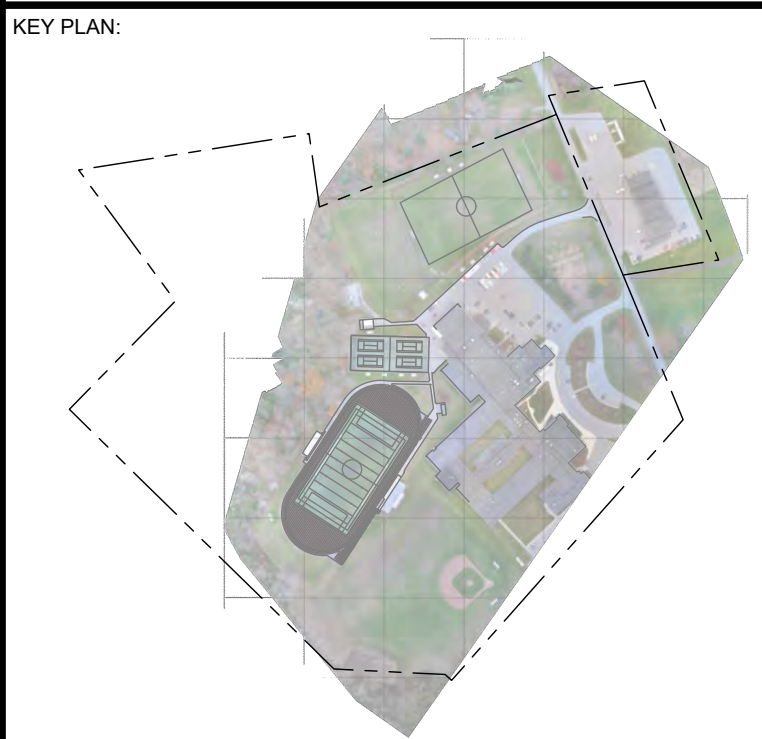
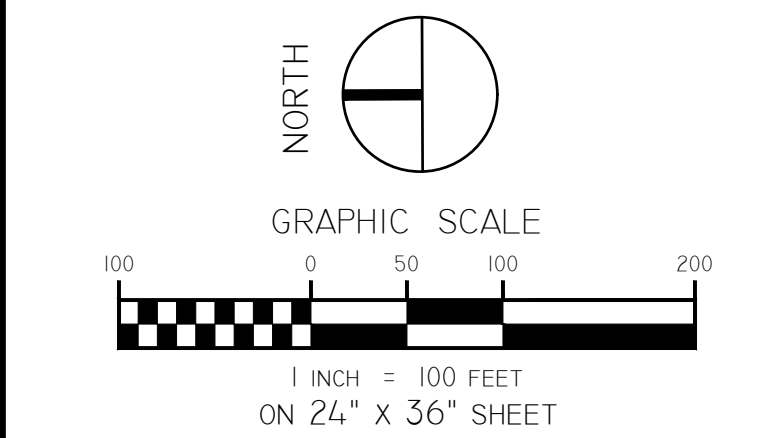
DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

MASTER NOTES

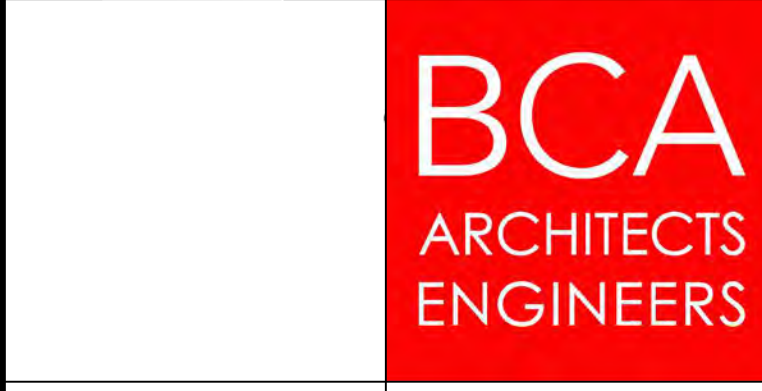
BUILDING NUMBER HS	SHEET NUMBER C000 BID
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12/13/2024 11:22:20 AM



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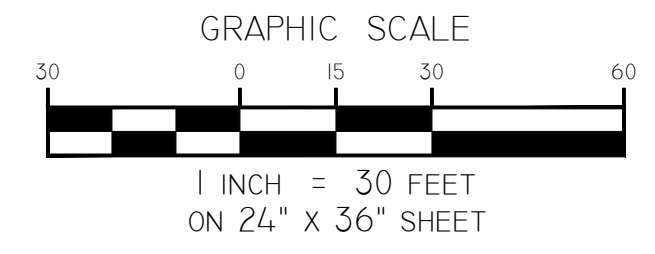
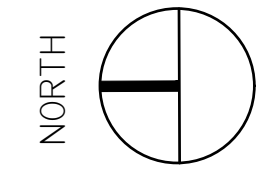
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DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

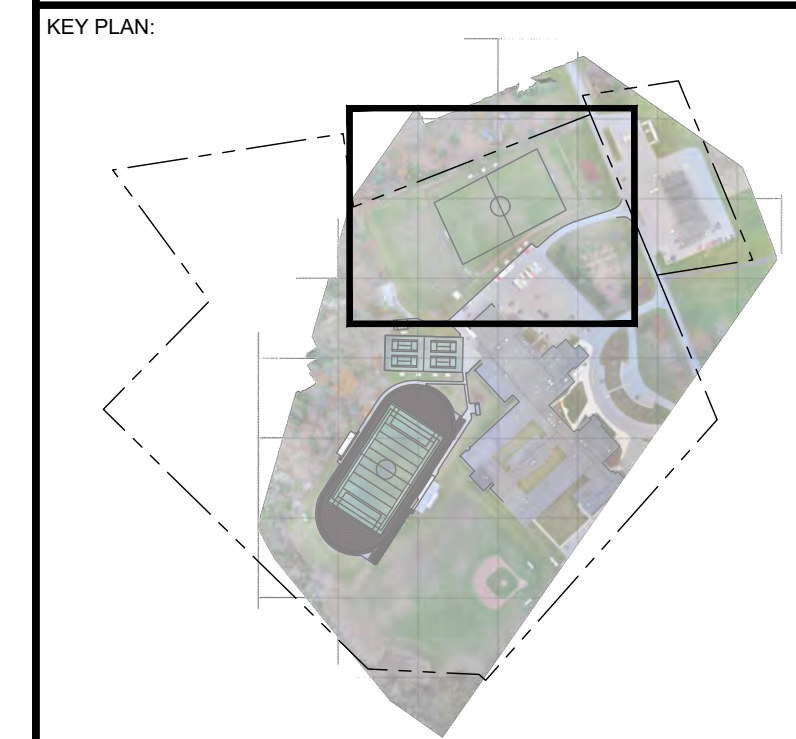
OVERALL KEY PLAN

BUILDING NUMBER HS	SHEET NUMBER C070 BID
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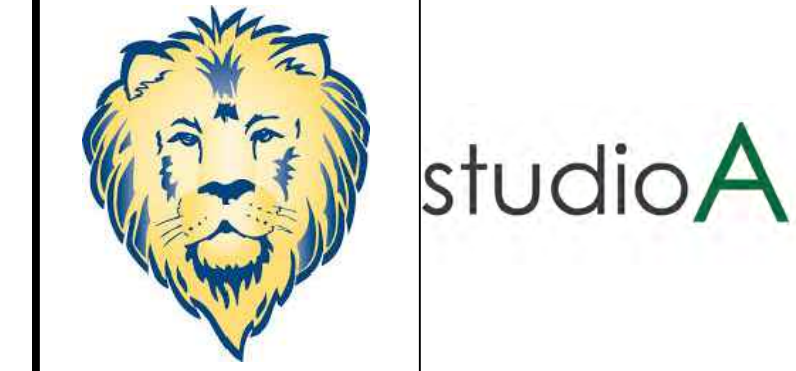


MAP REFERENCE:
 BASE MAP INFORMATION OBTAINED FROM A SURVEY AND ARIEL IMAGERY PROVIDED BY BCA ARCHITECTS.



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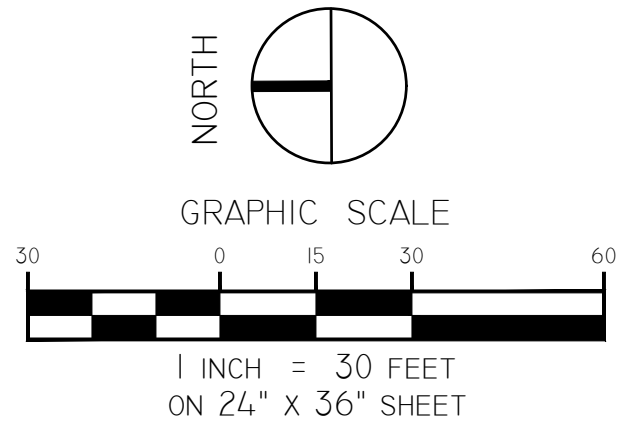
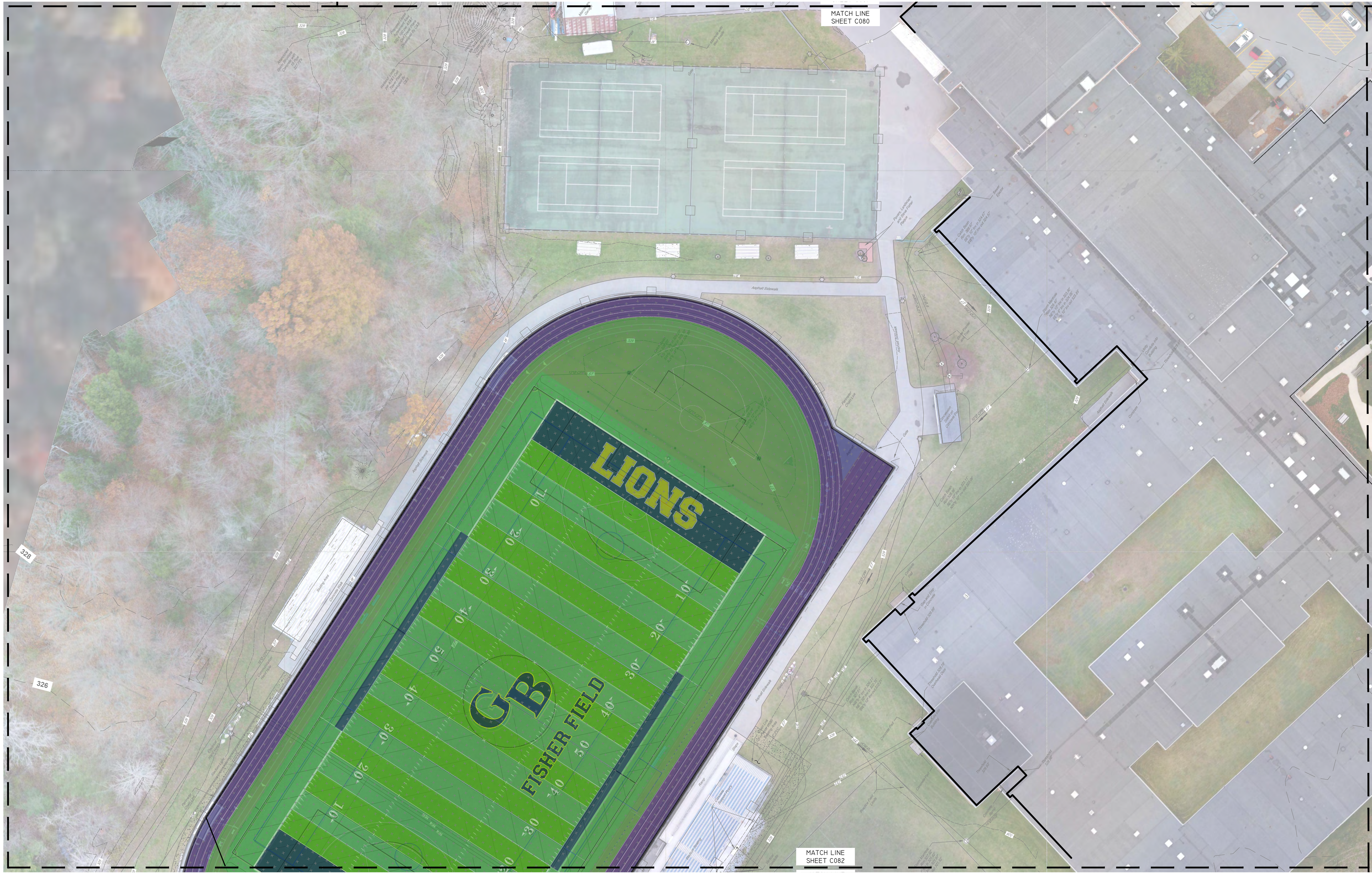
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 HIGH SCHOOL
 17643 CEMETERY RD
 DEXTER - JEFFERSON - NEW YORK**

REV	DATE	DESCRIPTION

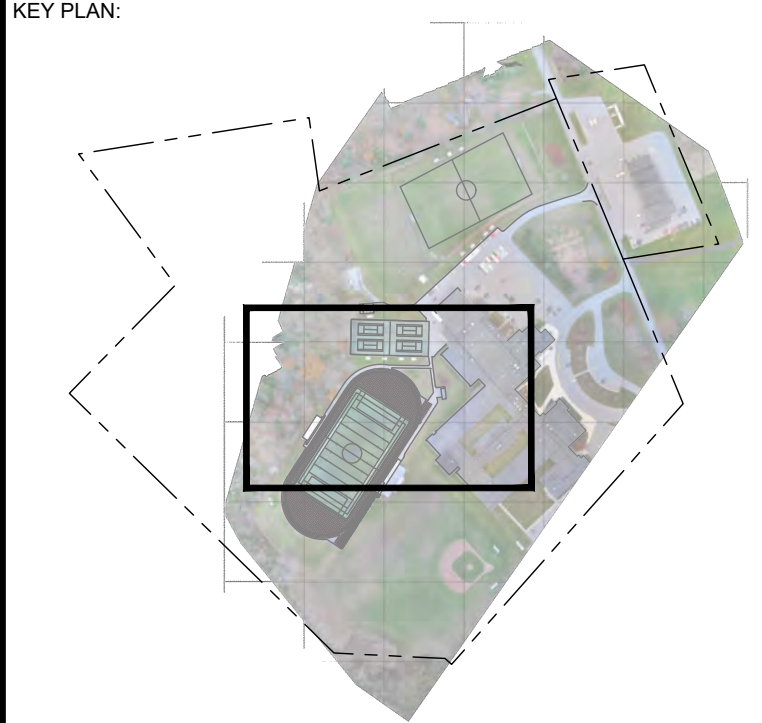
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CHECKED BY KAC	DATE 12/16/2024

**EXISTING CONDITIONS
 SOCCER FIELDS**

BUILDING NUMBER HS	SHEET NUMBER C080 BID
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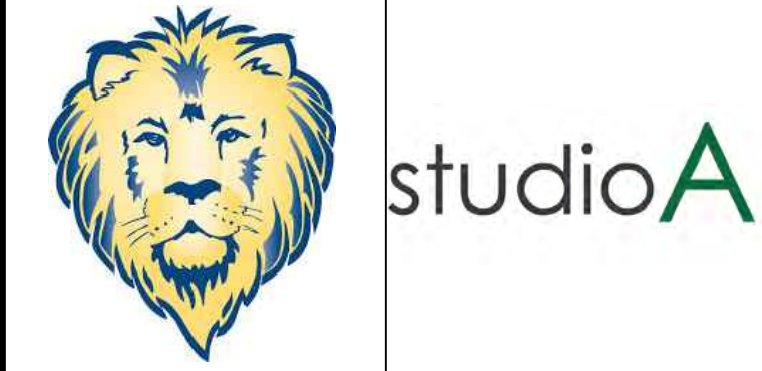
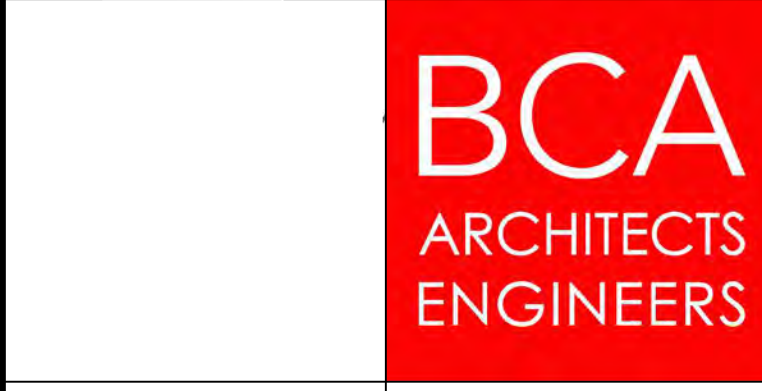


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REV	DATE	DESCRIPTION

EXISTING CONDITIONS
 TENNIS COURTS

BUILDING NUMBER	SHEET NUMBER
HS	C081
	BID

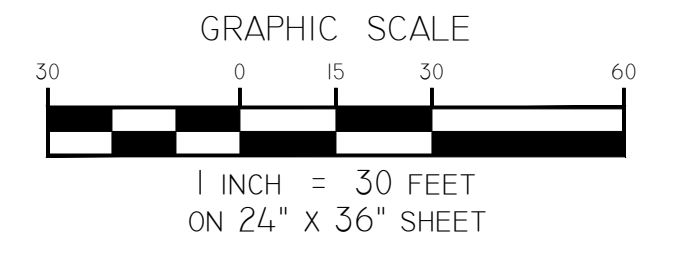
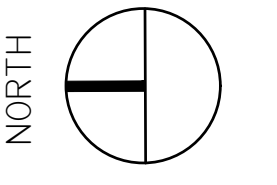
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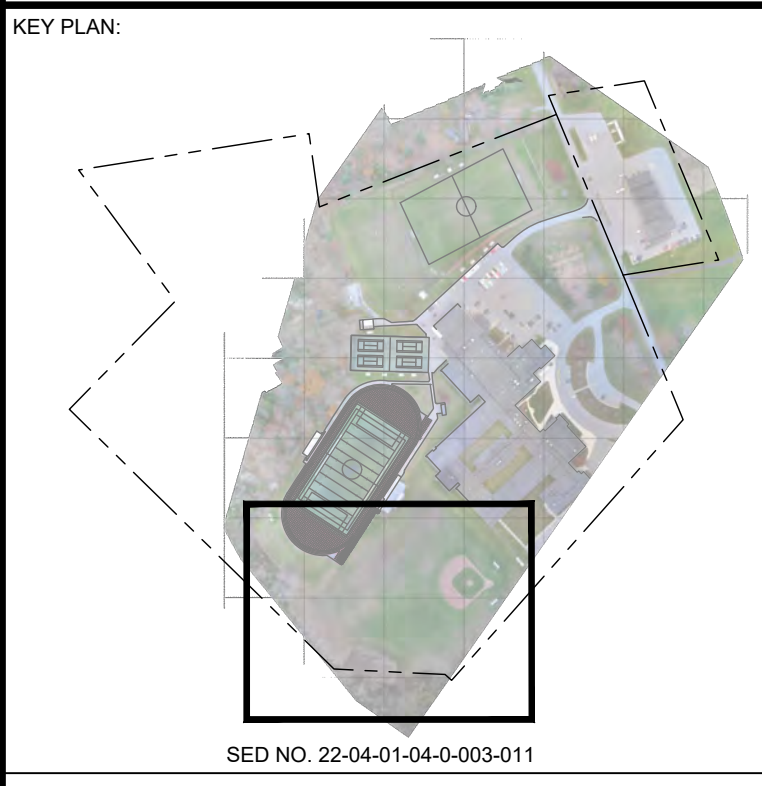


SHEET C082
MATCH LINE
SHEET C081

PREVIOUS PHASE FOOTBALL FIELD IMPROVEMENTS

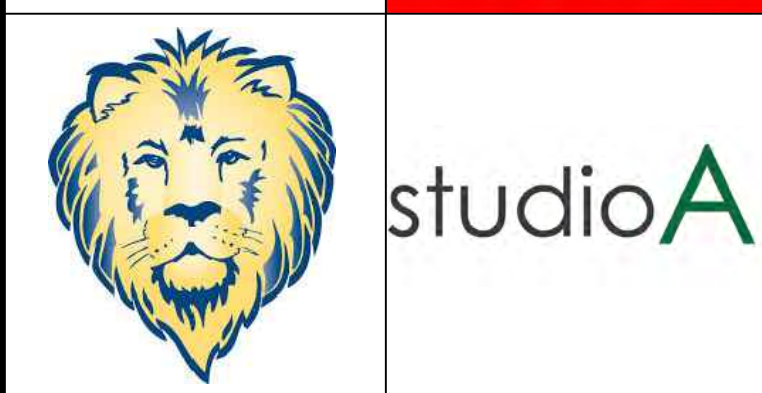


MAP REFERENCE:
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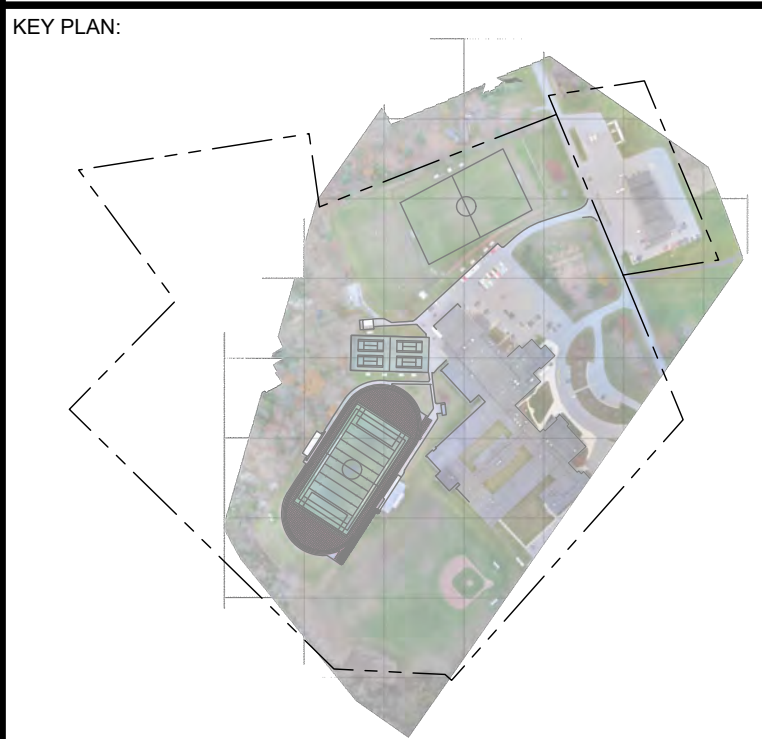
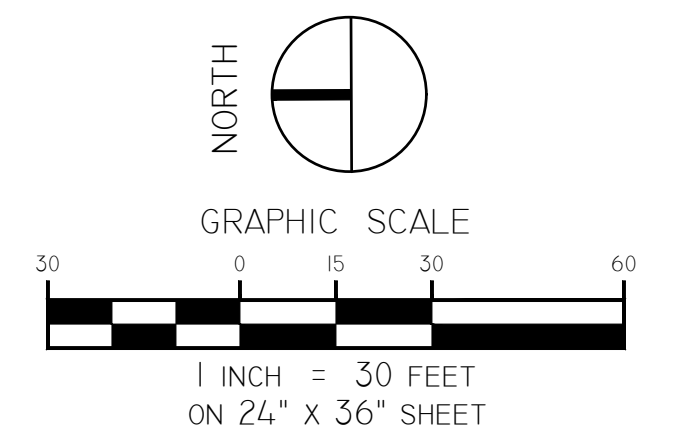
DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

EXISTING CONDITIONS
BASEBALL & SOFTBALL FIELDS

BUILDING NUMBER HS	SHEET NUMBER C082 BID
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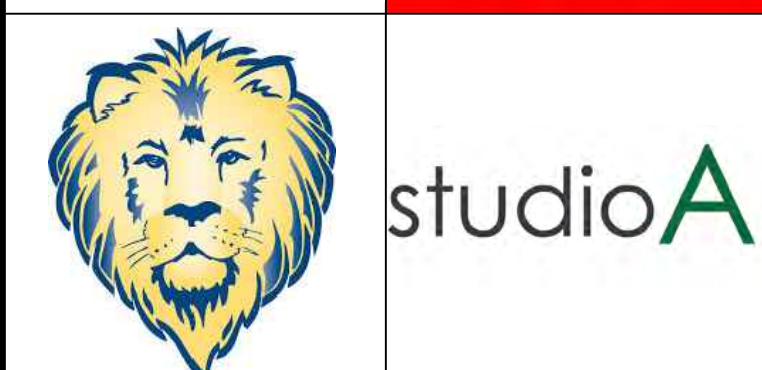
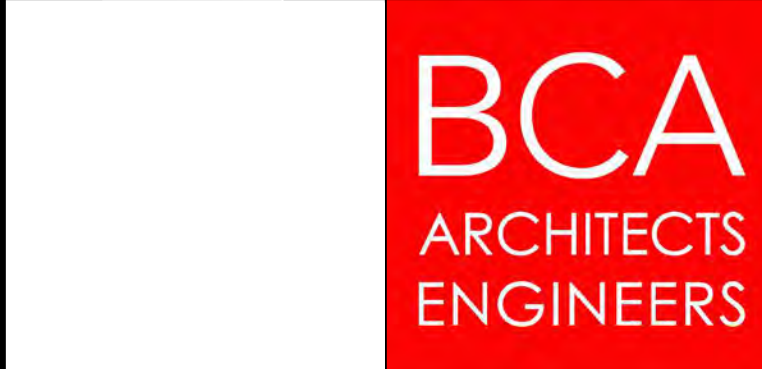
NOTE: CONSTRUCTION PHASES MAY OCCUR IN ANY ORDER AND COMBINATION PROVIDED THE TOTAL DISTURBED AREA DOES NOT EXCEED 5 ACRES AND ALL EROSION AND SEDIMENT CONTROLS IDENTIFIED ON SHEETS C091 THROUGH C093 ARE IN PLACE. NEXT PHASE NOT TO COMMENCE UNTIL THE PREVIOUS PHASES DISTURBED AREAS ARE FULLY STABILIZED.

- LEGEND:**
- PROPERTY LINE
 - - - - -330- - - EXISTING MAJOR CONTOUR
 - - - - - EXISTING MINOR CONTOUR
 - DISTURBANCE LIMITS



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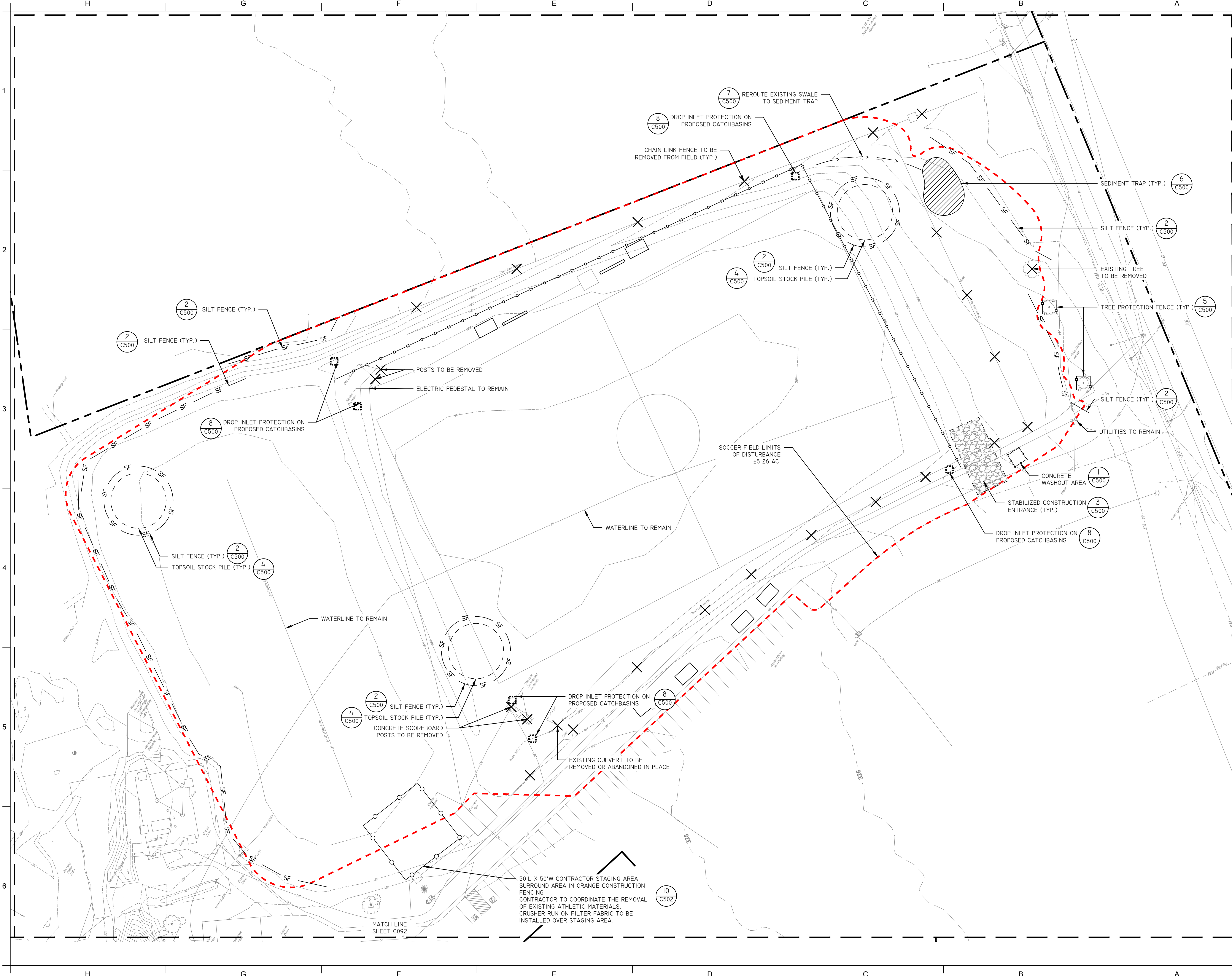
DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

CONSTRUCTION PHASING PLAN

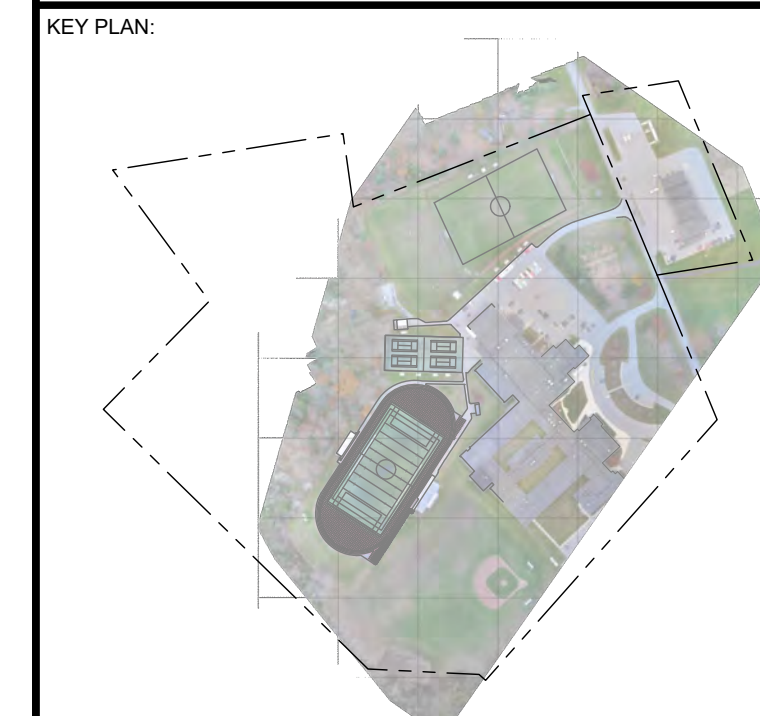
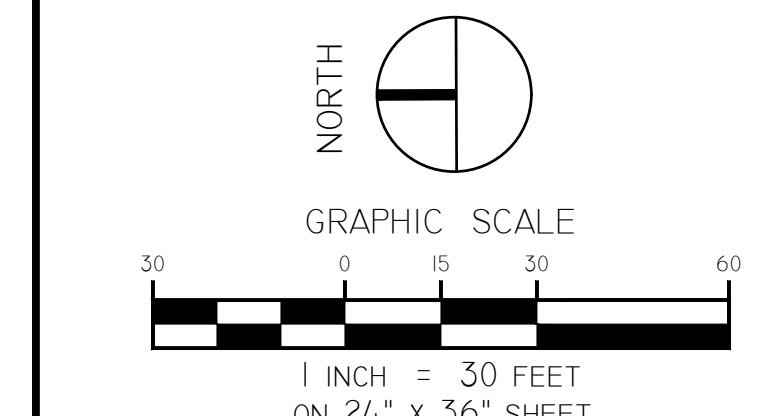
BUILDING NUMBER HS	SHEET NUMBER C090 BID
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12/13/2024 11:25:04 AM

12/13/2024 11:25:09 AM

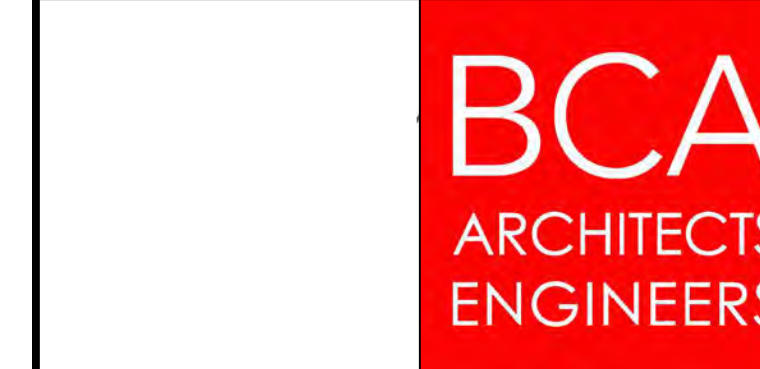


- LEGEND:**
- PROPERTY LINE
 - - - - - .330 - - - - - EXISTING MAJOR CONTOUR
 - - - - - EXISTING MINOR CONTOUR
 - - - - - SF - - - - - SILT FENCE
 - - - - - - CONSTRUCTION FENCE
 - - - - - DISTURBANCE LIMITS
 - - - - - TEMPORARY SWALE
 - ▨ SEDIMENT TRAP
 - ⊗ SURFACE TO BE REMOVED
 - ⊗ SITE FEATURE OR TREE TO BE REMOVED



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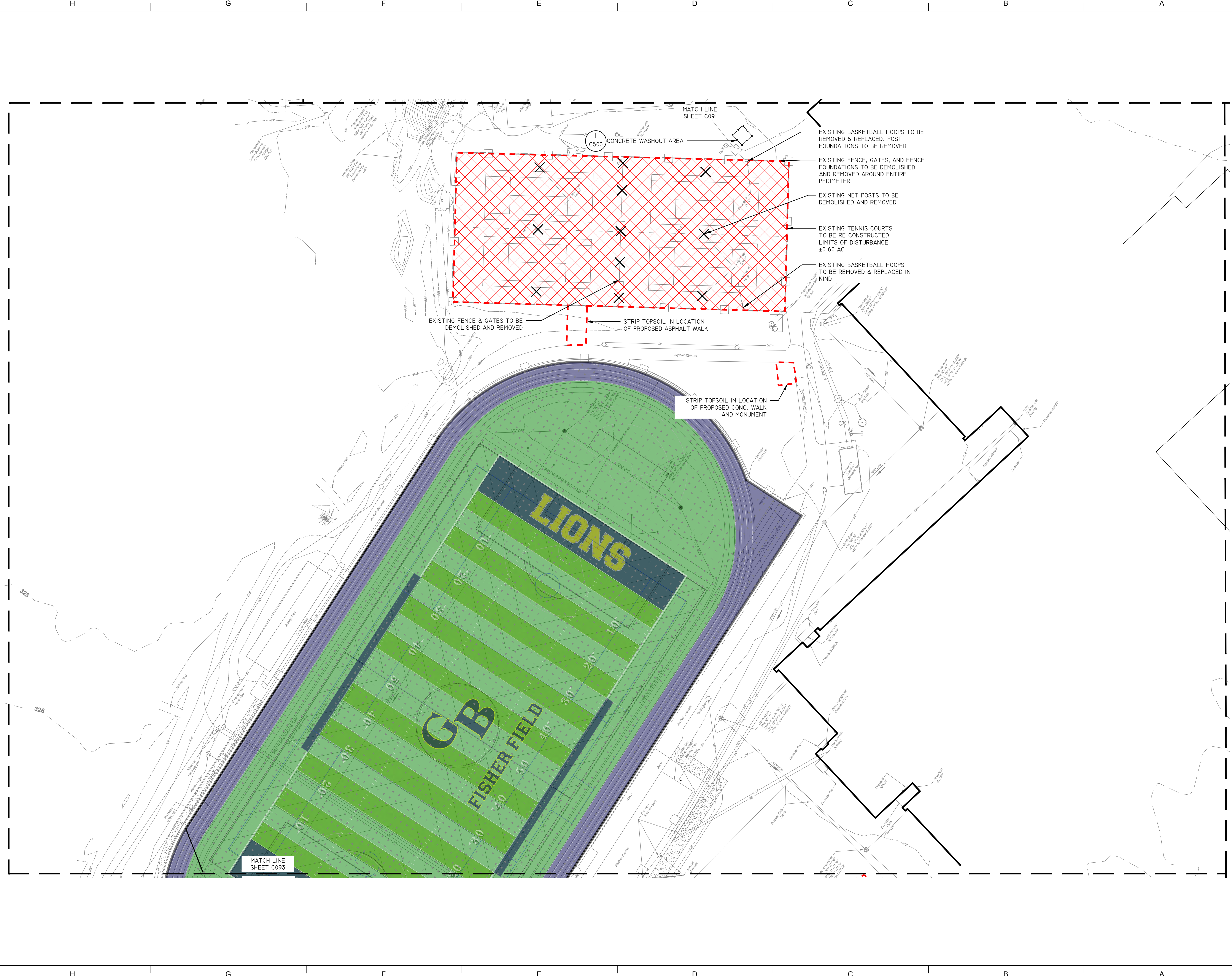
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CHECKED BY KAC	DATE 12/18/2024

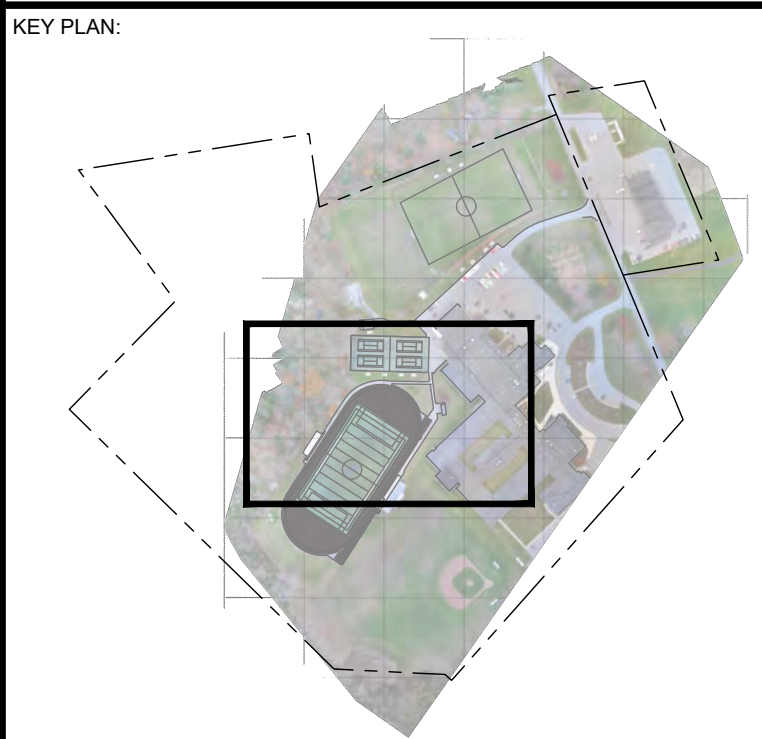
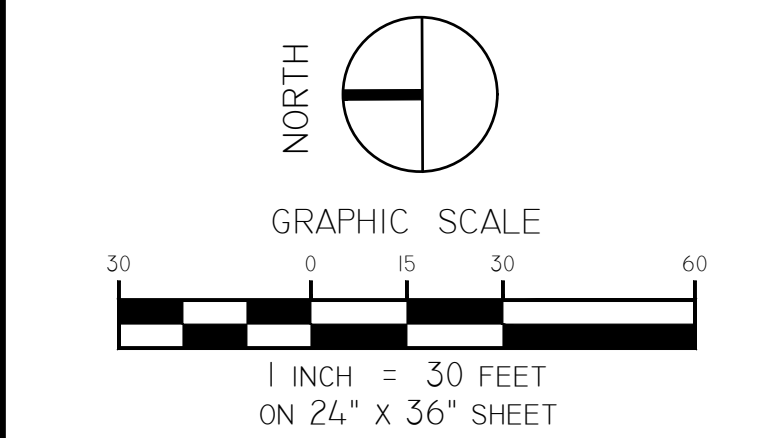
DEMOLITION EROSION & SEDIMENT CONTROL PLAN - SOCCER FIELD - ALT SC4

BUILDING NUMBER HS	SHEET NUMBER C091 BID
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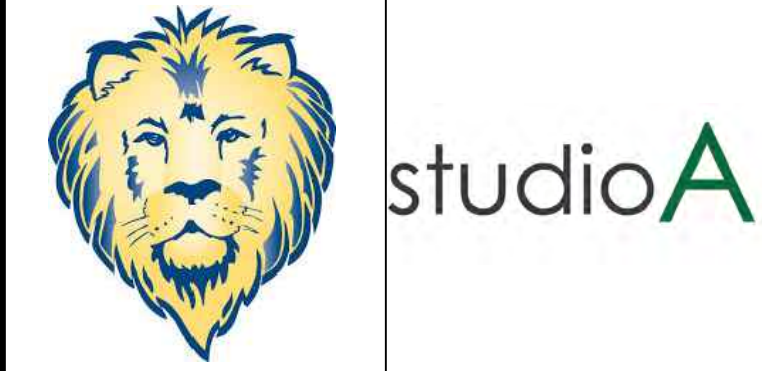
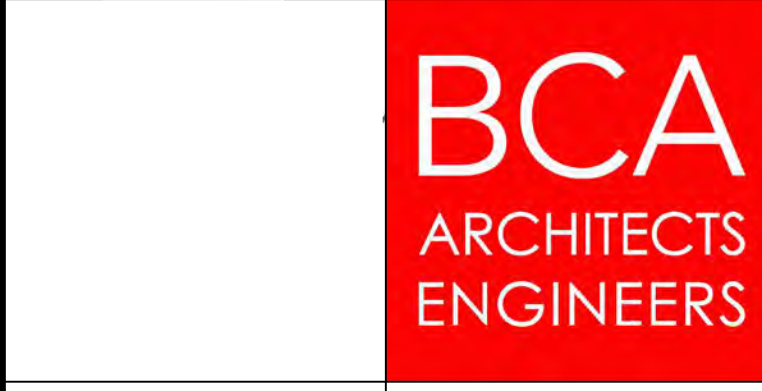


- LEGEND:**
- PROPERTY LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - SILT FENCE
 - CONSTRUCTION FENCE
 - DISTURBANCE LIMITS
 - TEMPORARY SWALE
 - SEDIMENT TRAP
 - SURFACE TO BE REMOVED
 - SITE FEATURE OR TREE TO BE REMOVED



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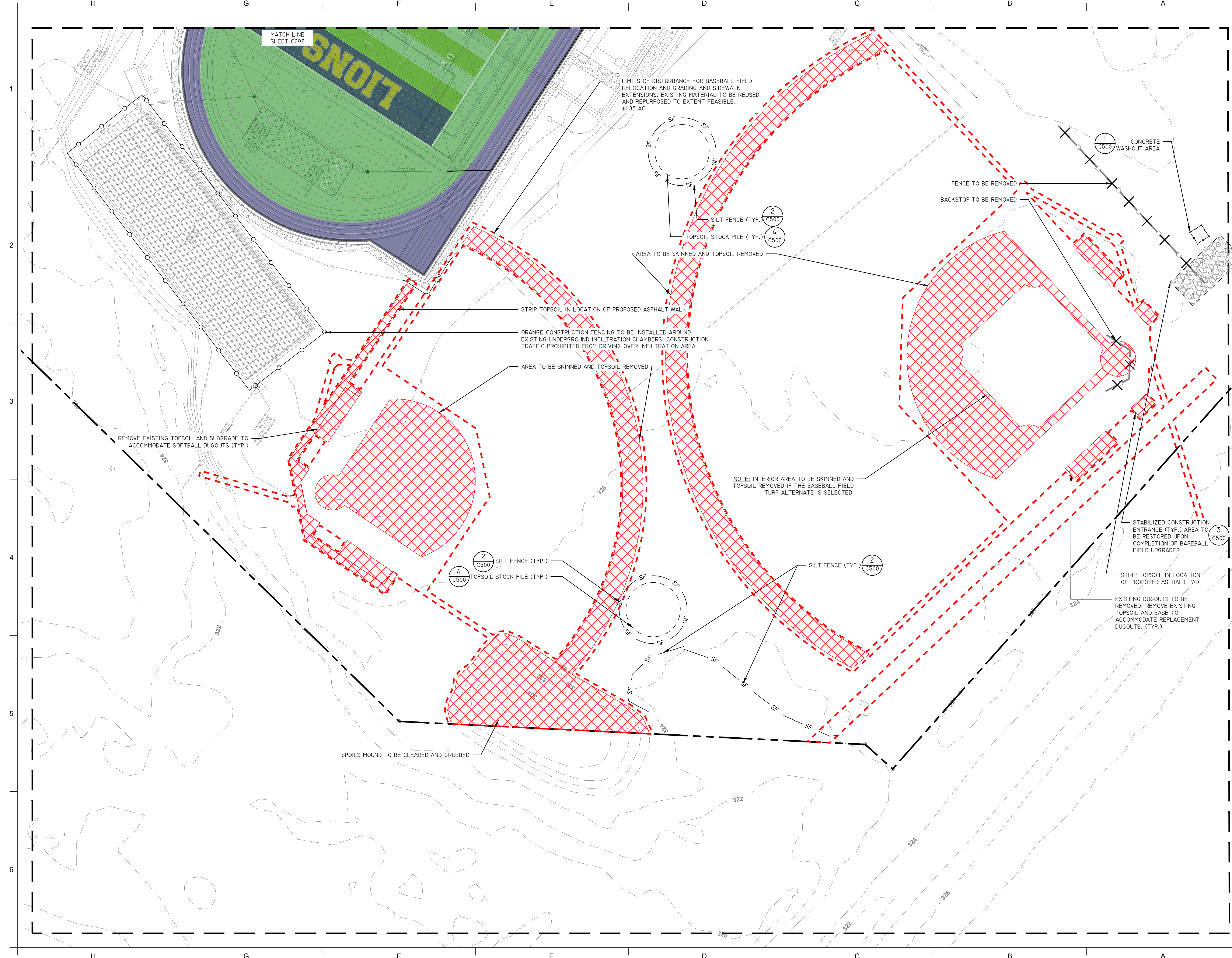
REV	DATE	DESCRIPTION

DRAWN BY: CML PROJECT NUMBER: 2023-105
 CHECKED BY: KAC DATE: 12/16/2024

DEMOLITION, EROSION, & SEDIMENT CONTROL PLAN - TENNIS COURT & SIDEWALK EXTENSION

BUILDING NUMBER: **HS** SHEET NUMBER: **C092**
 BID

12/13/2024 11:25:24 AM



LEGEND:

- — — — — PROPERTY LINE
- - - - - .330 - - - - - EXISTING MAJOR CONTOUR
- - - - - EXISTING MINOR CONTOUR
- — — — — — SILT FENCE
- — — — — CONSTRUCTION FENCE
- — — — — DISTURBANCE LIMITS
- — — — — TEMPORARY SWALE
- ▨ SEDIMENT TRAP
- ⊗ SURFACE TO BE REMOVED
- ⊗ SITE FEATURE OR TREE TO BE REMOVED

NOTE: DROP INLET PROTECTION TO BE INSTALLED ON ALL PROPOSED CATCHBASINS (TYP.)

NORTH

GRAPHIC SCALE

1 INCH = 30 FEET
ON 24" x 36" SHEET

KEY PLAN:

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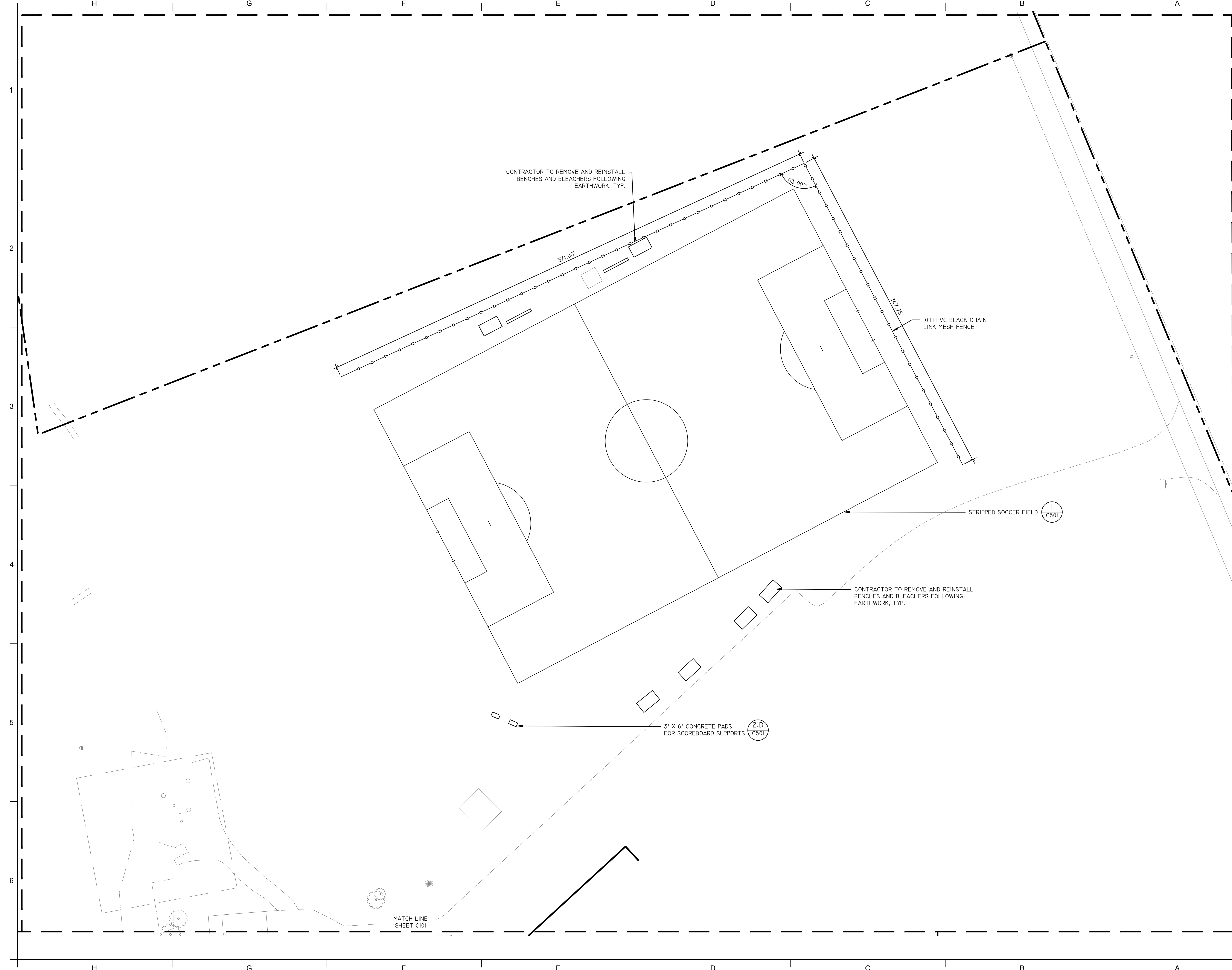
**GENERAL BROWN CSD
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 DEXTER - JEFFERSON - NEW YORK**

REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

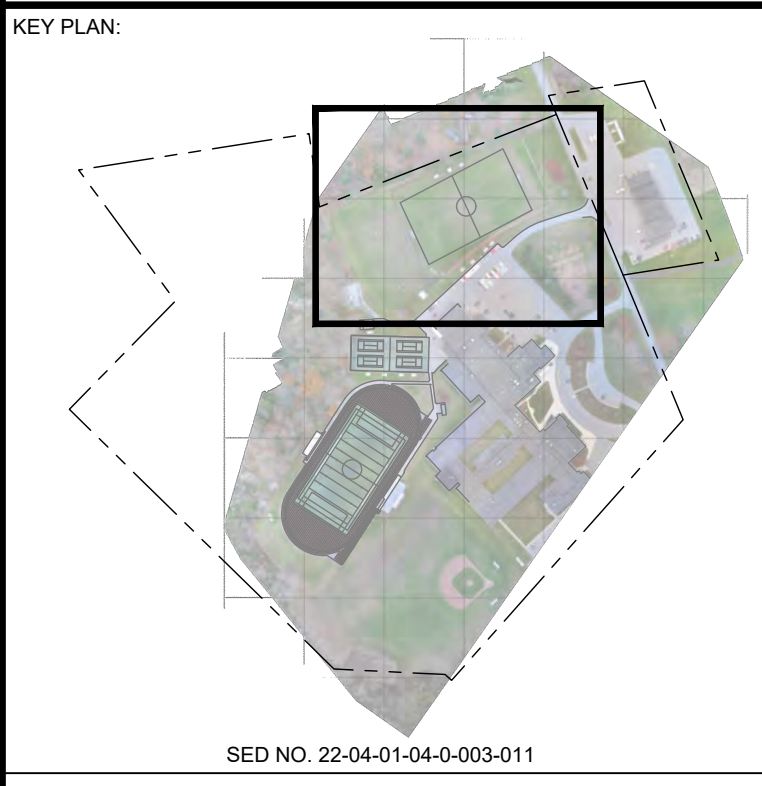
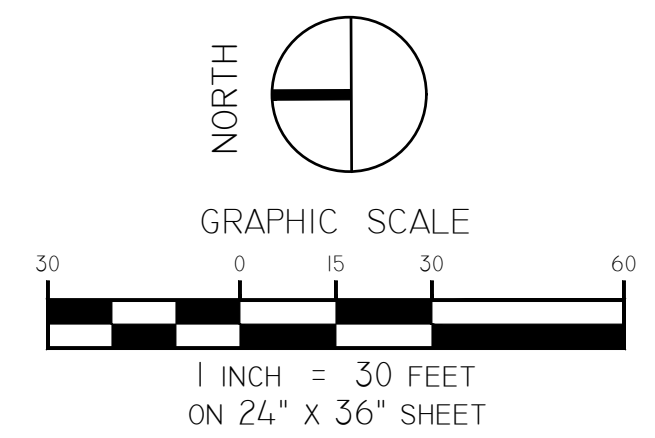
BUILDING NUMBER HS	SHEET NUMBER C093 BID
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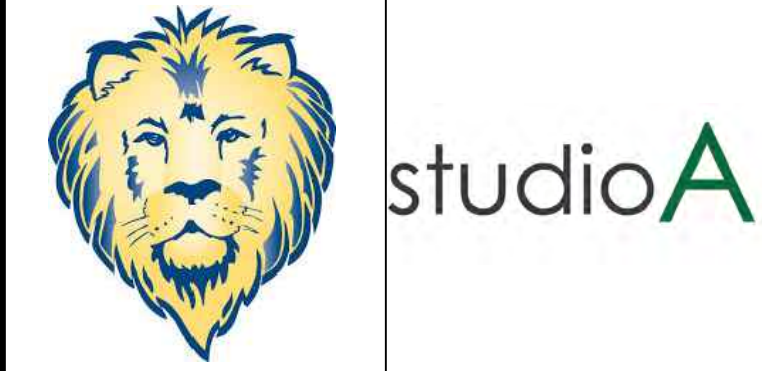
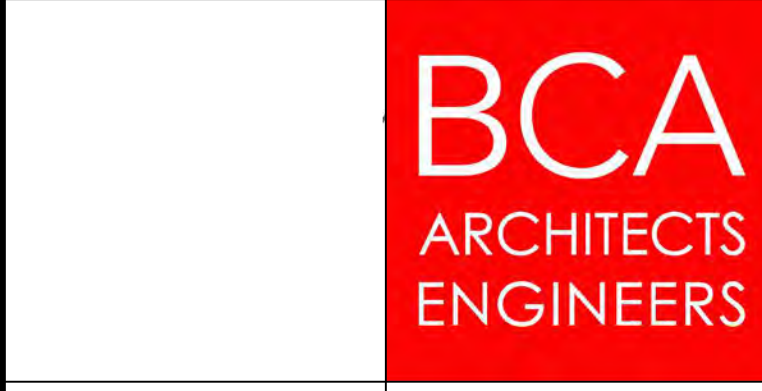
LEGEND

	PROPERTY LINE
	PROPOSED RESURFACED TENNIS COURT
	PROPOSED ARTIFICIAL TURF
	PROPOSED ASPHALT WALKWAY
	BALL FIELD CLAY



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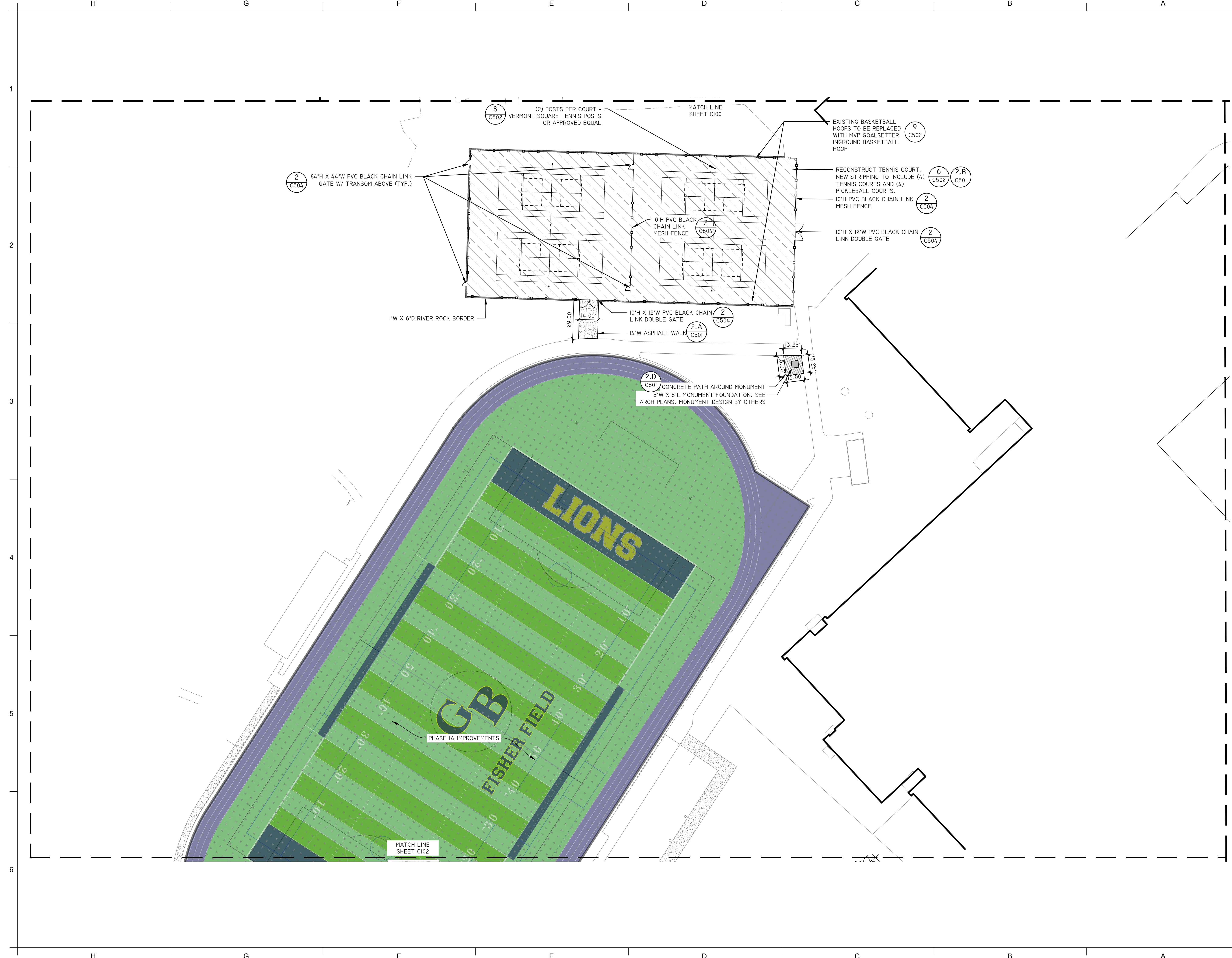
REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

**LAYOUT & MATERIALS PLAN
 SOCCER FIELD - ALT SC4**

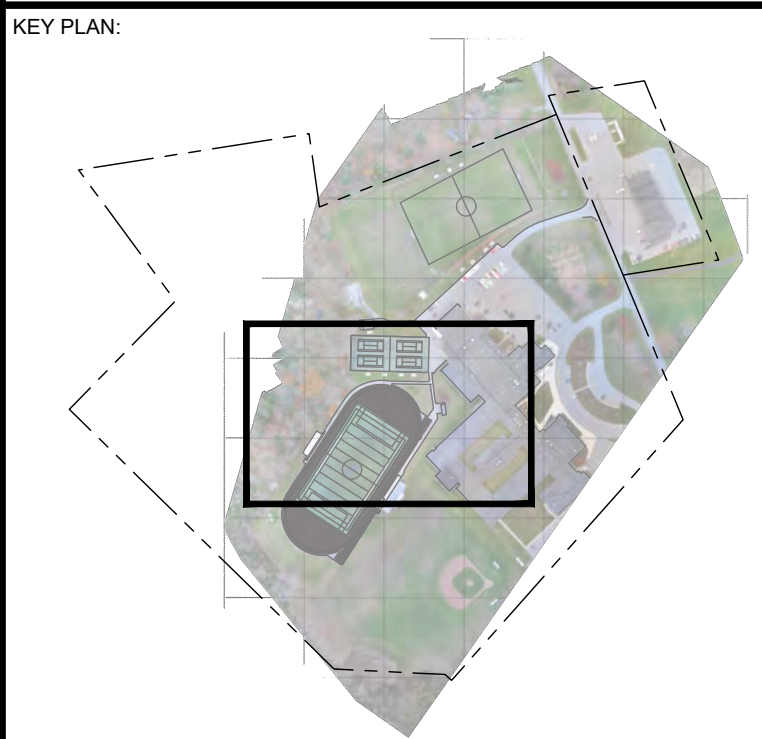
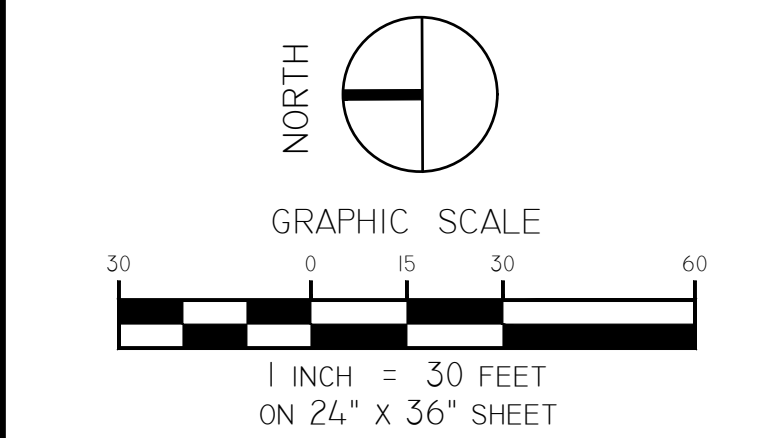
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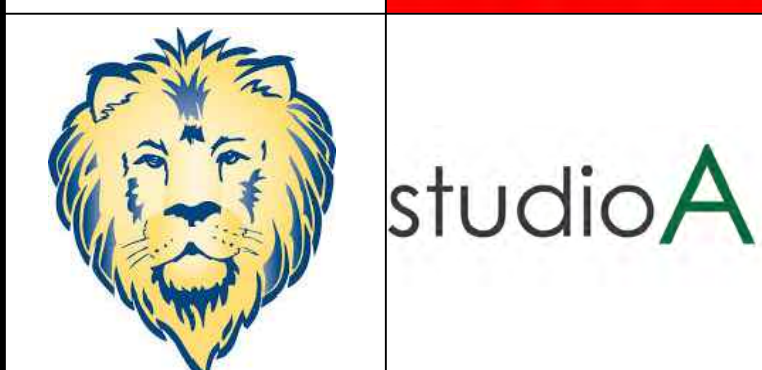
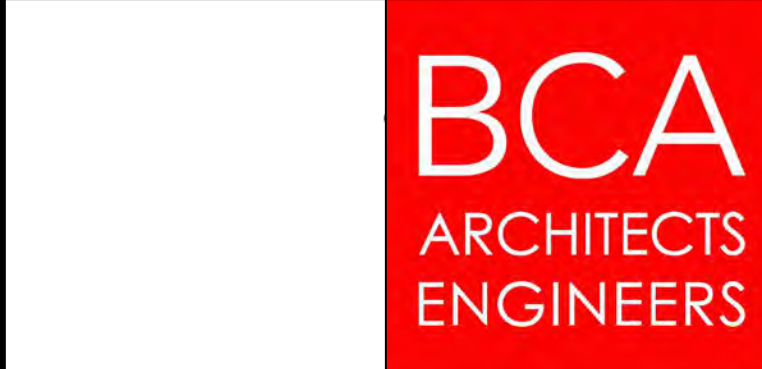
LEGEND

	PROPERTY LINE
	PROPOSED RESURFACED TENNIS COURT
	PROPOSED ARTIFICIAL TURF
	PROPOSED ASPHALT WALKWAY
	BALL FIELD CLAY



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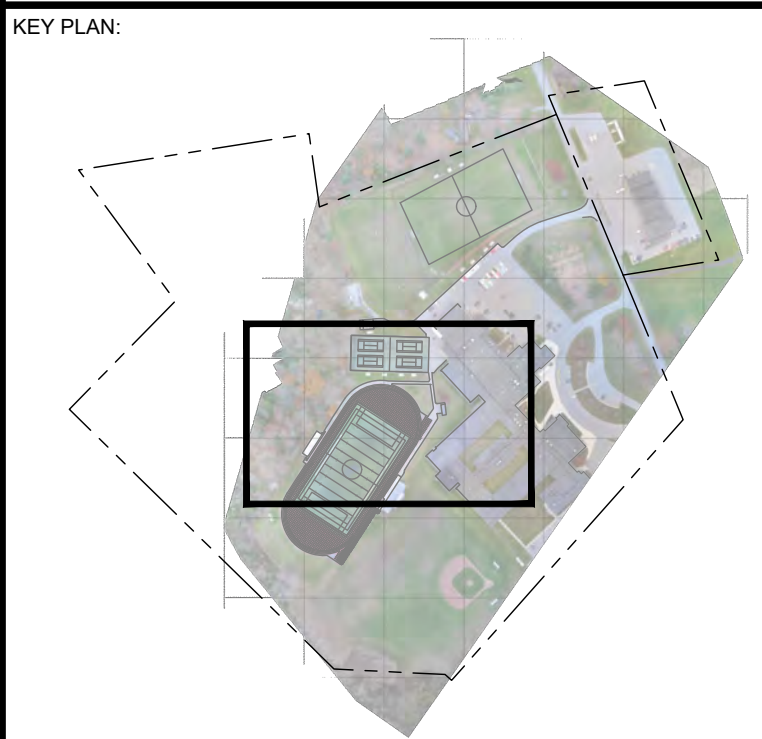
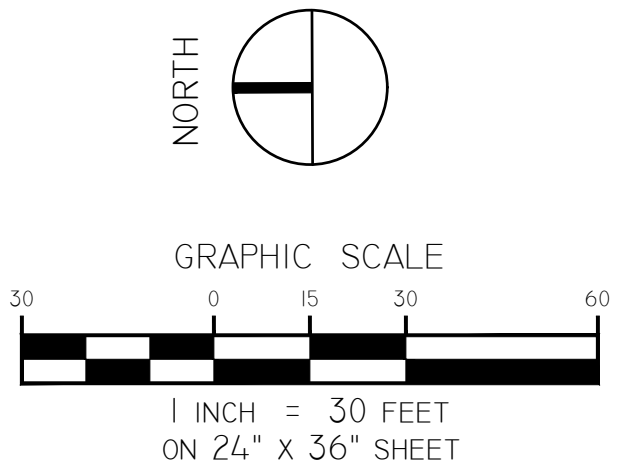
REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

**LAYOUT & MATERIALS PLAN
 TENNIS COURT & SIDEWALK EXTENSION**

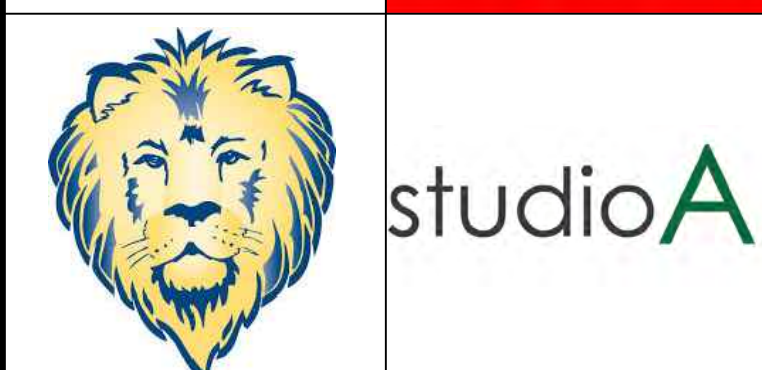
BUILDING NUMBER HS	SHEET NUMBER C101 BID
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- LEGEND:**
- PROPERTY LINE
 - 330 --- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - 330 --- PROPOSED MINOR CONTOUR
 - 329 --- PROPOSED MINOR CONTOUR
 - - - 4"Ø UNDERDRAIN
 - ST --- PERF. HDPE STORM PIPE
 - ST --- HDPE STORM PIPE
 - STORMWATER MANAGEMENT PRACTICE
 - 330.5+ SPOT GRADE
 - HP+ HIGH POINT
 - LP+ LOW POINT



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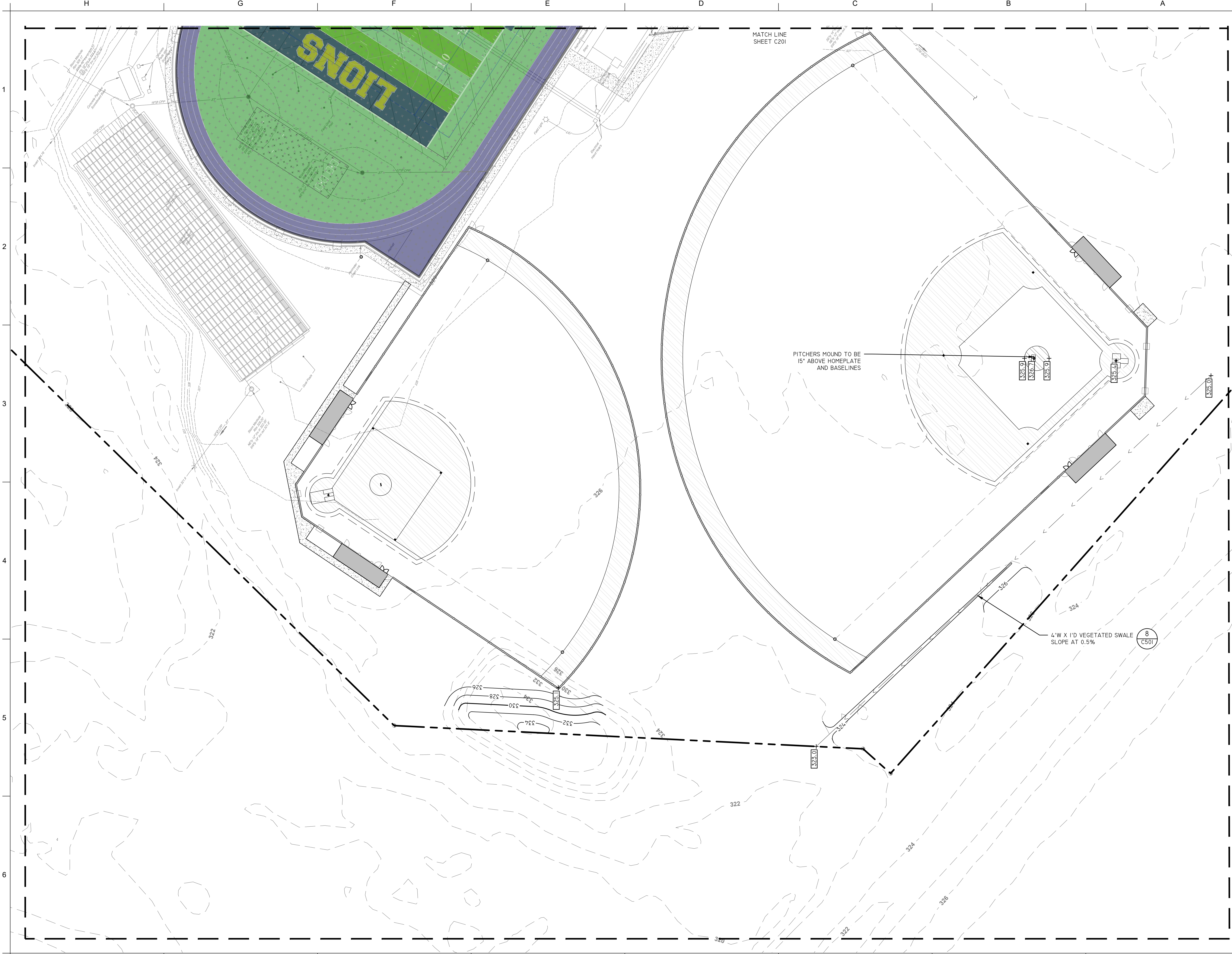
**GRADING & DRAINAGE PLAN
 TENNIS COURT**

BUILDING NUMBER: HS SHEET NUMBER: C201
 BID



12/13/2024 11:26:26 AM

12/13/2024 11:26:35 AM

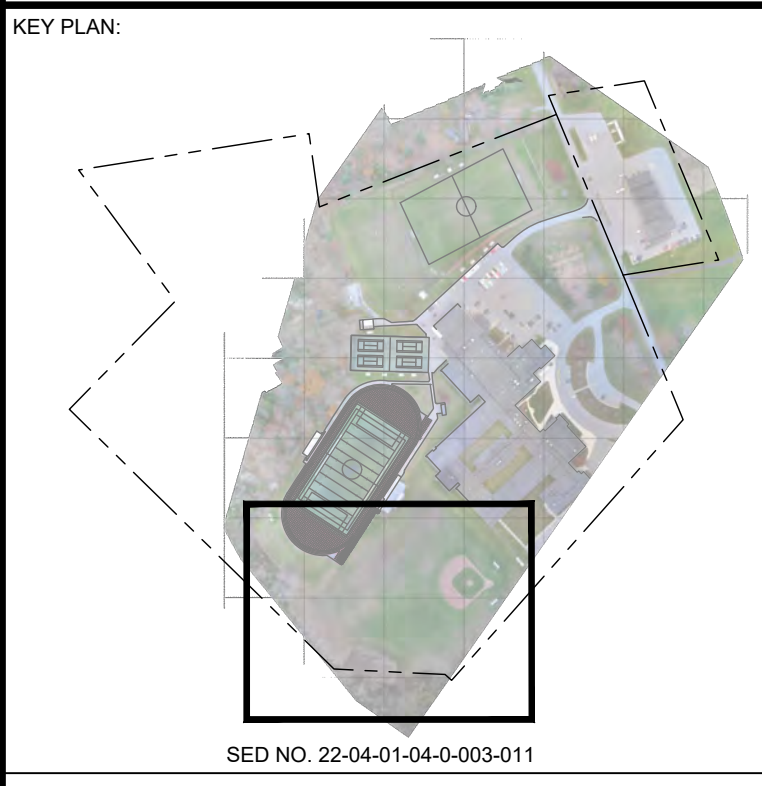
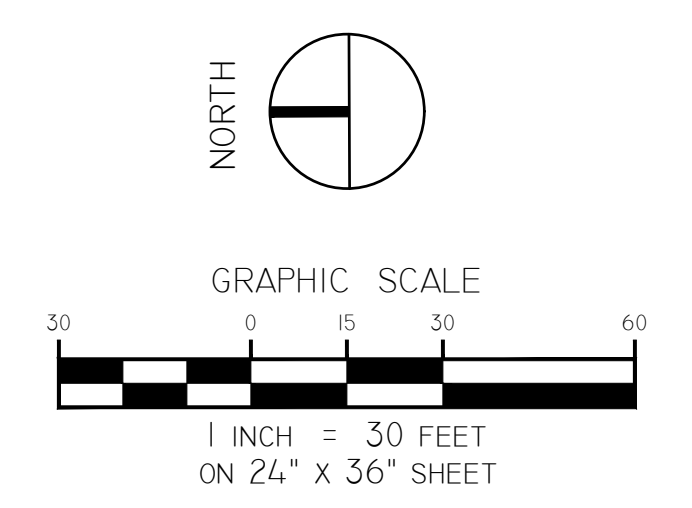


MATCH LINE SHEET C201

PITCHERS MOUND TO BE 15" ABOVE HOMEPLATE AND BASELINES

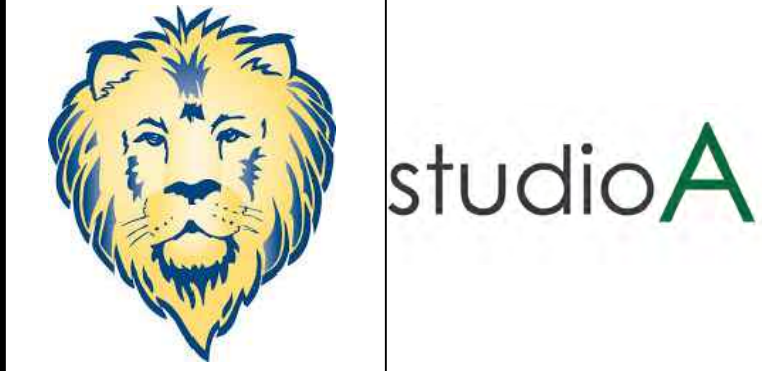
4'W X 1'D VEGETATED SWALE
SLOPE AT 0.5%

- LEGEND:**
- PROPERTY LINE
 - 330 — EXISTING MAJOR CONTOUR
 - - - EXISTING MINOR CONTOUR
 - 330 — PROPOSED MINOR CONTOUR
 - - - 329 — PROPOSED MINOR CONTOUR
 - - - 4'8" UNDERDRAIN
 - ST — PERF. HDPE STORM PIPE
 - ST — HDPE STORM PIPE
 - - - STORMWATER MANAGEMENT PRACTICE
 - 330.0+ SPOT GRADE
 - HP+ HIGH POINT
 - LP+ LOW POINT



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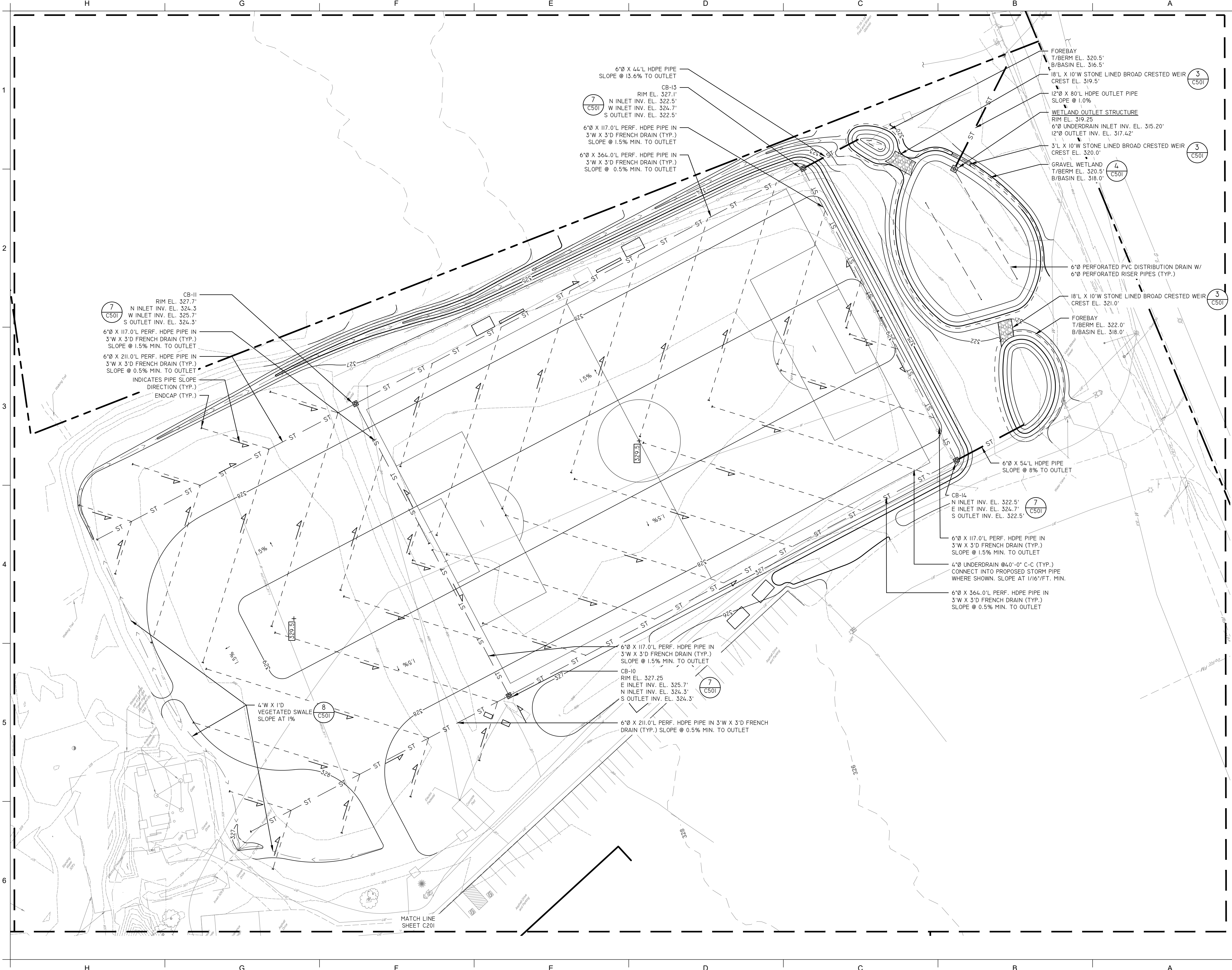
GENERAL BROWN CSD
 HIGH SCHOOL
 17643 CEMETERY RD
 DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

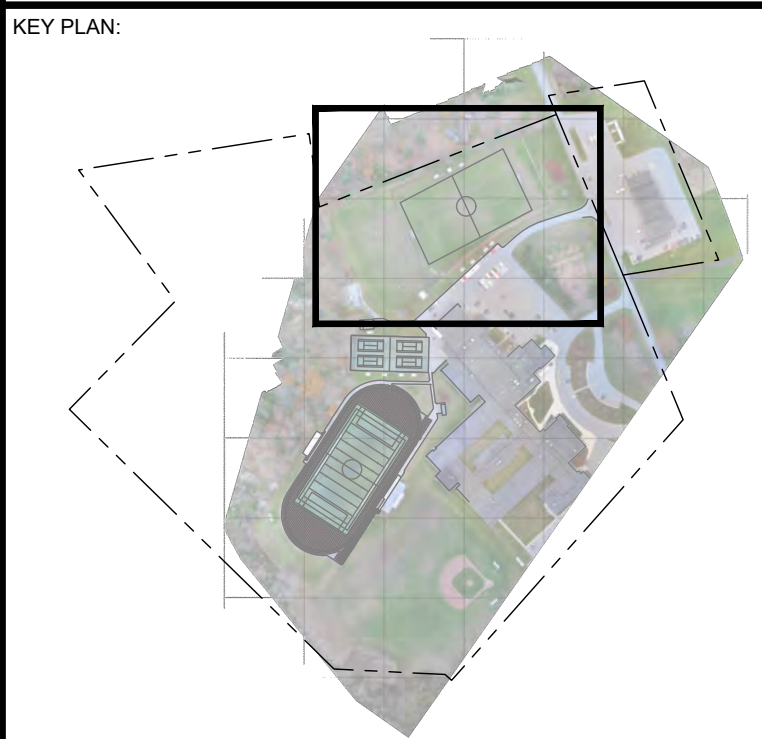
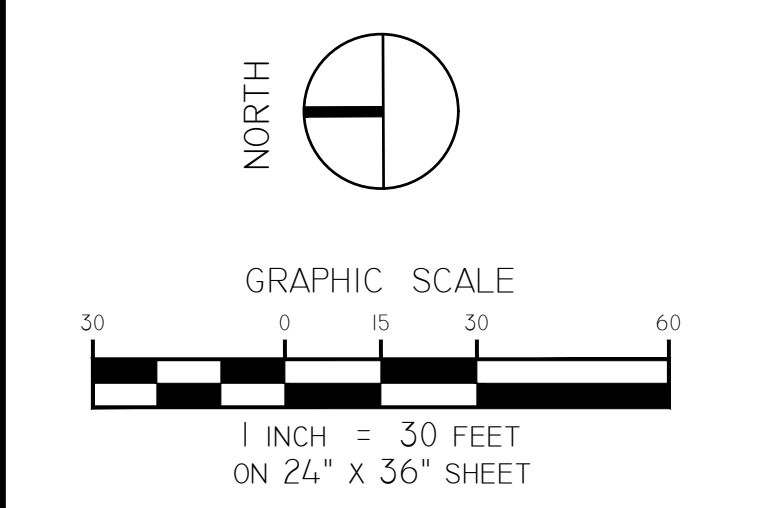
GRADING & DRAINAGE PLAN SOFTBALL & BASEBALL FIELDS	
BUILDING NUMBER HS	SHEET NUMBER C202 BID

12/13/2024 11:26:39 AM



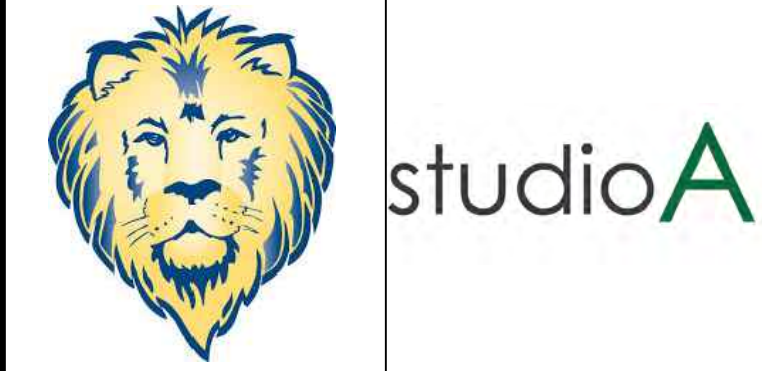
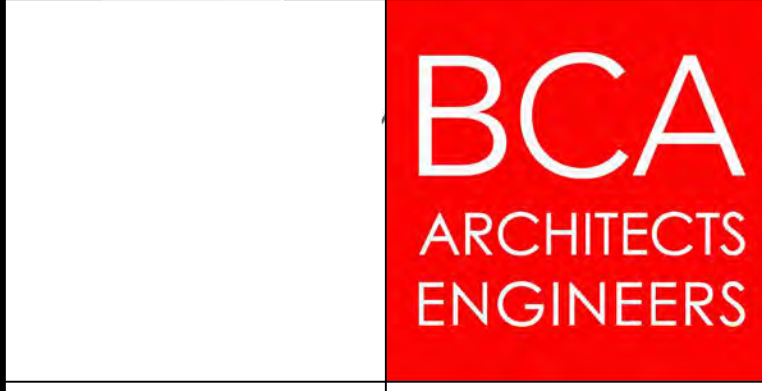
LEGEND:

---	PROPERTY LINE
---	330 EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	330 PROPOSED MAJOR CONTOUR
---	329 PROPOSED MINOR CONTOUR
---	4" UNDERDRAIN
ST	PERF. HDPE STORM PIPE
ST	HDPE STORM PIPE
---	STORMWATER MANAGEMENT PRACTICE
330.5	SPOT GRADE



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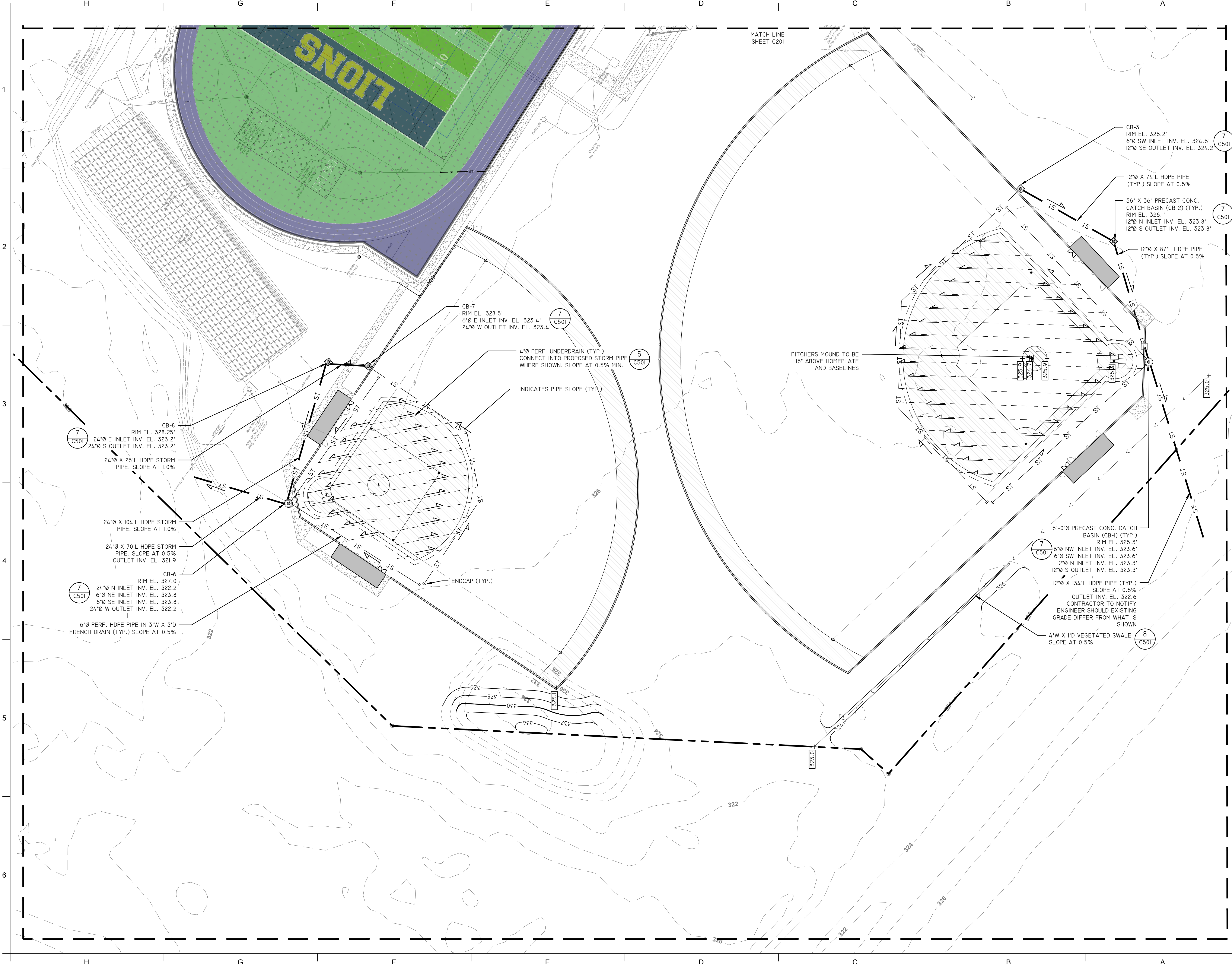
REV	DATE	DESCRIPTION

DRAWN BY: CML PROJECT NUMBER: 2023-105
CHECKED BY: KAC DATE: 12/16/2024

GRADING & DRAINAGE PLAN
SOCCER FIELD - ALT SC5

BUILDING NUMBER	SHEET NUMBER
HS	C203
	BID

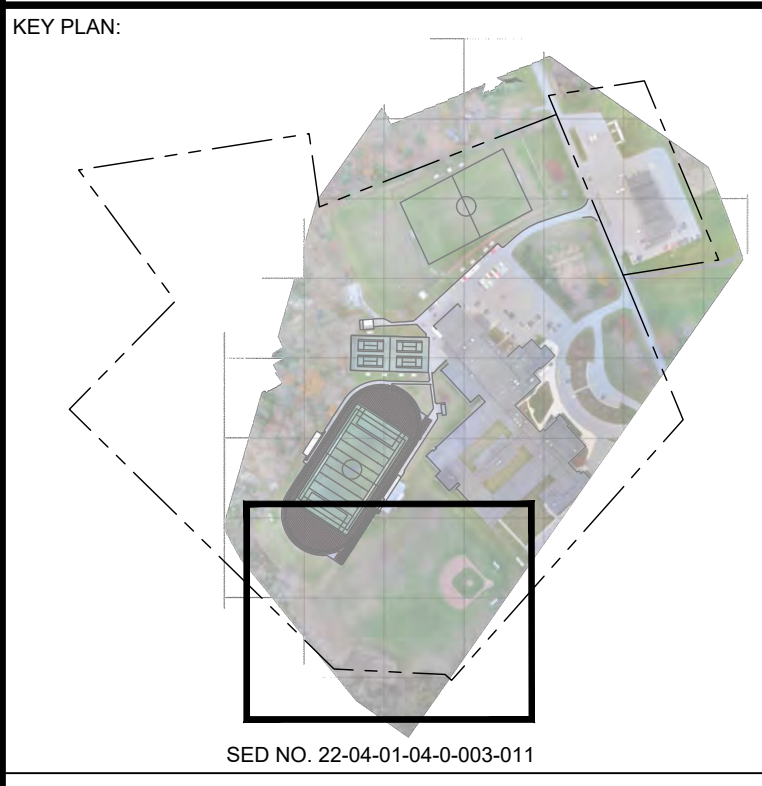
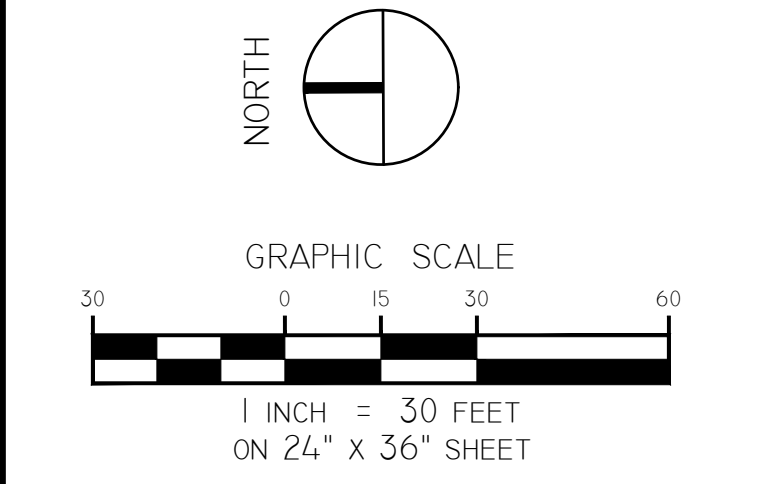
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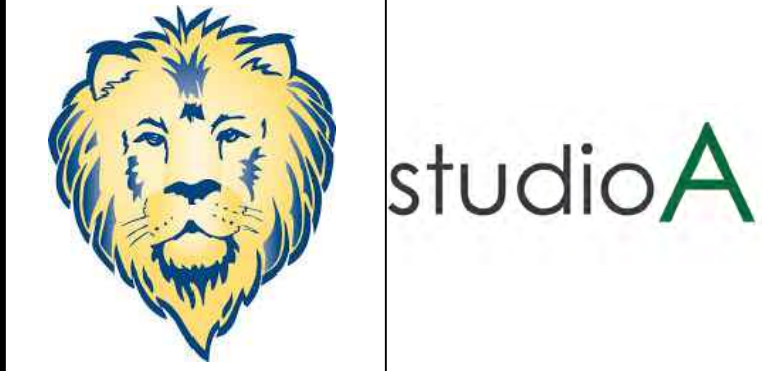
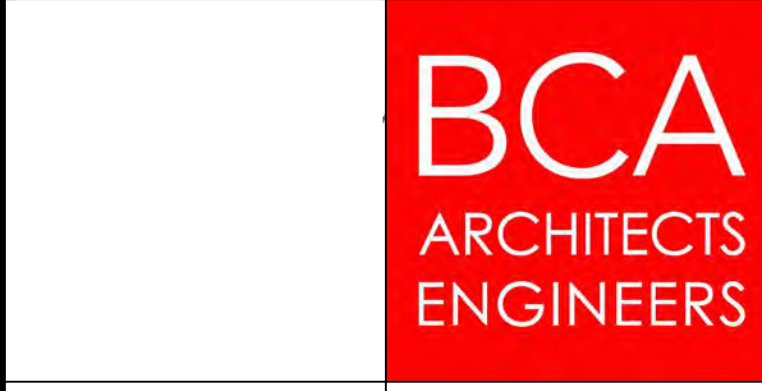
---	PROPERTY LINE
---	EXISTING MAJOR CONTOUR
---	EXISTING MINOR CONTOUR
---	330 PROPOSED MINOR CONTOUR
---	329 PROPOSED MINOR CONTOUR
---	4" UNDERDRAIN
ST	PERF. HDPE STORM PIPE
ST	HDPE STORM PIPE
---	STORMWATER MANAGEMENT PRACTICE
330.0+	SPOT GRADE
HP+	HIGH POINT
LP+	LOW POINT

NOTE: ALT. DRAINAGE REQUIRED FOR ALT SC2 AND ALT SC3.



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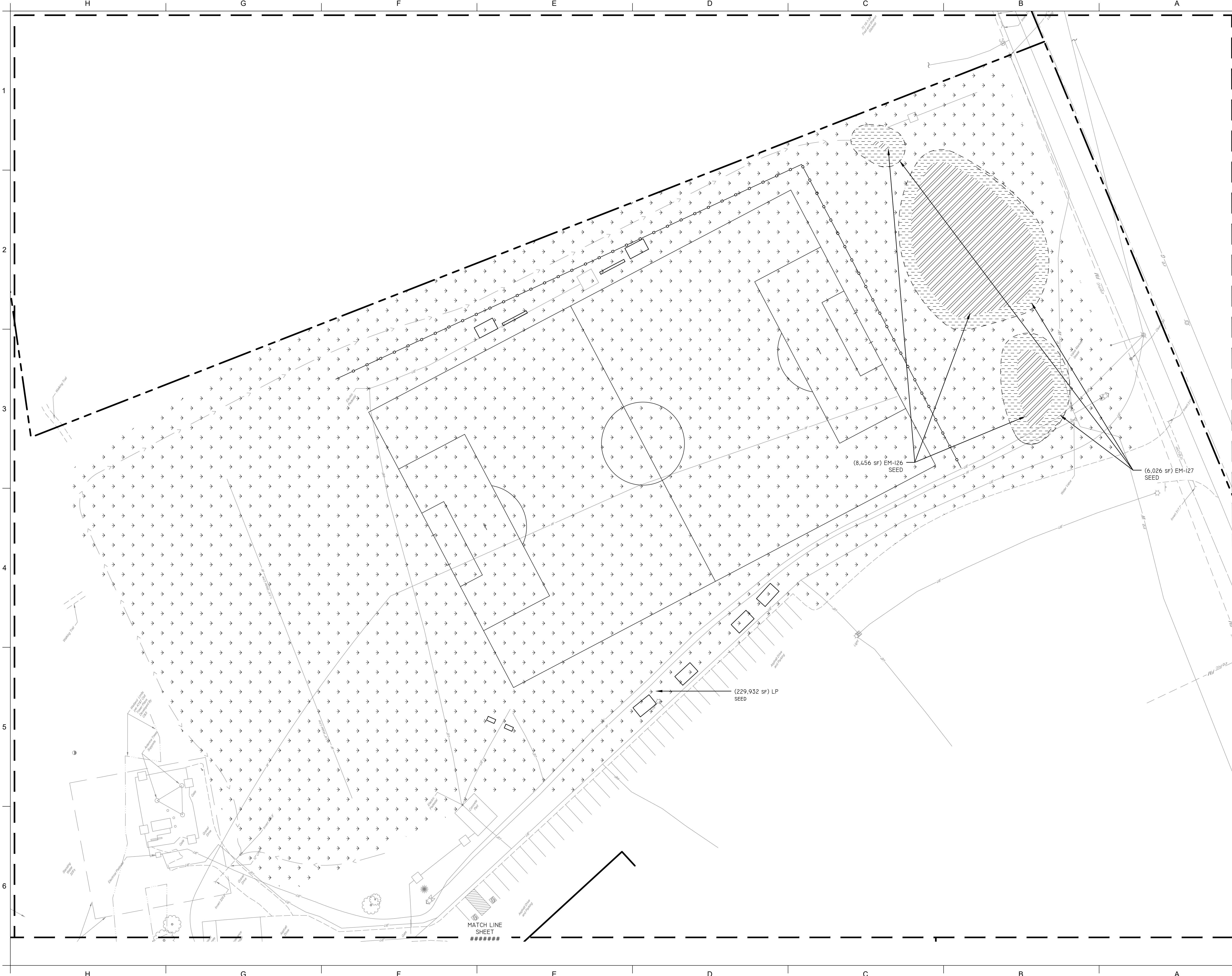
REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

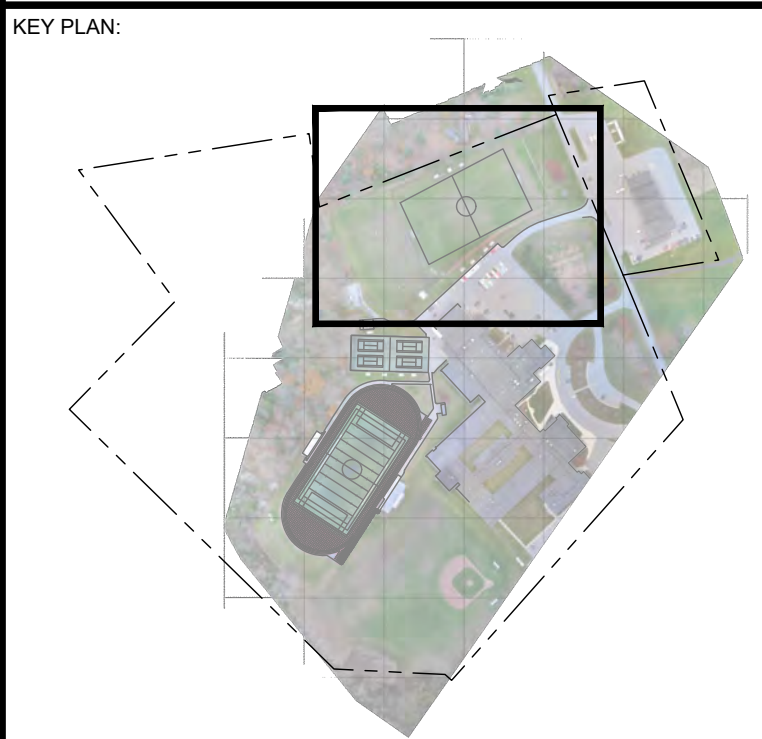
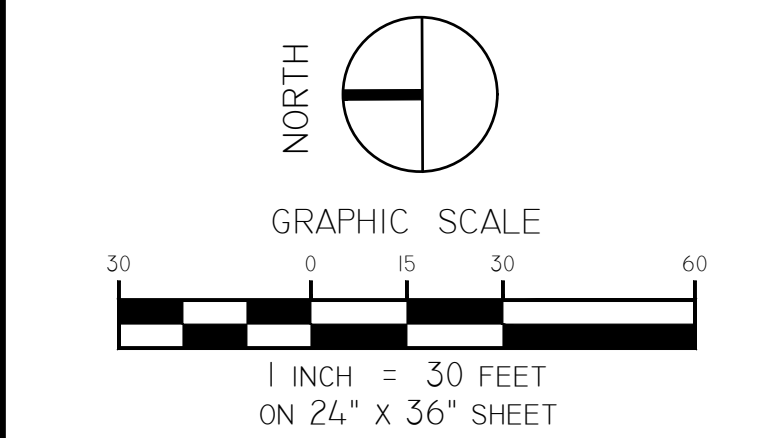
GRADING & DRAINAGE PLAN
SOFTBALL & BASEBALL FIELDS - ALT SC1

BUILDING NUMBER HS	SHEET NUMBER C204 BID
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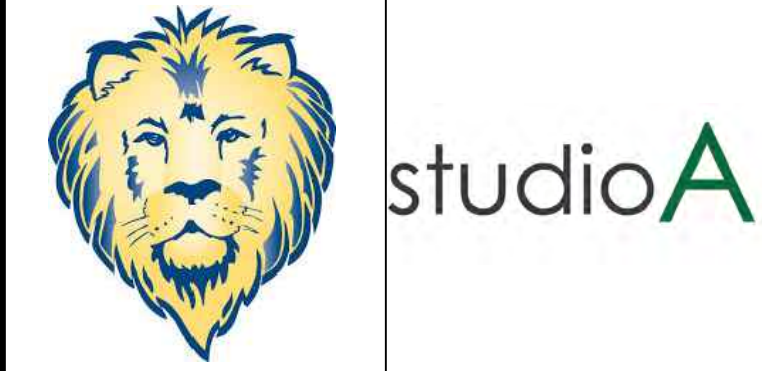
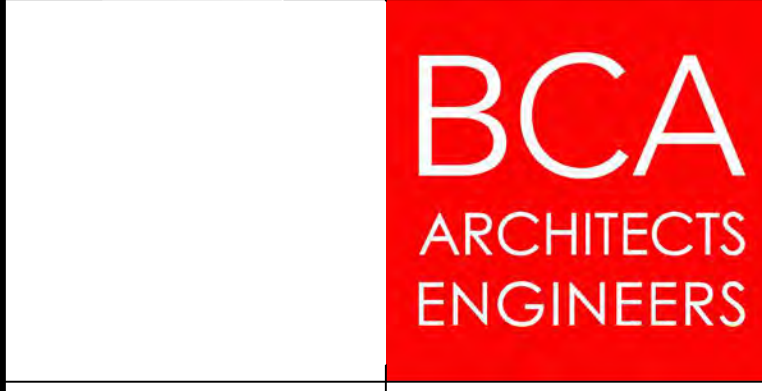


- LEGEND**
- PROPERTY LINE
 - EXISTING TREE TO REMAIN
 - PROPOSED SHRUBS/ GROUNDCOVER
 - PROPOSED TREES
 - PROPOSED ARTIFICIAL TURF
 - PROPOSED GRASS
 - PROPOSED 'RETENTION BASIN FLOOR MIX' ERNMX-126
 - PROPOSED 'RETENTION BASIN WILDLIFE MIX' ERNMX-127
 - BALL FIELD CLAY



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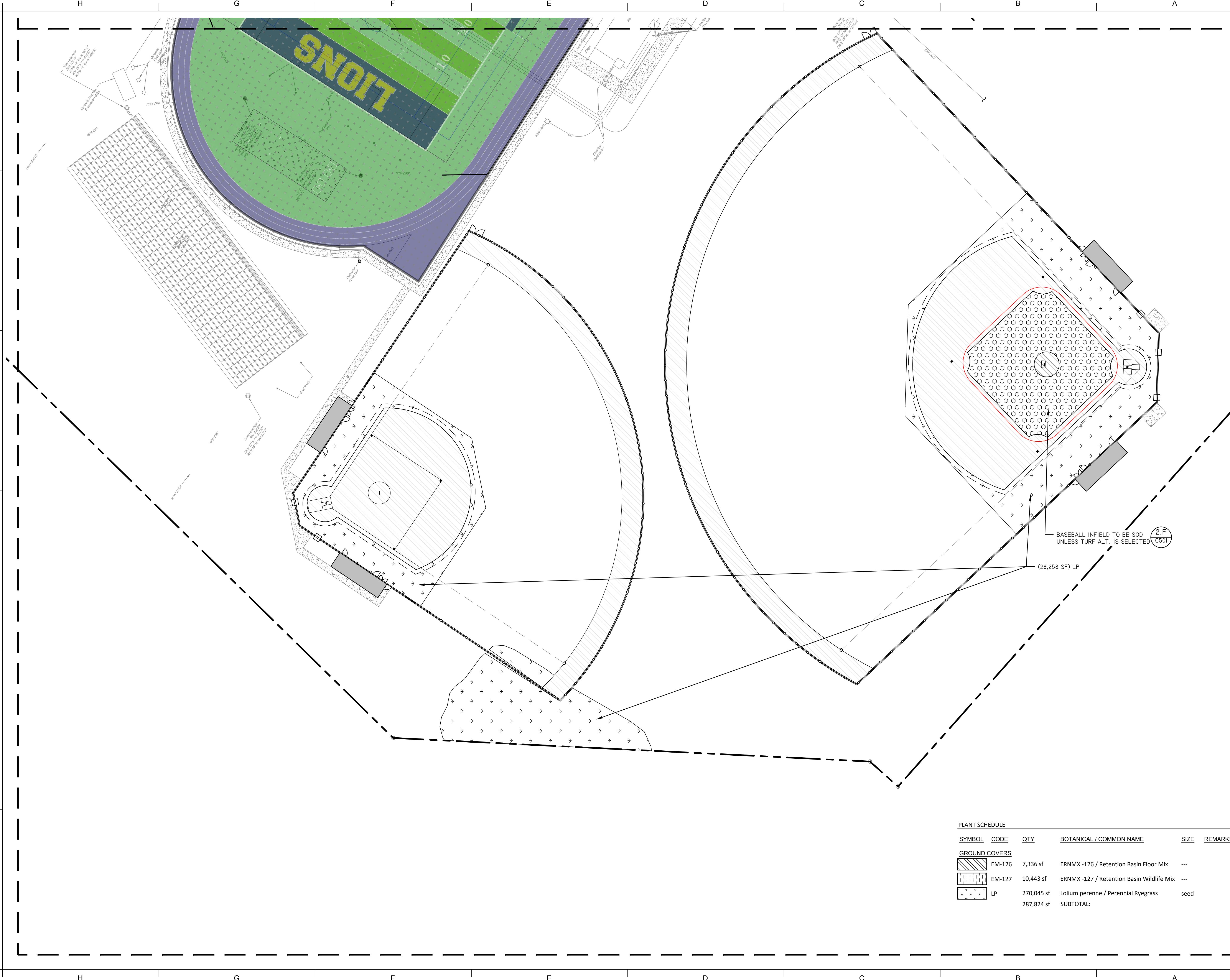
REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

**PLANTING PLAN
 SOCCER FIELD - ALT SC4**

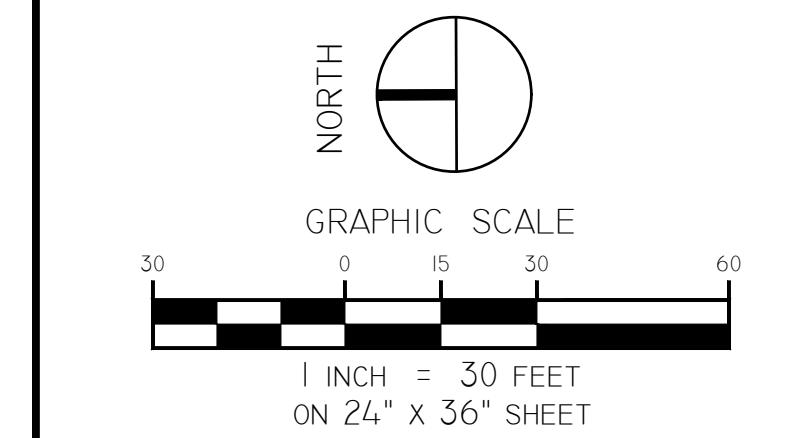
BUILDING NUMBER HS	SHEET NUMBER C400 BID
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12/13/2024 11:27:10 AM



LEGEND

- PROPERTY LINE
- EXISTING TREE TO REMAIN
- PROPOSED SHRUBS/ GROUNDCOVER
- PROPOSED TREES
- PROPOSED ARTIFICIAL TURF
- PROPOSED GRASS
- PROPOSED 'RETENTION BASIN FLOOR MIX' ERNMX-126
- PROPOSED 'RETENTION BASIN WILDLIFE MIX' ERNMX-127
- BALL FIELD CLAY
- SOD



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PLANT SCHEDULE

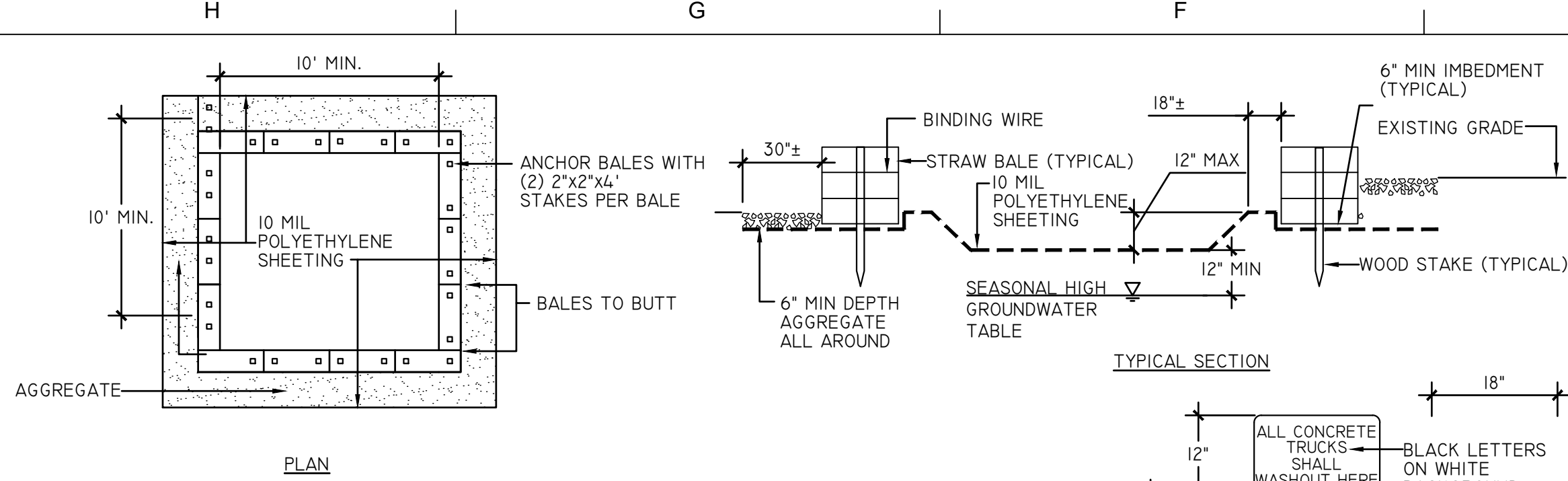
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
GROUND COVERS					
	EM-126	7,336 sf	ERNMX -126 / Retention Basin Floor Mix	---	
	EM-127	10,443 sf	ERNMX -127 / Retention Basin Wildlife Mix	---	
	LP	270,045 sf	Lolium perenne / Perennial Ryegrass	seed	
		287,824 sf	SUBTOTAL:		

REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

**PLANTING PLAN
 SOFTBALL & BASEBALL FIELDS**

BUILDING NUMBER HS	SHEET NUMBER C402 BID
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CAPACITY:
THE WASHOUT FACILITY SHALL BE SIZED TO CONTAIN SOLIDS, WASH WATER, AND RAINFALL SIZED TO ALLOW FOR EVAPORATION OF WASH WATER AND RAINFALL. WASH WATER SHALL BE ESTIMATED AT 7 GALLONS PER CHUTE AND 50 GALLONS PER HOPPER OF CONCRETE PUMP TRUCK AND/OR DISCHARGING DRUM. THE MINIMUM SIZE SHALL BE 8 FEET BY 8 FEET AT THE BOTTOM AND 2 FEET DEEP. IF EXCAVATED, THE SIDE SLOPES SHALL BE 2 HORIZONTAL TO 1 VERTICAL.

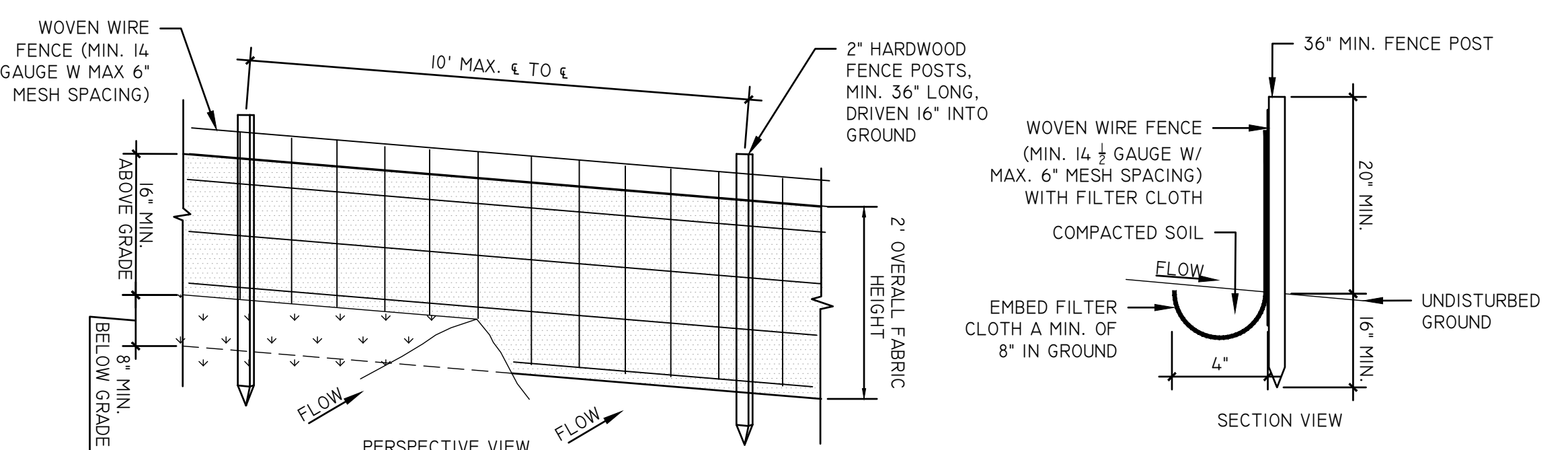
LOCATION:
LOCATE THE FACILITY A MINIMUM OF 100 FEET FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS, AND OTHER SURFACE WATERS. PREVENT SURFACE WATER FROM ENTERING THE STRUCTURE EXCEPT FOR THE ACCESS ROAD. PROVIDE APPROPRIATE ACCESS WITH GRAVEL ACCESS ROAD SLOPED DOWN TO THE STRUCTURE. SIGNS SHALL BE PLACED TO DIRECT DRIVERS TO THE FACILITY AFTER THEIR LOAD IS DISCHARGED.

LINER:
ALL WASHOUT FACILITIES SHALL BE LINED TO PREVENT LEACHING OF LIQUIDS IN THE GROUND. THE LINER SHALL BE PLASTIC SHEETING WITH A MINIMUM THICKNESS OF 10 MILS WITH NO HOLES OR TEAR, AND ANCHORED BEYOND THE TOP OF THE PIT WITH AN APPURTENANCE EXCEPT AT THE ACCESS POINT. IF PRE-FABRICATED WASHOUTS ARE USED THEY MUST ENSURE THE CAPTURE AND CONTAINMENT OF THE CONCRETE WASH AND BE SIZED BASED ON THE EXPECTED FREQUENCY OF CONCRETE POURS. THEY SHALL BE SITED AS NOTED IN THE LOCATION CRITERIA.

MAINTENANCE:

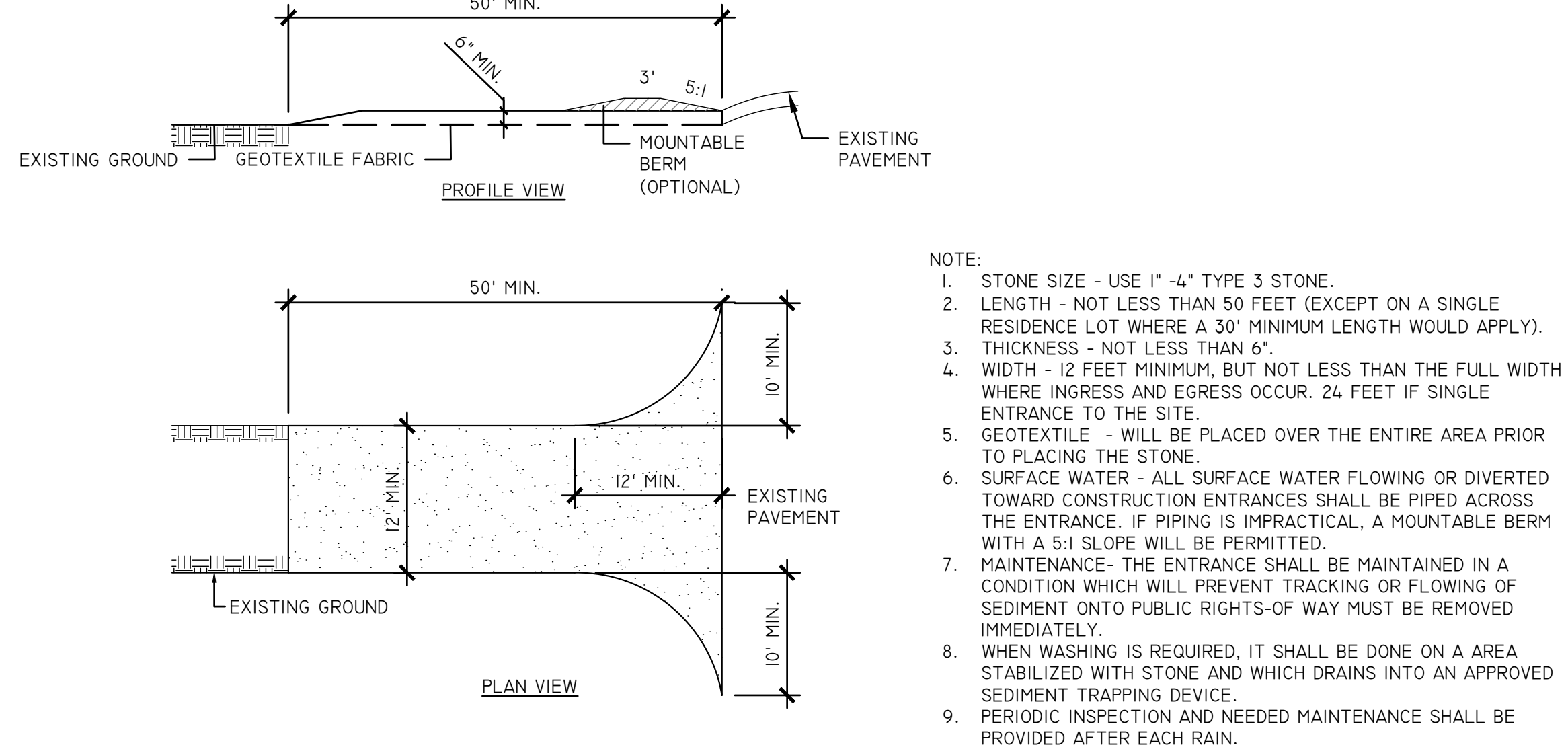
- ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHALL BE PUMPED TO A STABILIZED AREA SUCH AS GRASS FILTER STRIP.
- ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
- DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
- THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
- INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.

1 CONCRETE WASHOUT AREA DETAIL SCALE: N.T.S.



SILT FENCE SLOPE LENGTH/FENCE LENGTH (FT.)			
SLOPE	STANDARD FENCE	REINFORCED FENCE	SUPER
<2%	300 / 1500	NA	NA
2%-10%	125 / 1000	250 / 2000	300 / 2500
10-20%	100 / 750	150 / 1000	200 / 1000
20%-33%	60 / 500	80 / 750	100 / 1000

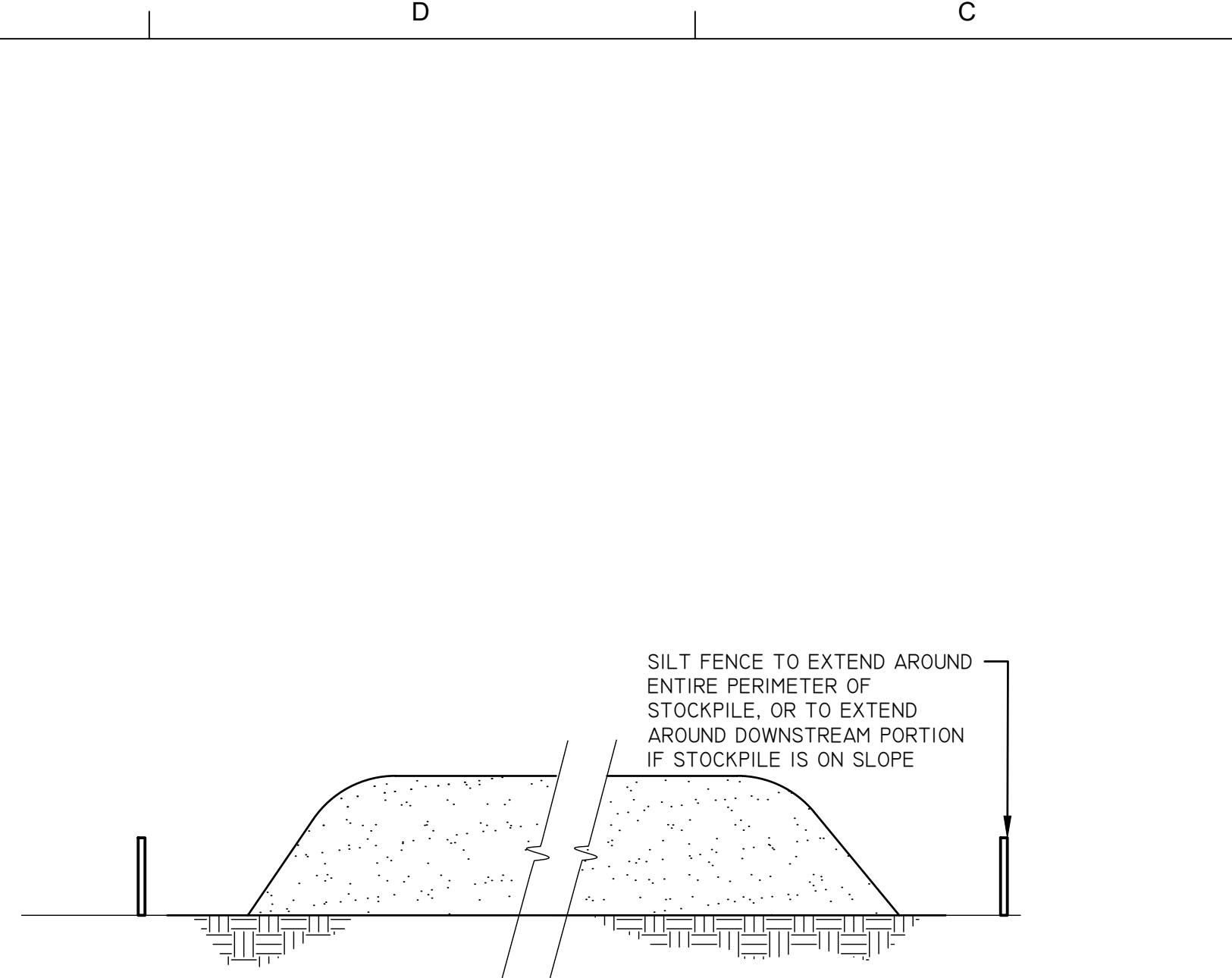
2 SILT FENCE DETAIL SCALE: N.T.S.



NOTE:

- STONE SIZE - USE 1" -4" TYPE 3 STONE.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6".
- WIDTH - 12 FEET MINIMUM, BUT NOT LESS THAN THE FULL WIDTH WHERE INGRESS AND EGRESS OCCUR. 24 FEET IF SINGLE ENTRANCE TO THE SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH A 5:1 SLOPE WILL BE PERMITTED.
- MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

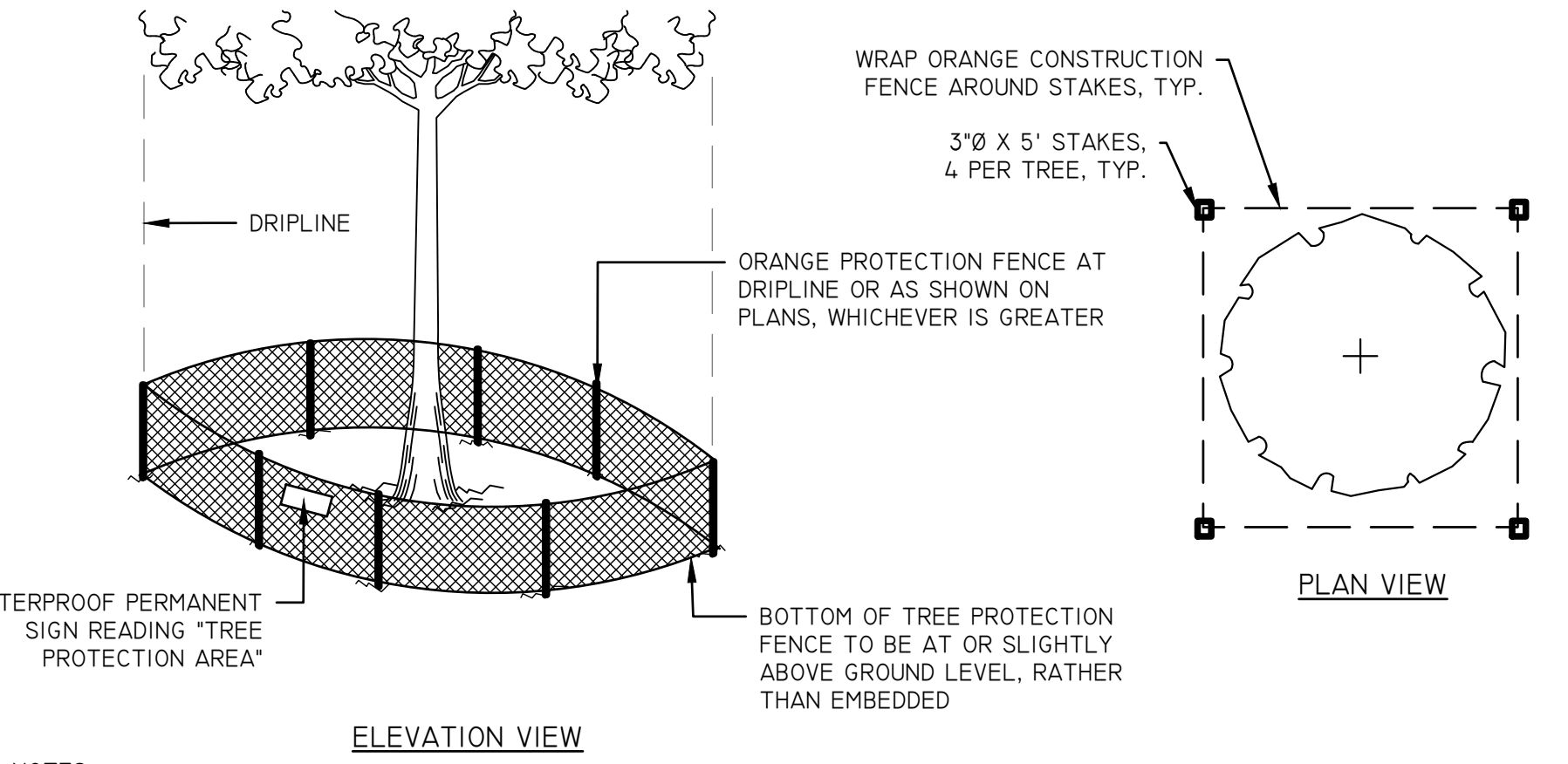
3 STABILIZED CONSTRUCTION ENTRANCE SCALE: N.T.S.



NOTES:

- REFERENCE IS MADE TO THE SILT FENCE DETAIL FOR MATERIALS AND INSTALLATION METHODS.
- IF THE STOCKPILE IS TO REMAIN FOR MORE THAN 10 DAYS, IT SHALL BE STABILIZED WITH BURLAP MATTING OR SEEDED WITHIN 7 DAYS OF COMPLETION TO MINIMIZE EROSION.
- INSPECTION OF SILT FENCES SHALL BE AT LEAST ONCE PER WEEK OR AFTER SUBSTANTIAL RAINFALL. REPAIR OR REPLACE DEFICIENCIES IMMEDIATELY.
- SILT FENCES SHALL BE MAINTAINED IN PLACE UNTIL TOPSOIL STOCKPILE HAS BEEN ELIMINATED AND SHALL BE REMOVED ONLY WHEN DIRECTED BY TOWN OR ENGINEER.

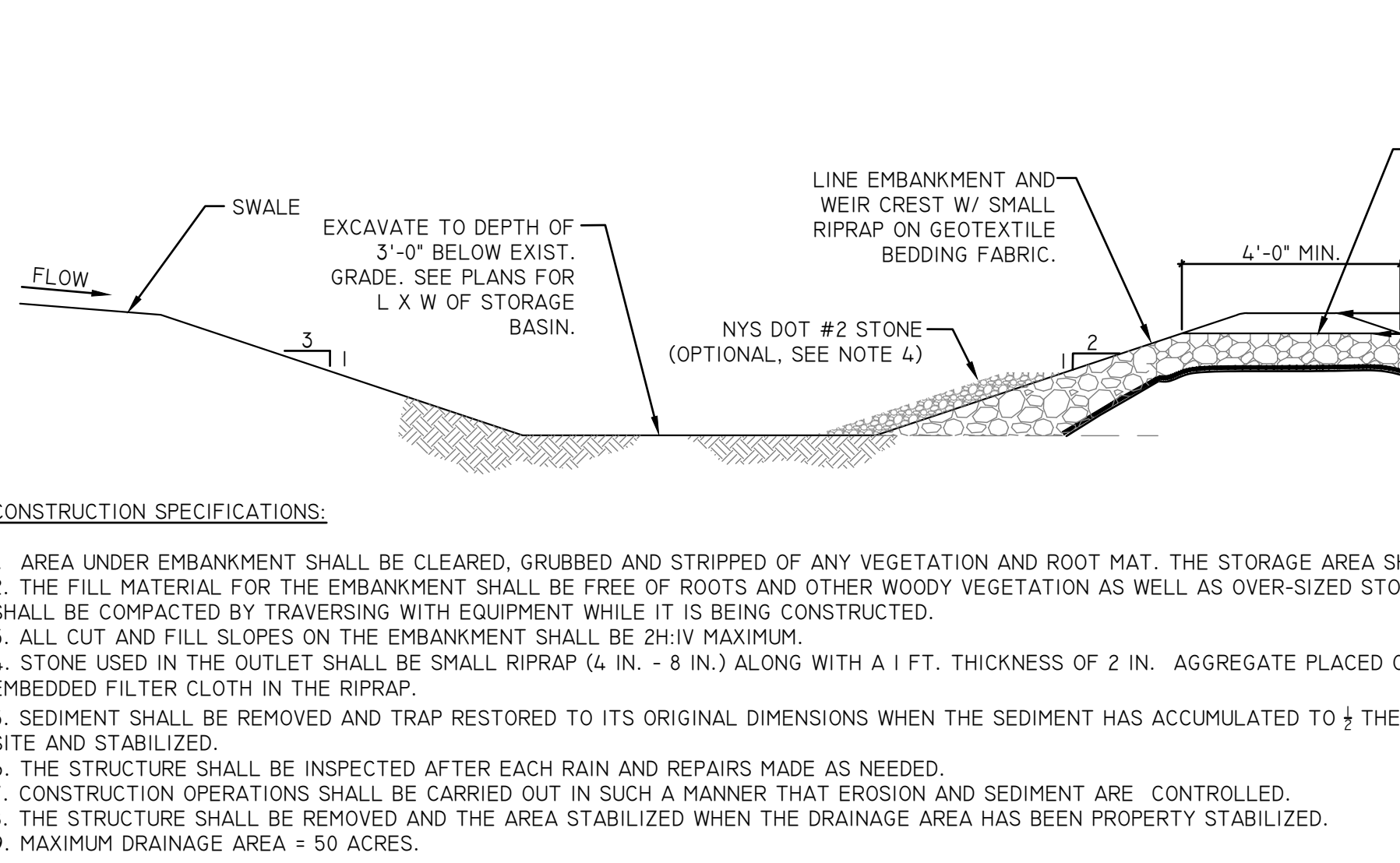
4 TOPSOIL STOCKPILE DETAIL SCALE: N.T.S.



NOTES:

- NO SOIL PLACEMENT OVER EXISTING TREE AND SHRUB ROOTS. NO SOIL SHOULD BE ADDED WITHIN PROTECTED AREAS UNLESS ADDED TO ACHIEVE PROPOSED GRADES.
- NO TRENCHING IN PROTECTED AREAS. TRENCHING ACROSS THE ROOT SYSTEMS SHOULD START NO CLOSER THAN THE DRIPLINE OF THE TREE. TUNNEL UNDER ROOT SYSTEMS FOR UNDERGROUND UTILITIES SHOULD START 18 INCHES OR DEEPER BELOW THE NORMAL GROUND SURFACE. TREE ROOTS WHICH MUST BE SEVERED SHOULD BE CUT CLEAN. BACKFILL MATERIAL THAT WILL BE IN CONTACT WITH THE ROOTS SHOULD BE TOPSOIL OR A PREPARED PLANTING SOIL MIXTURE.
- CONSTRUCT STURDY FENCES, OR BARRIERS, OF WOOD, STEEL, OR OTHER PROTECTIVE MATERIAL AROUND VALUABLE VEGETATION FOR PROTECTION FROM CONSTRUCTION EQUIPMENT.
- PREVENT TALL EQUIPMENT, SUCH AS BACKHOES AND DUMP TRUCKS, FROM CONTACTING TREE BRANCHES.
- SEE L-0.20 FOR TREE PROTECTION LOCATIONS.

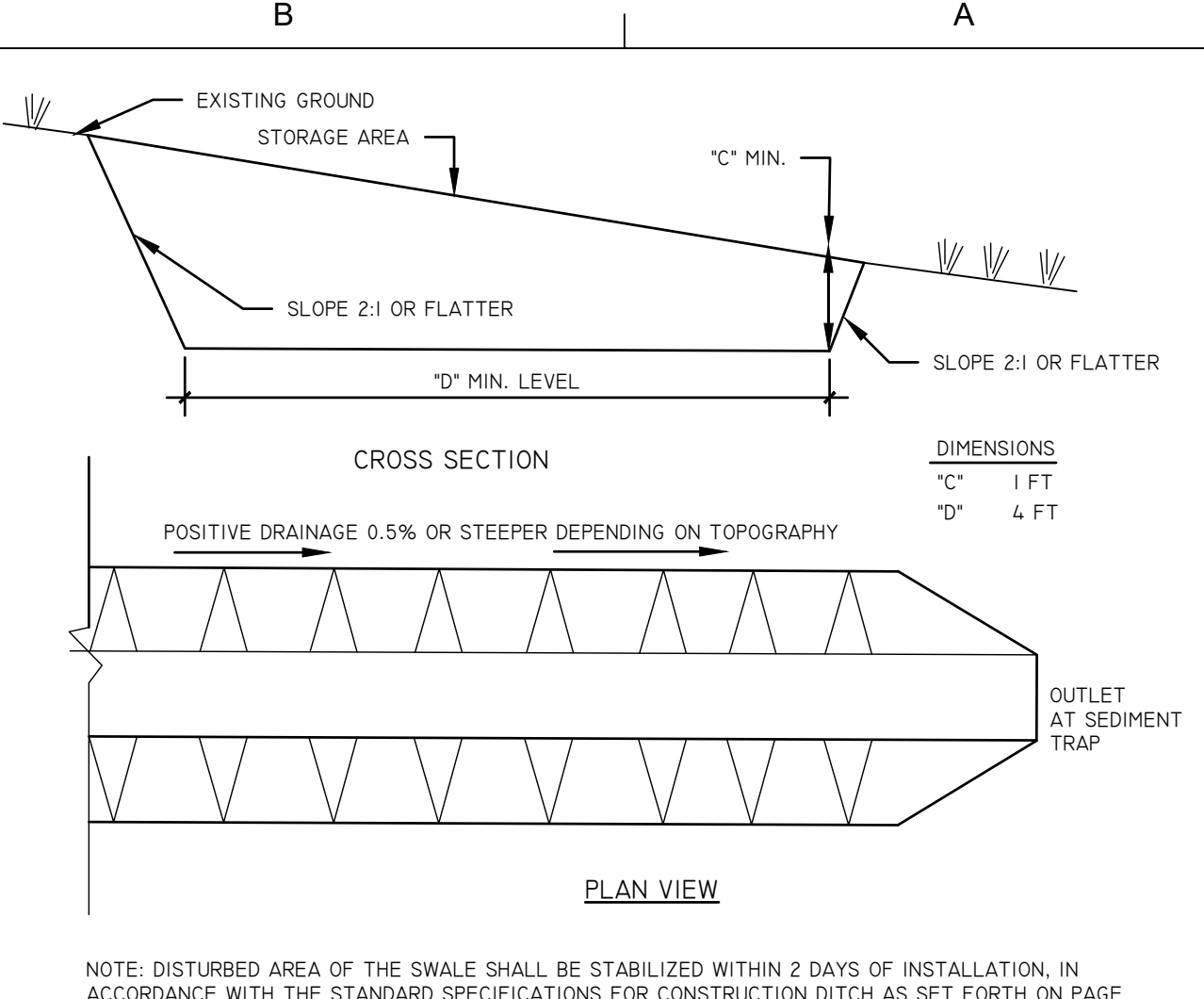
5 TREE PROTECTION DETAIL SCALE: N.T.S.



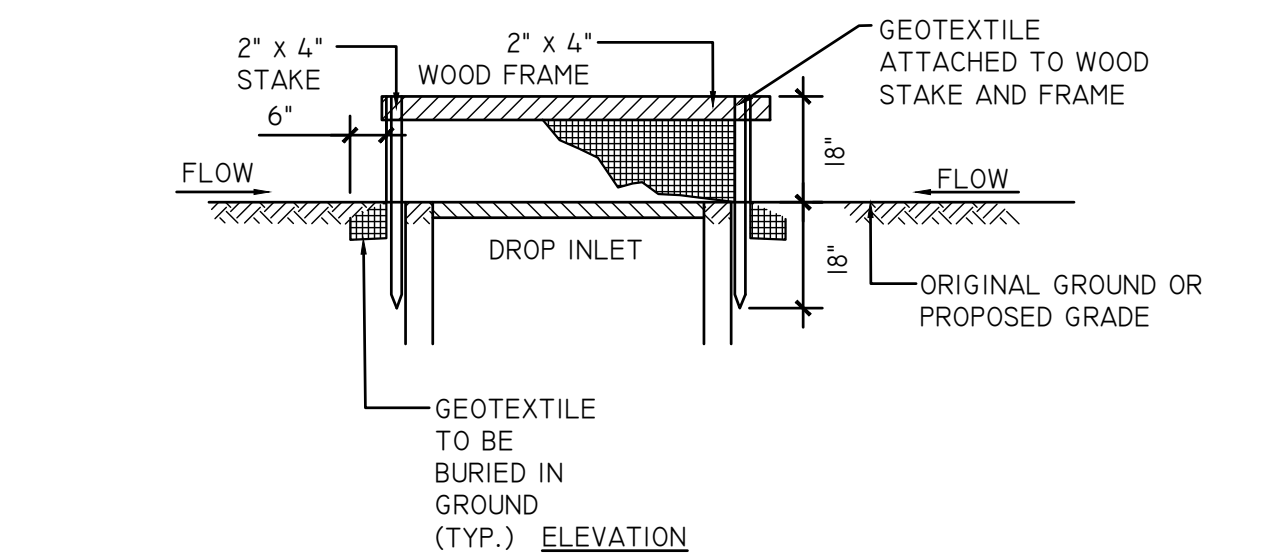
CONSTRUCTION SPECIFICATIONS:

- AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE STORAGE AREA SHALL BE CLEARED.
- THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVER-SIZED STONES, ROCKS, OR ORGANIC MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
- ALL CUT AND FILL SLOPES ON THE EMBANKMENT SHALL BE 2H:1V MAXIMUM.
- STONE USED IN THE OUTLET SHALL BE SMALL RIPRAP (4 IN. - 8 IN.) ALONG WITH A 1 FT. THICKNESS OF 2 IN. AGGREGATE PLACED ON THE UP-GRADE SIDE OF THE EMBANKMENT OR EMBEDDED FILTER CLOTH IN THE RIPRAP.
- SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO 1/2 THE DESIGN DEPTH OF THE TRAP. IT SHALL BE PLACED ON SITE AND STABILIZED.
- THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND SEDIMENT ARE CONTROLLED.
- THE STRUCTURE SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
- MAXIMUM DRAINAGE AREA = 50 ACRES.

6 SEDIMENT TRAP WITH STONE WEIR OUTLET DETAIL SCALE: N.T.S.



7 TEMPORARY SWALE DETAIL SCALE: N.T.S.



8 FILTER FABRIC INLET PROTECTION DETAIL SCALE: N.T.S.

NOTES:

- GEOTEXTILE SHALL BE CUT FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NECESSARY THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIAL WILL BE STANDARD 2"x4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET WITH A MAXIMUM SPACING OF 3 FEET DRIVE STAKES 18" MINIMUM INTO GROUND. WIRE MESH MAY BE REQUIRED BEHIND GEOTEXTILE TO PROVIDE SUPPORT.
- GEOTEXTILE SHALL BE EMBEDDED 12" BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO STAKES AND FRAME.
- GEOTEXTILE FABRIC SHALL HAVE EOS OF 40-85.
- A 2"x4" WOOD FRAME SHALL BE FORMED AROUND THE CREST OF FABRIC FOR OVERFLOW STABILITY.
- INLET PROTECTION TO REMAIN IN-PLACE UNTIL AREA IS STABILIZED.

8 FILTER FABRIC INLET PROTECTION DETAIL SCALE: N.T.S.

KEY PLAN:

SED NO. 22-04-01-04-0-003-011

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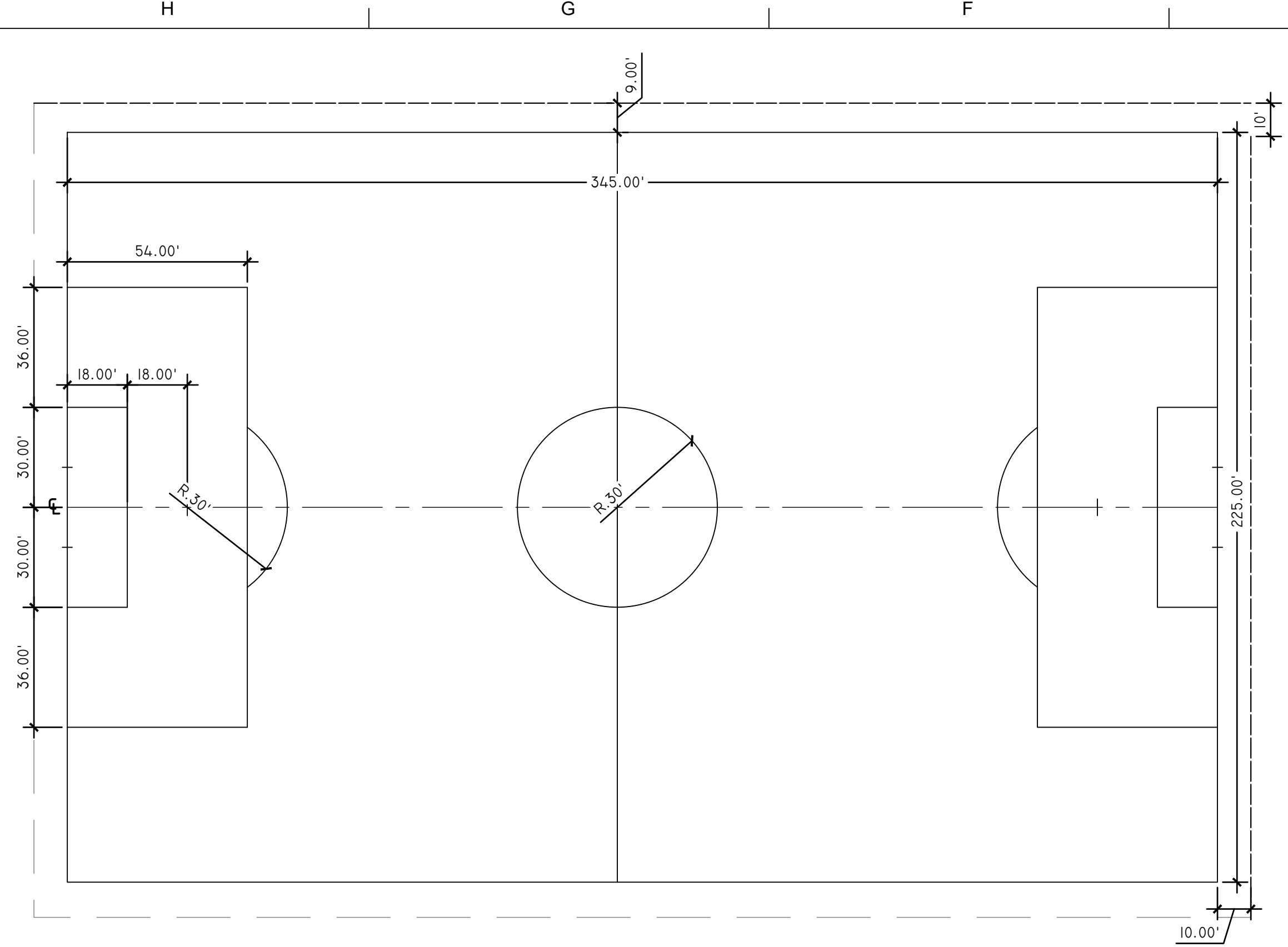
**GENERAL BROWN CSD
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DEXTER - JEFFERSON - NEW YORK**

REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

CONSTRUCTION DETAILS

BUILDING NUMBER HS	SHEET NUMBER C500 BID
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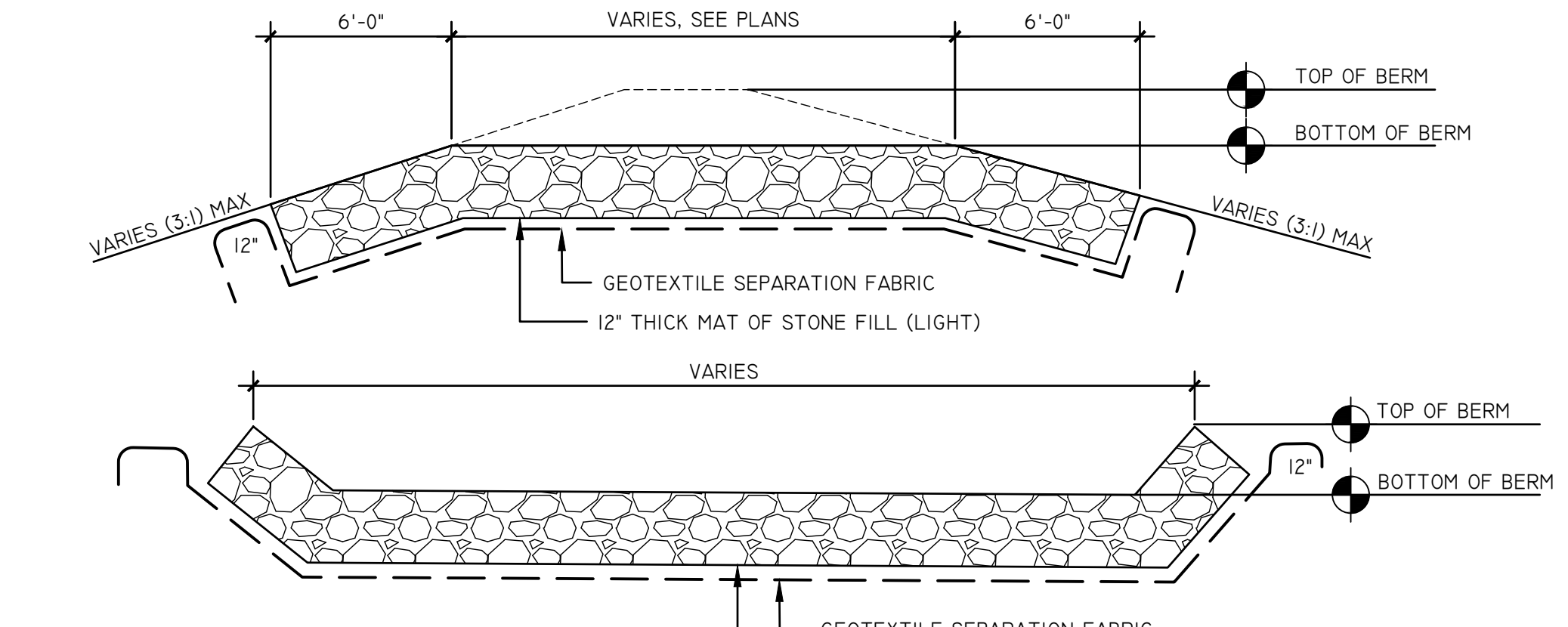


1 SOCCER FIELD DIMENSIONS
SCALE: N.T.S.

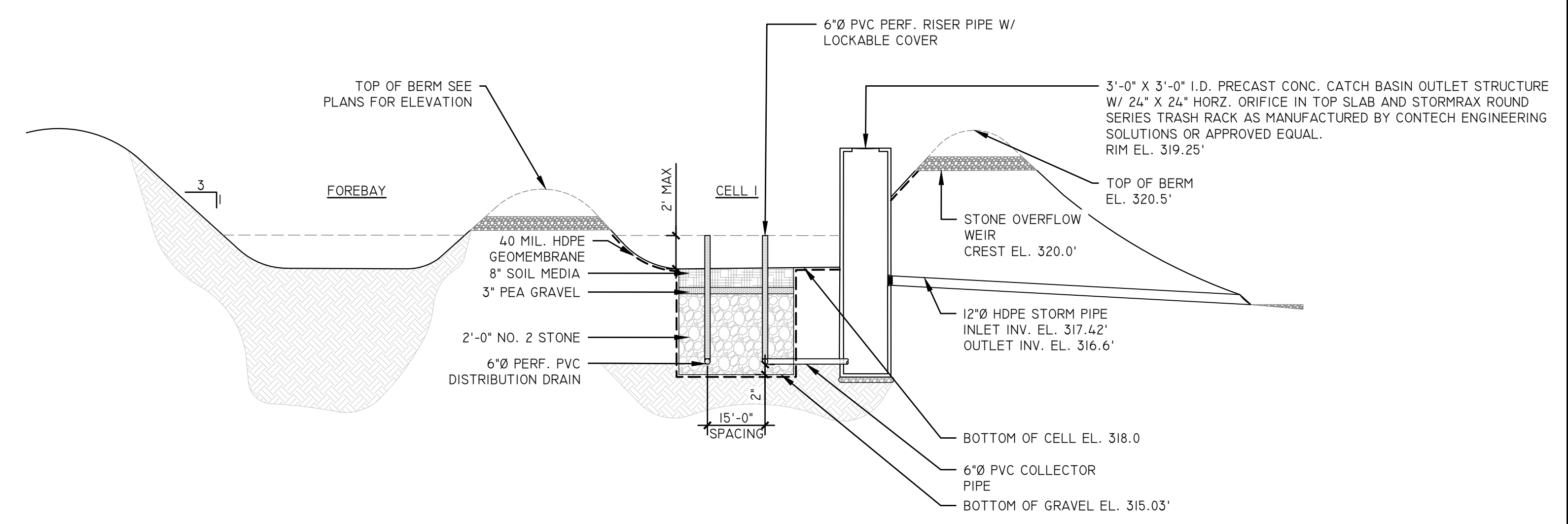
TYPE	TYPICAL PAVEMENT SECTIONS	TYPE	TYPICAL PAVEMENT SECTIONS
ASPHALT	<ul style="list-style-type: none"> 1 1/2" NYS DOT ITEM 404.0963 TOP COURSE 2 1/2" NYS DOT ITEM 404.1969 BINDER COURSE 12" NYS DOT ITEM 304.11 TYPE I GRAVEL SUBBASE WOVEN GEOTEXTILE FABRIC, MIRAFI RS3801 OR APPROVED EQUAL COMPACTED SUBGRADE 	CLAY	<ul style="list-style-type: none"> 4" SPORTS FIELD CLAY
SIDEWALKS	<ul style="list-style-type: none"> ACRYLIC COLOR COATING ACRYLIC RESURFACER FILLER COURSE 1 1/2" NYS DOT ITEM 404.0963 TOP COURSE 2 1/2" NYS DOT ITEM 404.1969 BINDER COURSE 12" NYS DOT ITEM 304.11 TYPE I GRAVEL SUBBASE WOVEN GEOTEXTILE FABRIC, MIRAFI RS3801 OR APPROVED EQUAL COMPACTED SUBGRADE 	BASEBALL AND SOFTBALL FIELDS	<ul style="list-style-type: none"> WOVEN GEOTEXTILE FABRIC, MIRAFI 140N OR APPROVED EQUAL COMPACTED SUBGRADE
TENNIS COURT RESURFACE	<ul style="list-style-type: none"> ACRYLIC COLOR COATING ACRYLIC RESURFACER FILLER COURSE 1 1/2" NYS DOT ITEM 404.0963 TOP COURSE 2 1/2" NYS DOT ITEM 404.1969 BINDER COURSE 12" NYS DOT ITEM 304.11 TYPE I GRAVEL SUBBASE WOVEN GEOTEXTILE FABRIC, MIRAFI RS3801 OR APPROVED EQUAL COMPACTED SUBGRADE 	SOD	<ul style="list-style-type: none"> SOD UNIFORM SOIL ON THE SOD OF +/- 0.60" ROOTZONE TOPDRESSING OF 4-6", PROPERLY GRADED, FREE OF INCONSISTENCIES 6-8" NATIVE SOIL OR AMENDED SOIL NATIVE SOIL
TENNIS COURT	<ul style="list-style-type: none"> ACRYLIC COLOR COATING ACRYLIC RESURFACER FILLER COURSE 1 1/2" NYS DOT ITEM 404.0963 TOP COURSE 2 1/2" NYS DOT ITEM 404.1969 BINDER COURSE 12" NYS DOT ITEM 304.11 TYPE I GRAVEL SUBBASE WOVEN GEOTEXTILE FABRIC, MIRAFI RS3801 OR APPROVED EQUAL COMPACTED SUBGRADE 	BASEBALL AND SOFTBALL FIELDS	<ul style="list-style-type: none"> WOVEN GEOTEXTILE FABRIC, MIRAFI 140N OR APPROVED EQUAL COMPACTED SUBGRADE
ARTIFICIAL TURF	<ul style="list-style-type: none"> SYNTHETIC FIBER SAND-RUBBER INFILL MATERIAL CARPET BACKING FINISHING TOP STONE, SEE SPECS PERMEABLE CRUSHED STONE COMPACTED SUB-BASE, 95% RELATIVE COMPACTION GEO-TEXTILE LINEAR COMPACTED SUB GRADE 95% RELATIVE COMPACTION 		
BASEBALL AND SOFTBALL FIELD ALT.	<ul style="list-style-type: none"> IN FILL DEPTH: 1/2" MIN TO 1/2" EXPOSED PILE: 1/2" TO 1/2" PILE HEIGHT: 2 1/2" TO 2 1/2" 		
CONC. SURFACE	<ul style="list-style-type: none"> 4000PSI CONCRETE PAVEMENT 6 X 6 W2.9 X W2.9 WOVEN WIRE MESH NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE COMPACTED TO 95% STANDARD PROCTOR MIRAFI 140N NON-WOVEN STABILIZATION FABRIC COMPACTED SUBGRADE TO 90% PROCTOR 		
CONC. PADS	<ul style="list-style-type: none"> 4000PSI CONCRETE PAVEMENT 6 X 6 W2.9 X W2.9 WOVEN WIRE MESH NYS DOT ITEM 304-2.03 TYPE 2 GRAVEL SUBBASE COMPACTED TO 95% STANDARD PROCTOR MIRAFI 140N NON-WOVEN STABILIZATION FABRIC COMPACTED SUBGRADE TO 90% PROCTOR 		

NOTE: FOR ALL REFERENCES TO NYS DOT, SEE THE NYS DOT 2008 STANDARD SPECIFICATIONS

2 PAVEMENT SCHEDULE
SCALE: N.T.S.

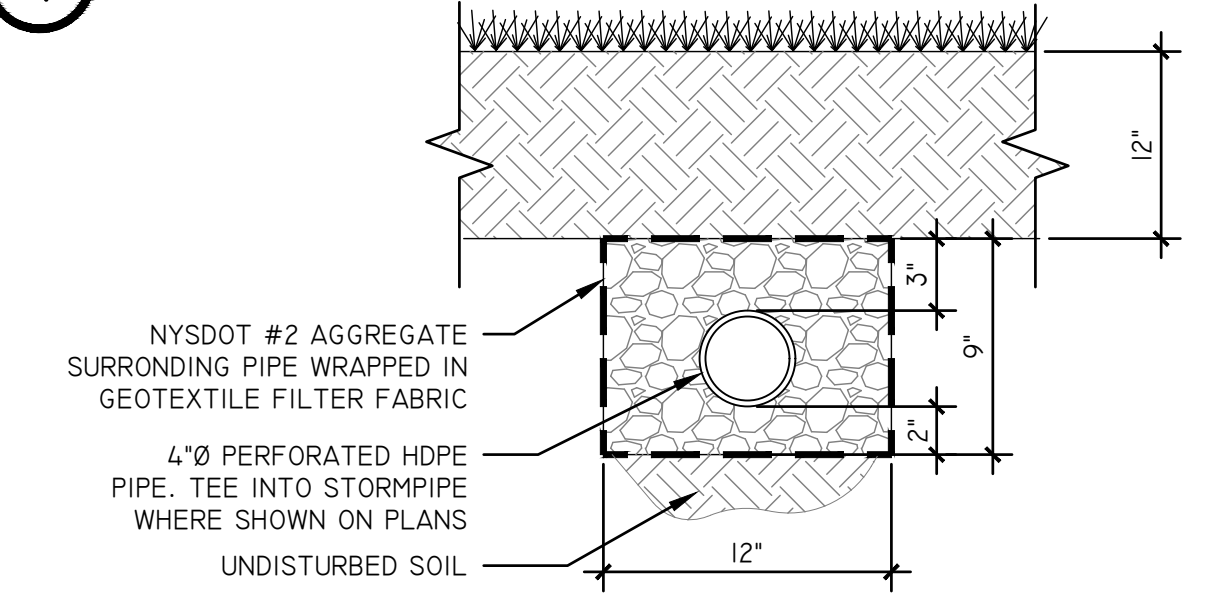


3 STONE WEIR OVERFLOW DETAIL
SCALE: N.T.S.

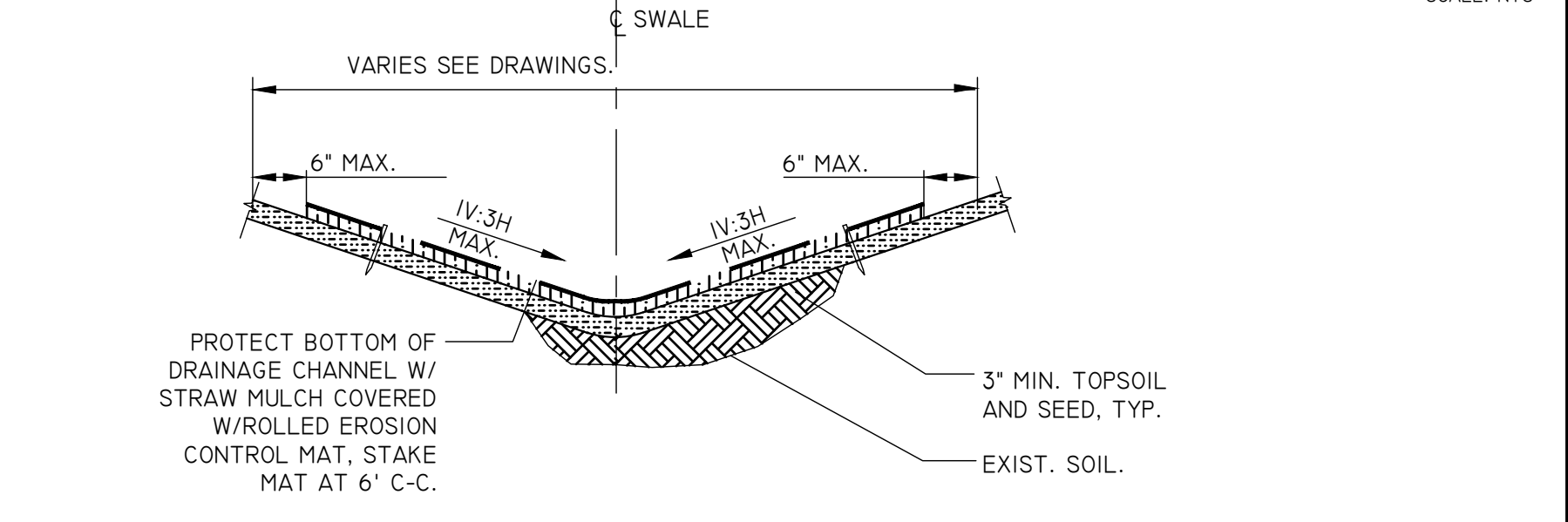


- NOTES:
- PLANTING MATERIAL SHALL BE A MIX OF UPLAND AND WETLAND NATIVE SHRUBS, GRASSES AND HERBACEOUS SPECIES. PLANTING SCHEDULE AND SPECIFICATIONS SHALL BE IN ACCORDANCE WITH TABLE H.4 AND H.5 OF THE NYSDEC STORMWATER MANAGEMENT DESIGN MANUAL (SWDM). DELINEATED PLANTING ZONES SHOWN ON THESE PLANS SHALL CORRESPOND WITH THE FOLLOWING HYDROLOGIC ZONES PER TABLE II.II OF THE NYSDEC SWDM: DEEP POOL (FOREBAY & TREATMENT CELL); ZONE 2.
 - WETLAND PLANTINGS SHALL BE INSPECTED AT THE END OF THE SECOND GROWING SEASON TO CONFIRM 50% SURVIVAL RATE WAS ACHIEVED. IF 50% SURVIVAL RATE IS NOT ACHIEVED, REINFORCED PLANTING IS REQUIRED.
 - A VEGETATIVE BUFFER SHALL EXTEND 25 FEET OUTWARD FROM THE MAXIMUM WATER SURFACE ELEVATION.
 - THE STORMWATER GRAVEL WETLAND SHALL BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH APPENDIX G OF THE NYSDEC SWDM.

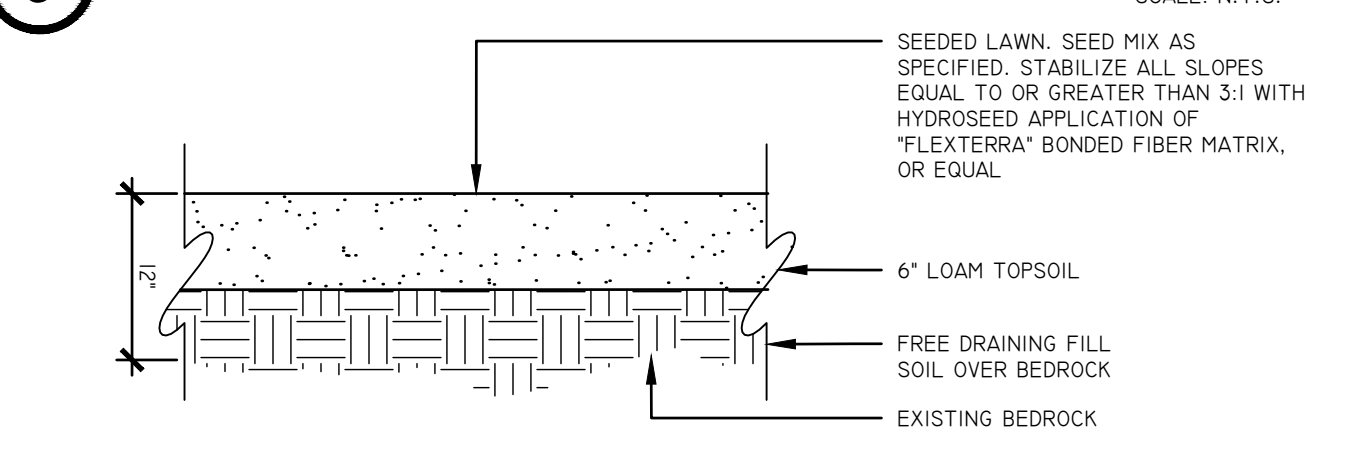
4 GRAVEL WETLAND DETAIL
SCALE: N.T.S.



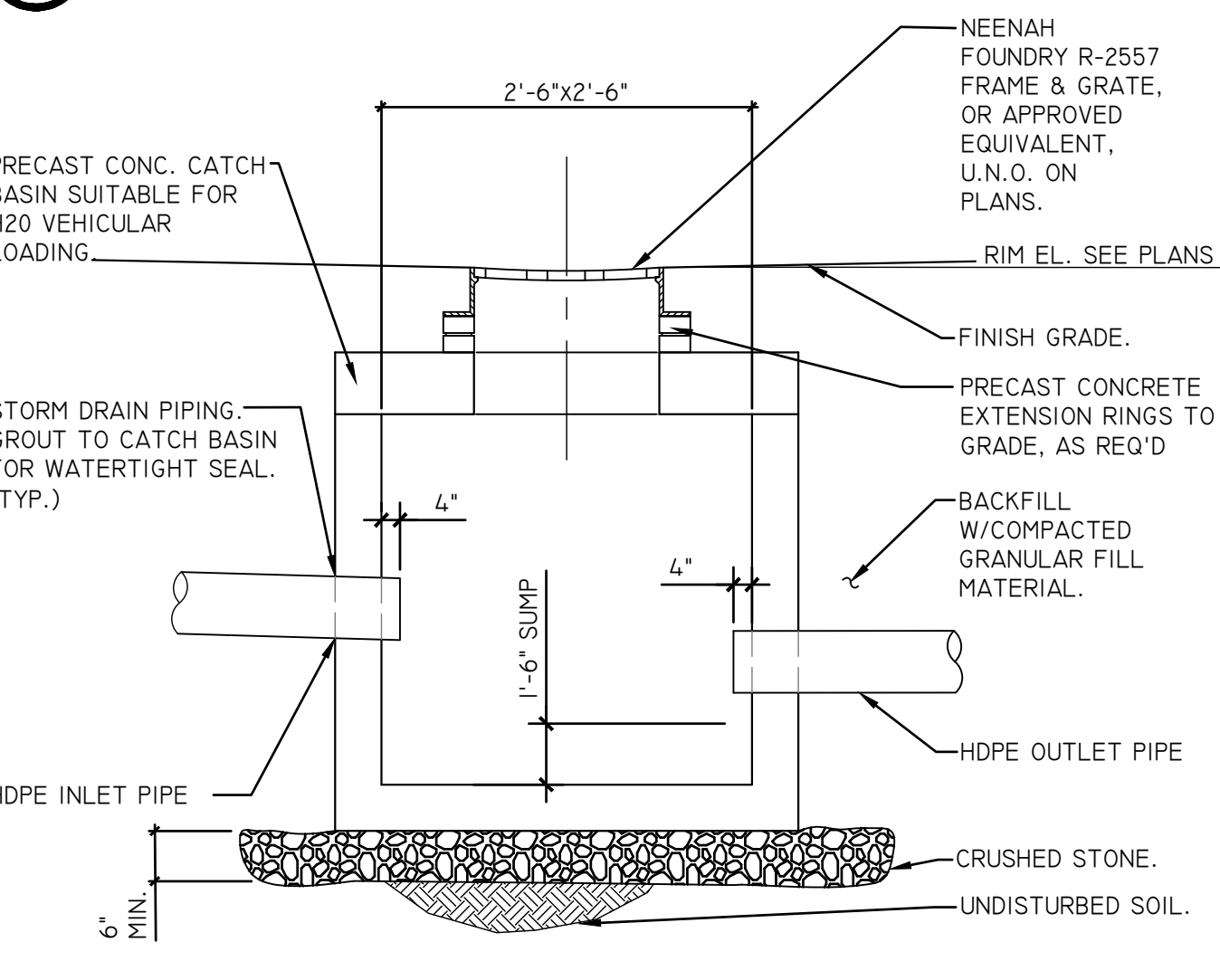
5 UNDERDRAIN DETAIL
SCALE: N.T.S.



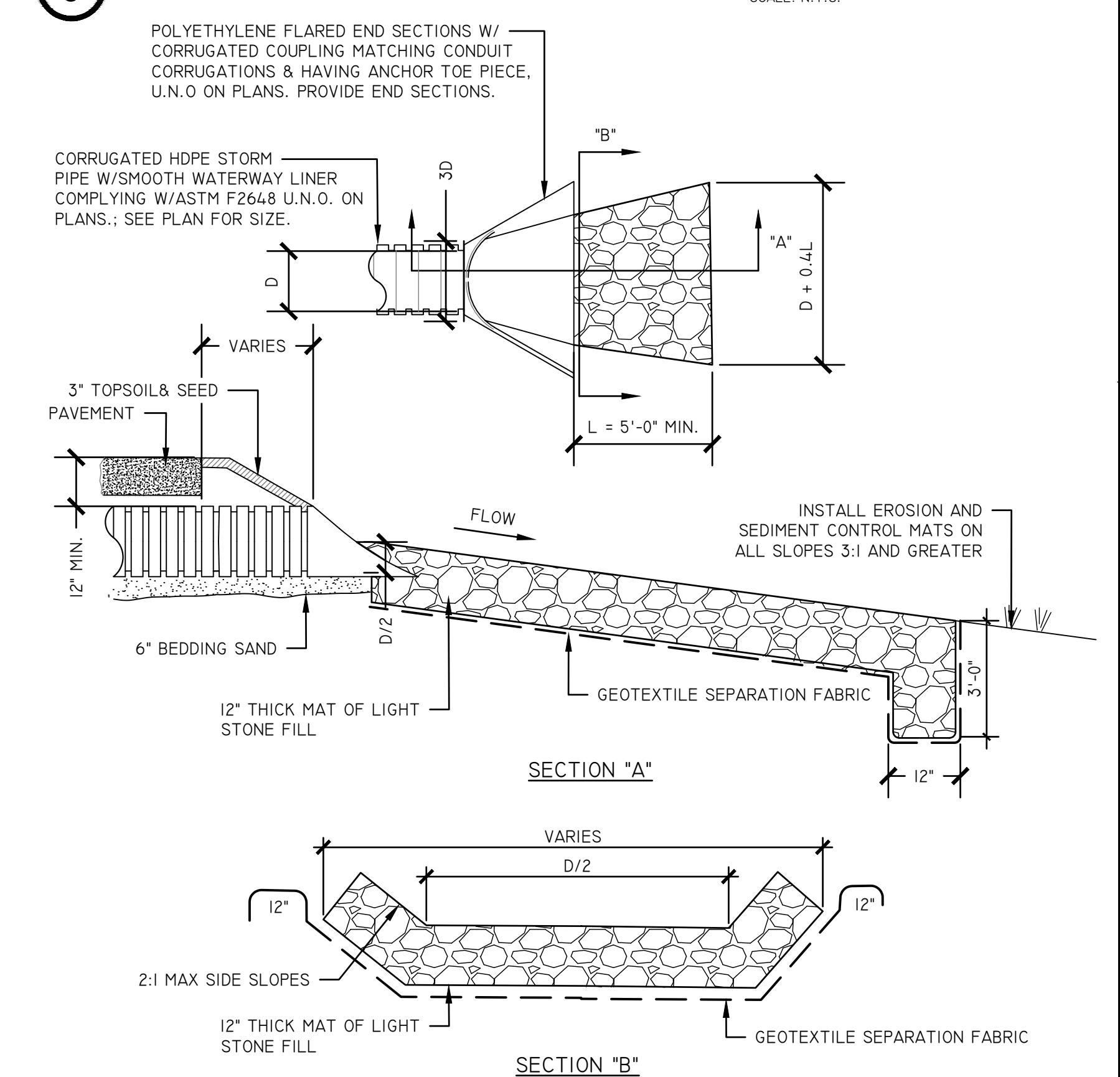
8 VEGETATED SWALE DETAIL
SCALE: N.T.S.



6 SEEDED AREA DETAIL
SCALE: N.T.S.



7 CATCH BASIN DETAIL
SCALE: N.T.S.



9 STONE OUTLET PROTECTION DETAIL
SCALE: N.T.S.

KEY PLAN:

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REV	DATE	DESCRIPTION

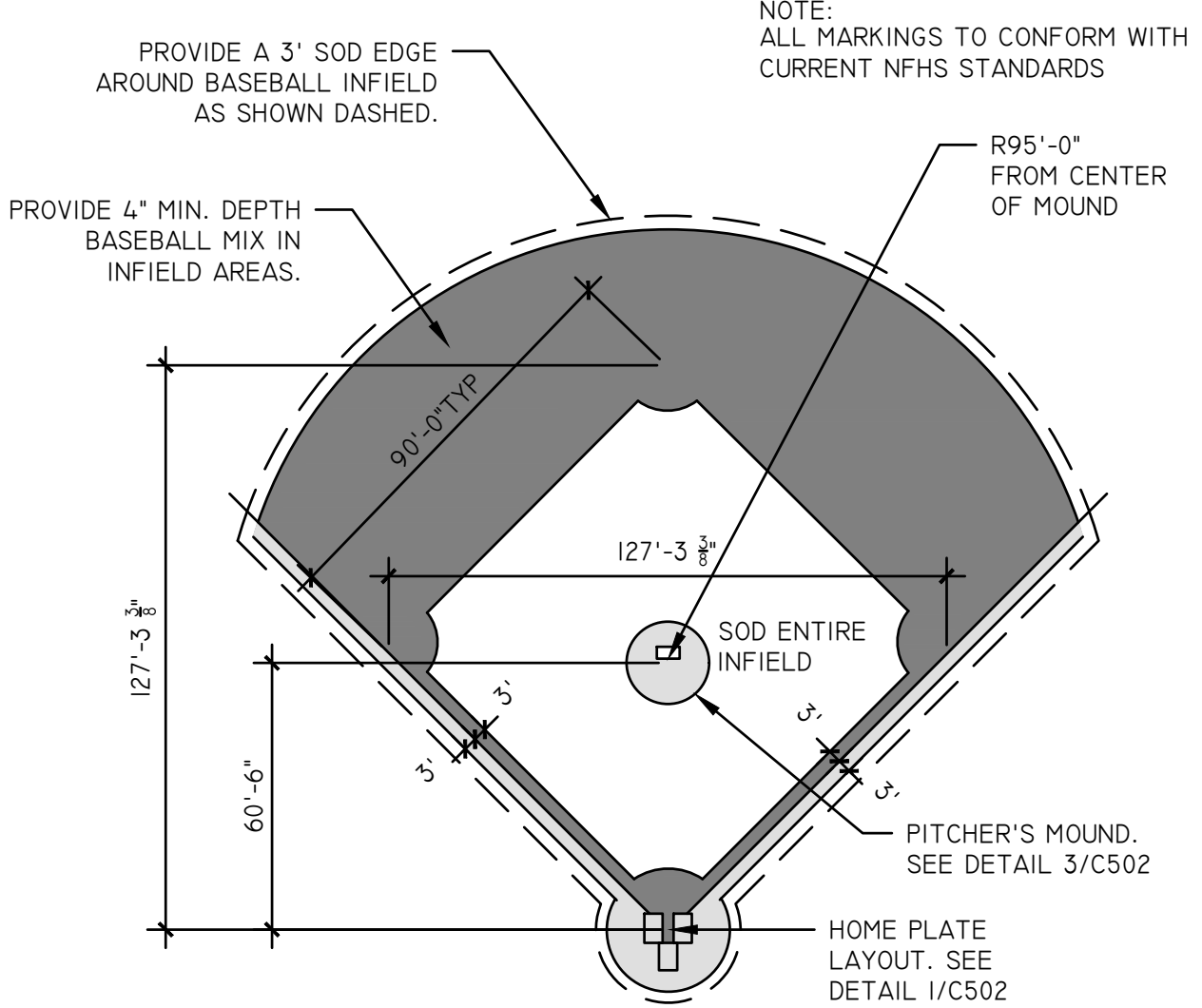
CONSTRUCTION DETAILS

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

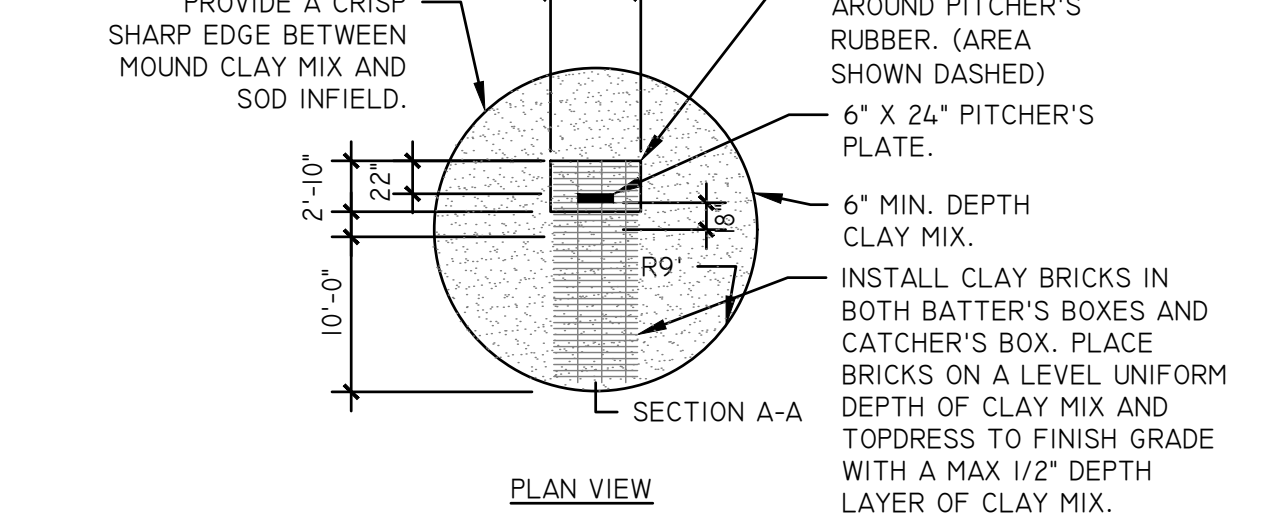
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12/13/2024 11:27:31 AM

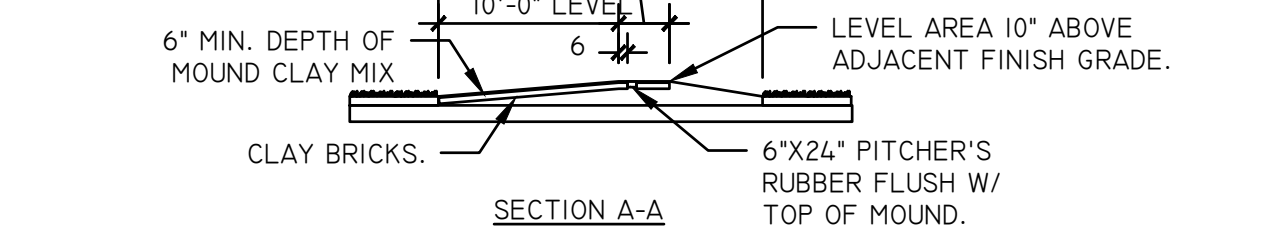
1 BASEBALL HOME PLATE DETAIL
SCALE: N.T.S.



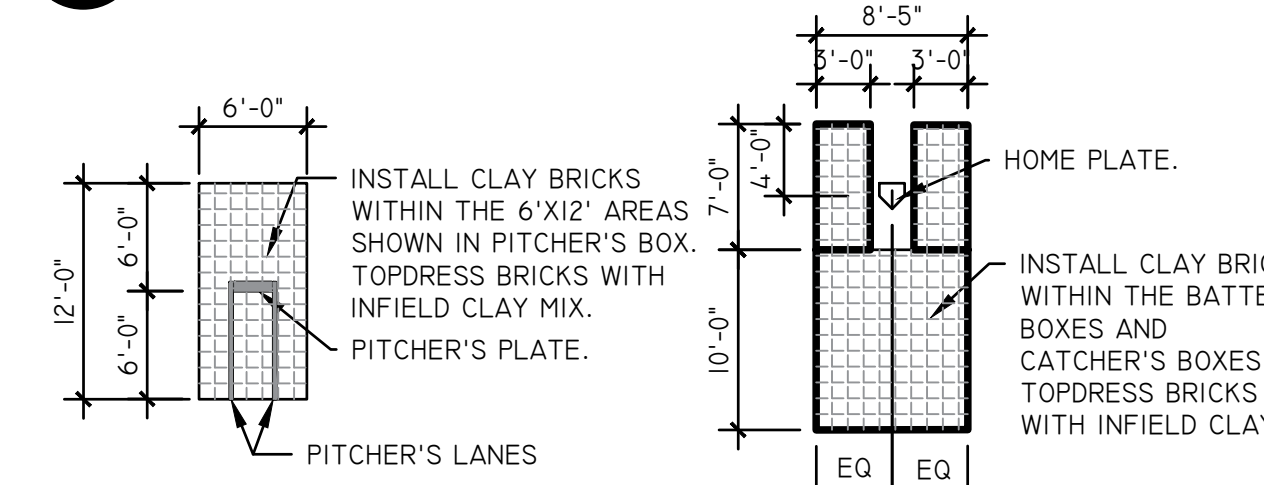
2 BASEBALL INFIELD DETAIL
SCALE: N.T.S.



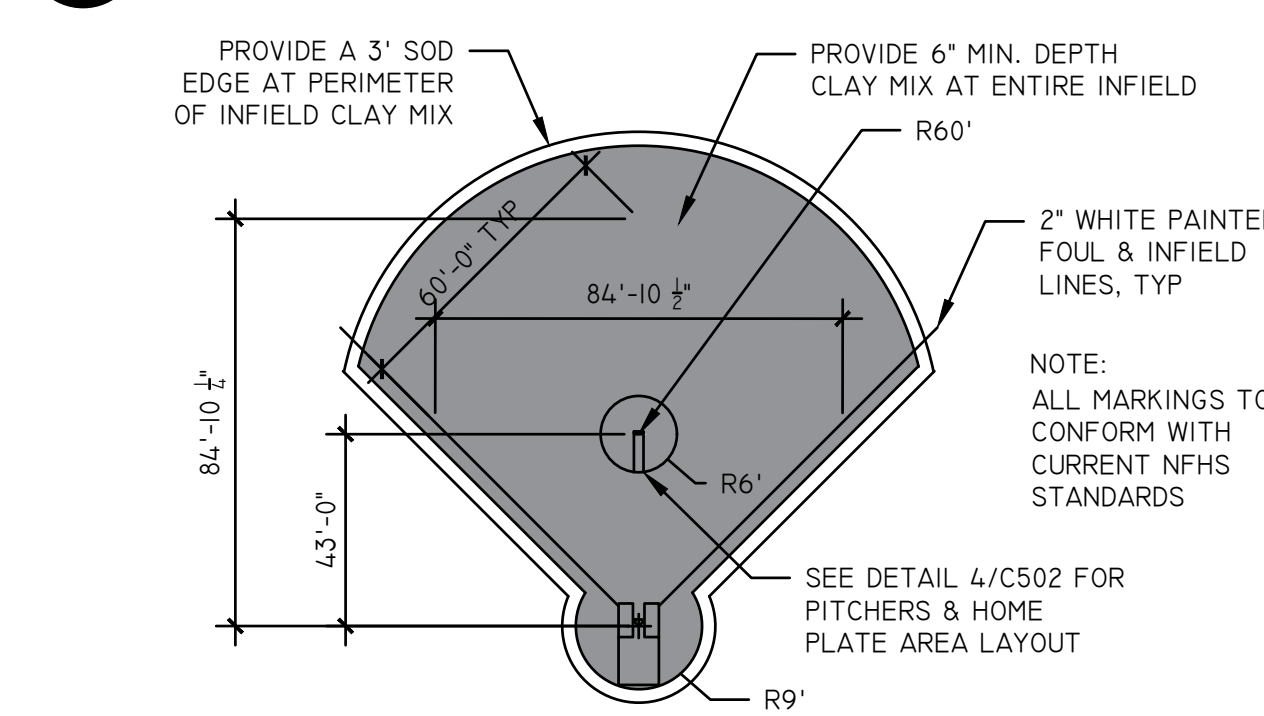
3 BASEBALL PITCHER'S MOUND DETAIL
SCALE: N.T.S.



4 SOFTBALL MOUND & PLATE DETAIL
SCALE: N.T.S.



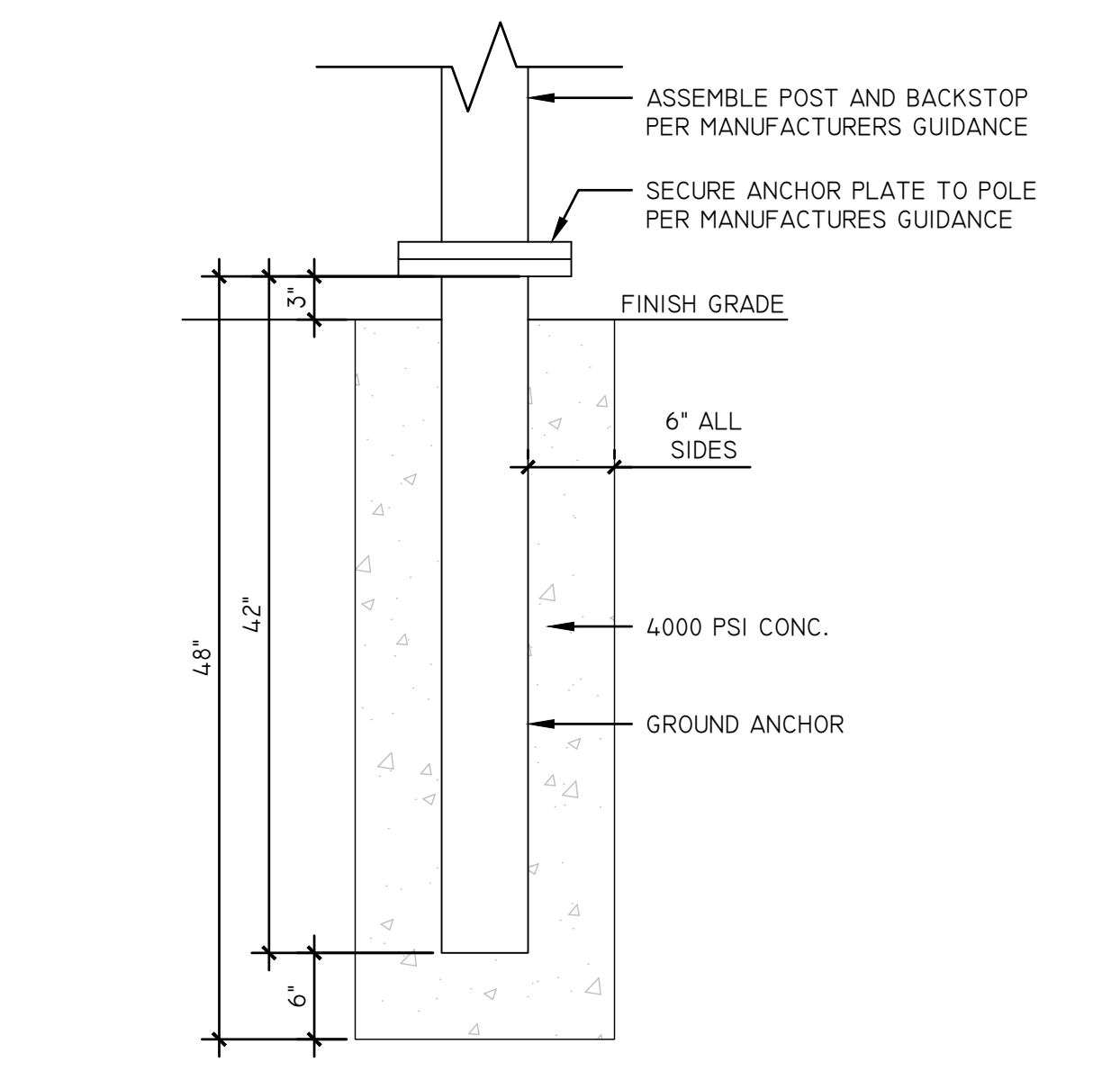
5 SOFTBALL INFIELD DETAIL
SCALE: N.T.S.



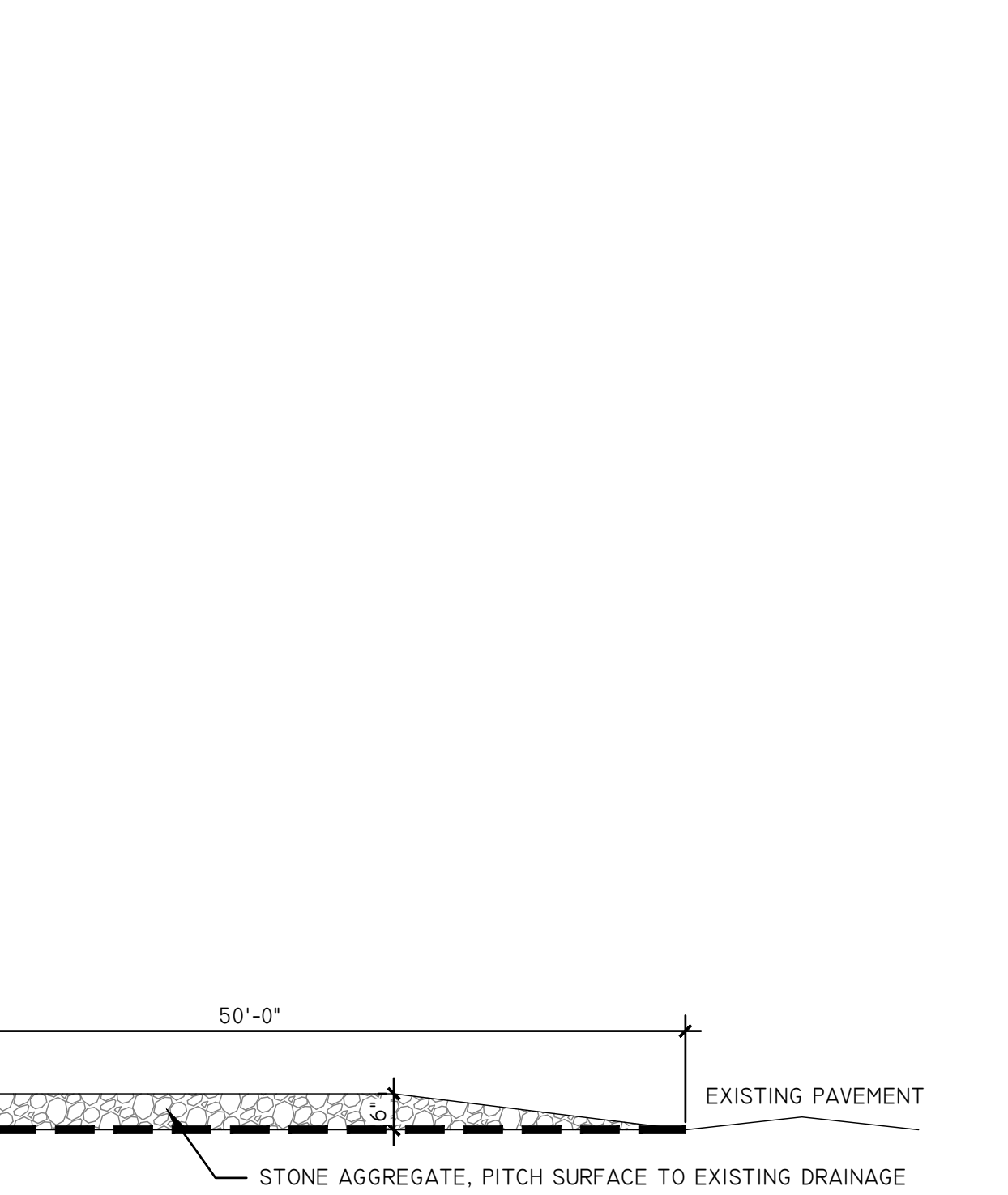
6 TENNIS/PICKLEBALL COURT STRIPING DETAIL
SCALE: N.T.S.



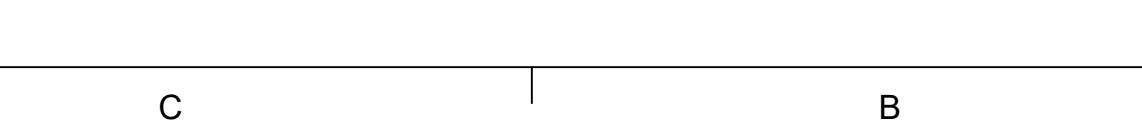
8 TENNIS POST FOUNDATION DETAIL
SCALE: N.T.S.



9 BASKETBALL HOOP FOUNDATION DETAIL
SCALE: N.T.S.



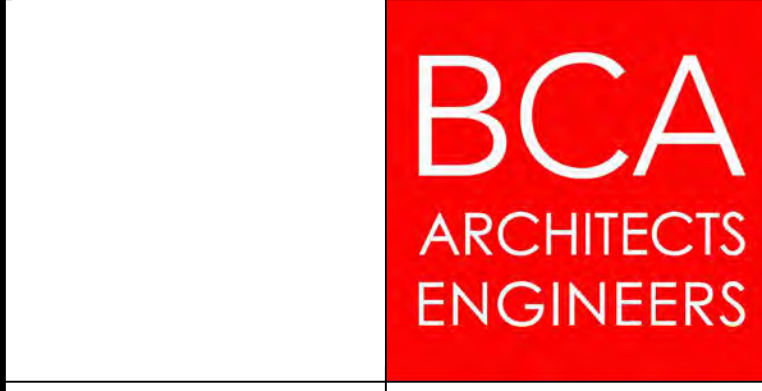
10 CONTRACTOR STAGING AREA DETAIL
SCALE: N.T.S.



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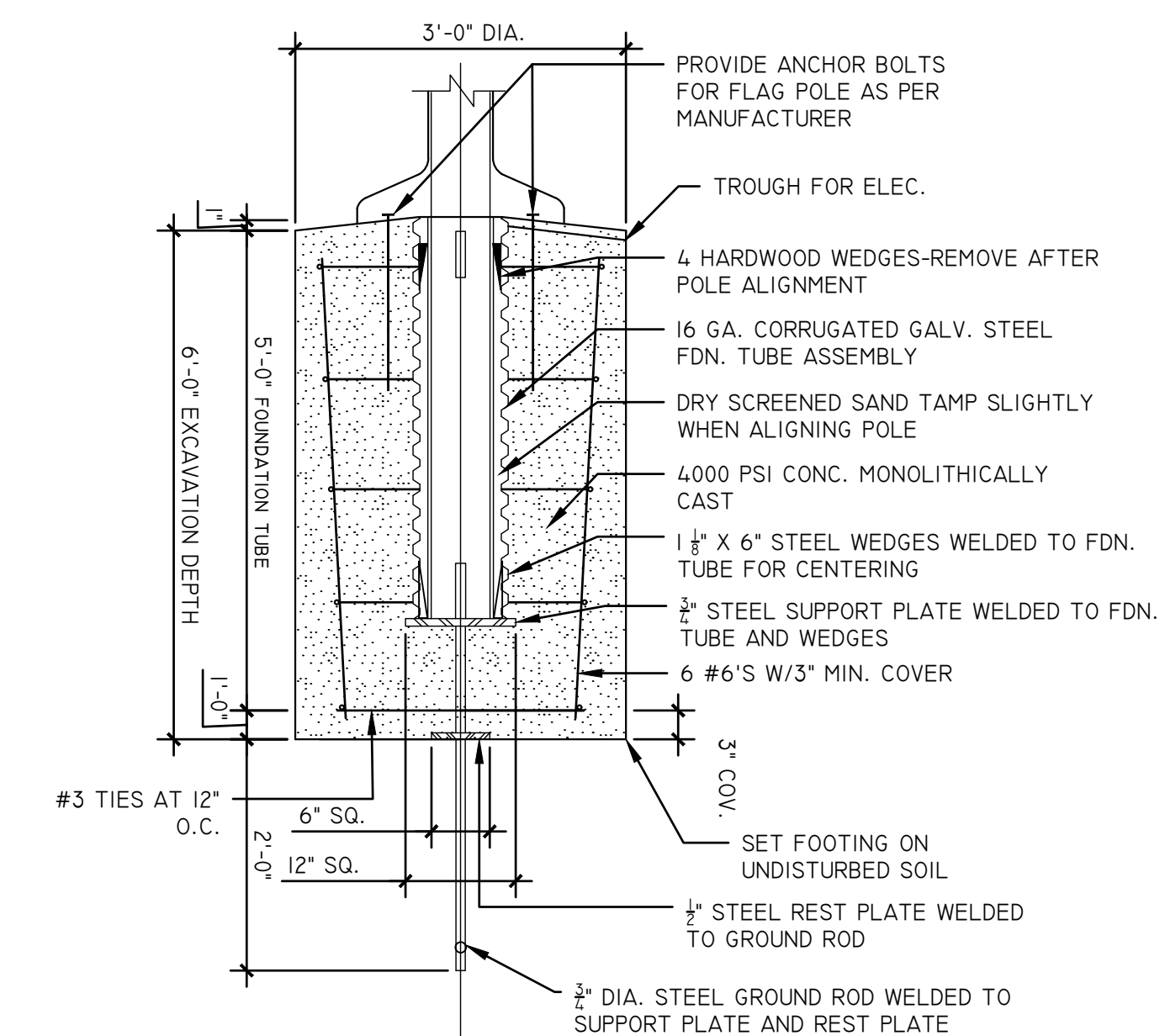
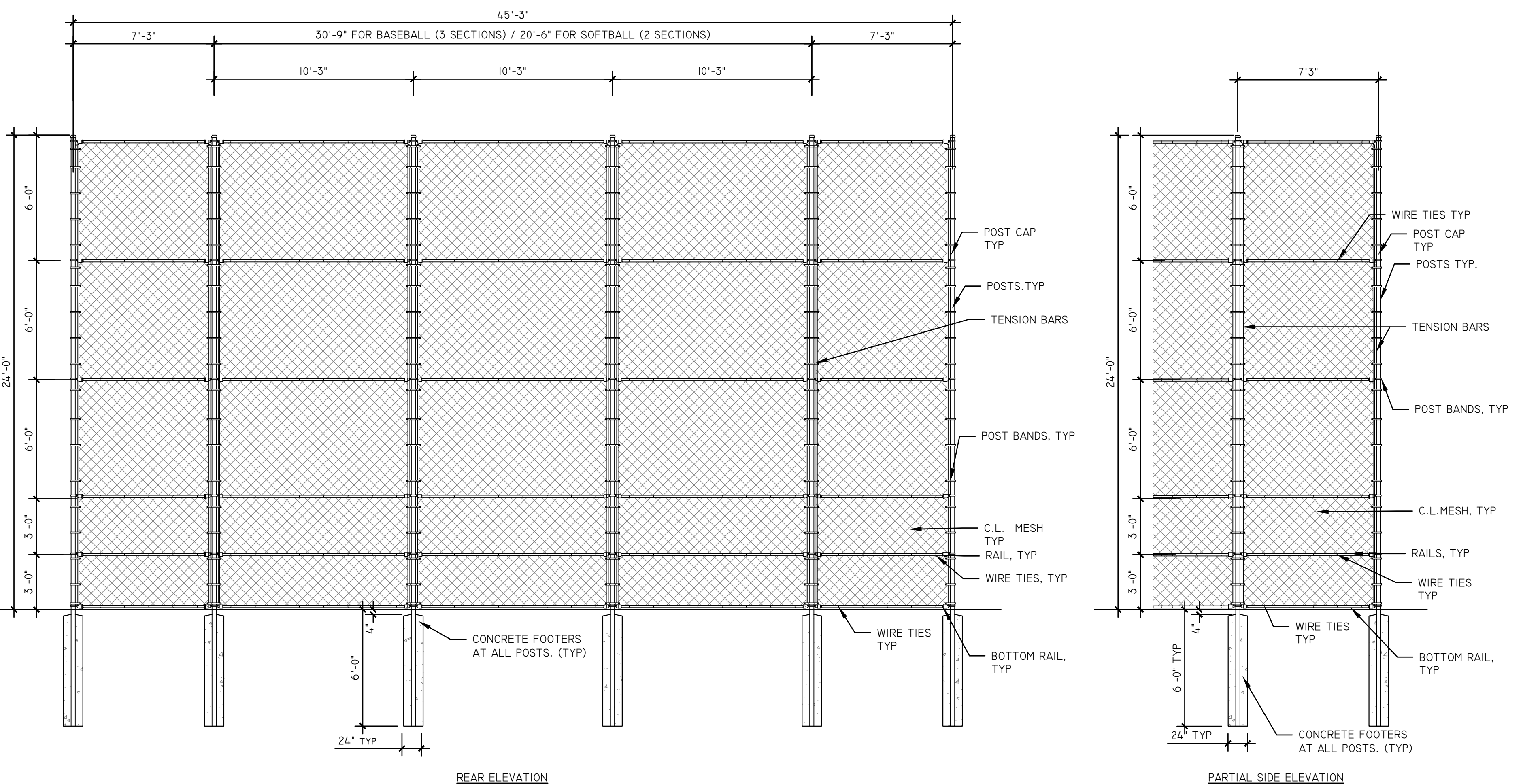
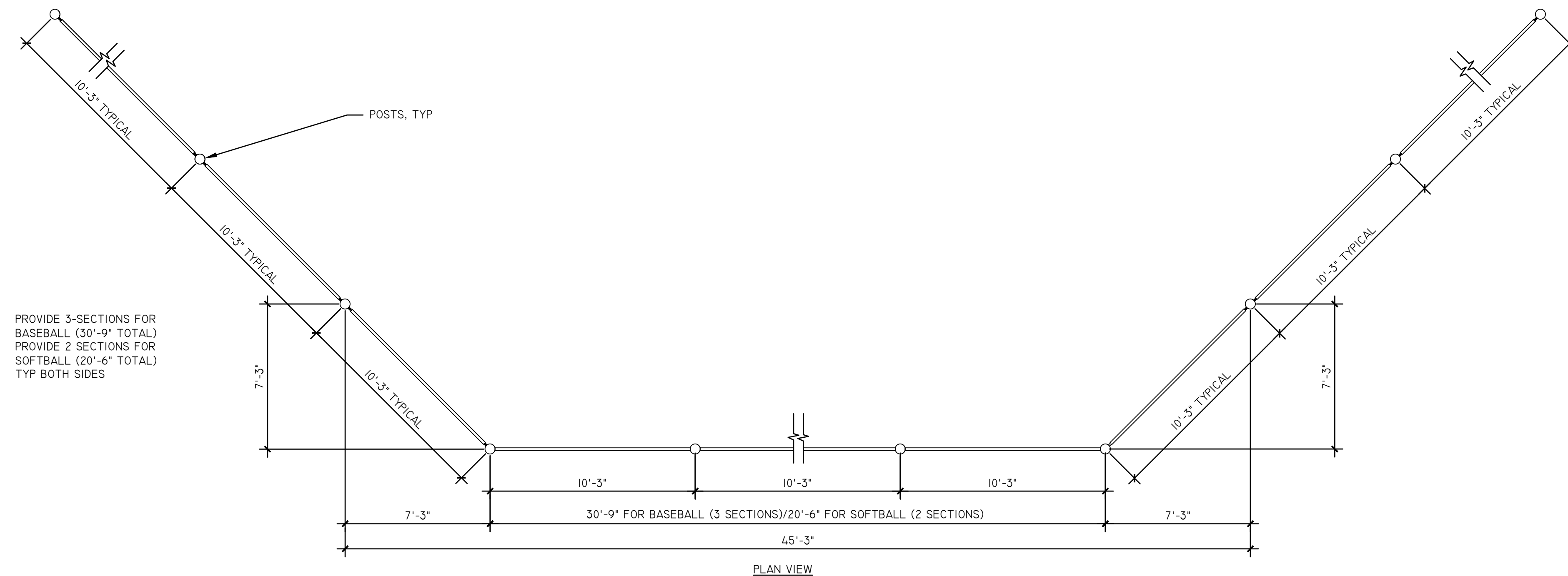
REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/18/2024

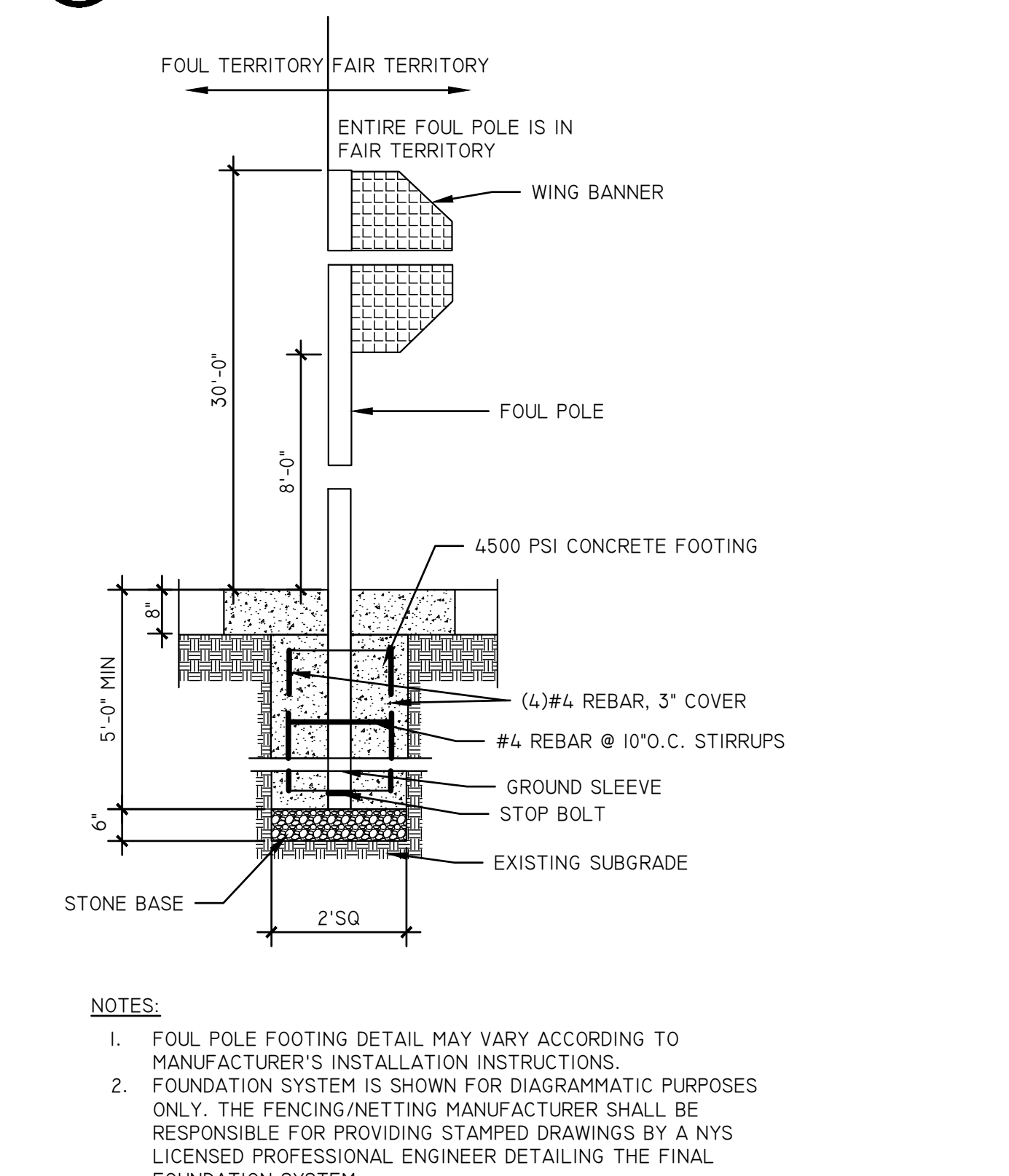
CONSTRUCTION DETAILS

BUILDING NUMBER HS	SHEET NUMBER C502 BID
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12/13/2024 11:27:36 AM



2 TYPICAL FLAGPOLE BASE DETAIL SCALE: N.T.S.



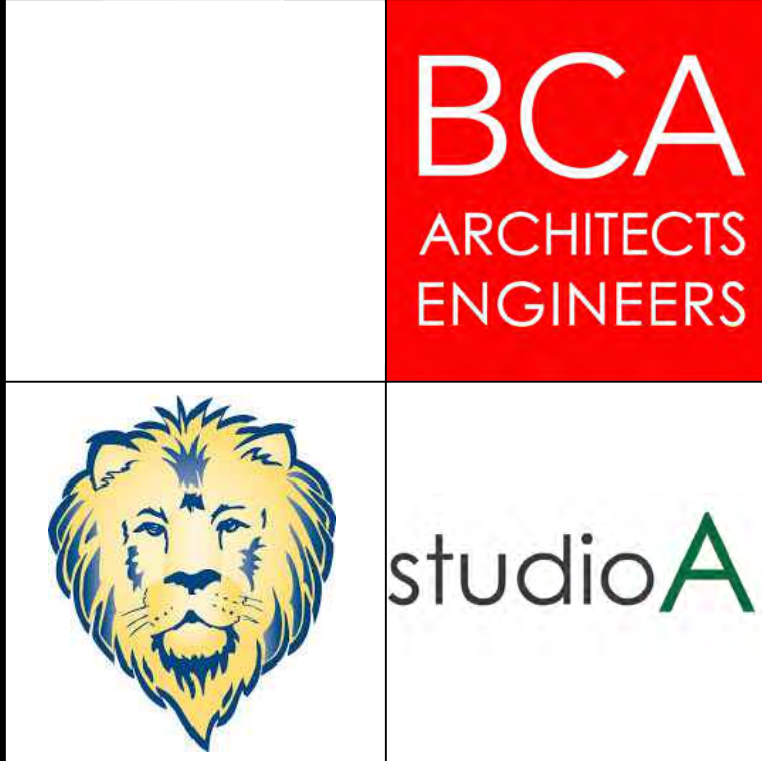
3 FOUL POLE DETAIL SCALE: N.T.S.

1 BASEBALL/SOFTBALL BACKSTOP DETAIL SCALE: N.T.S.

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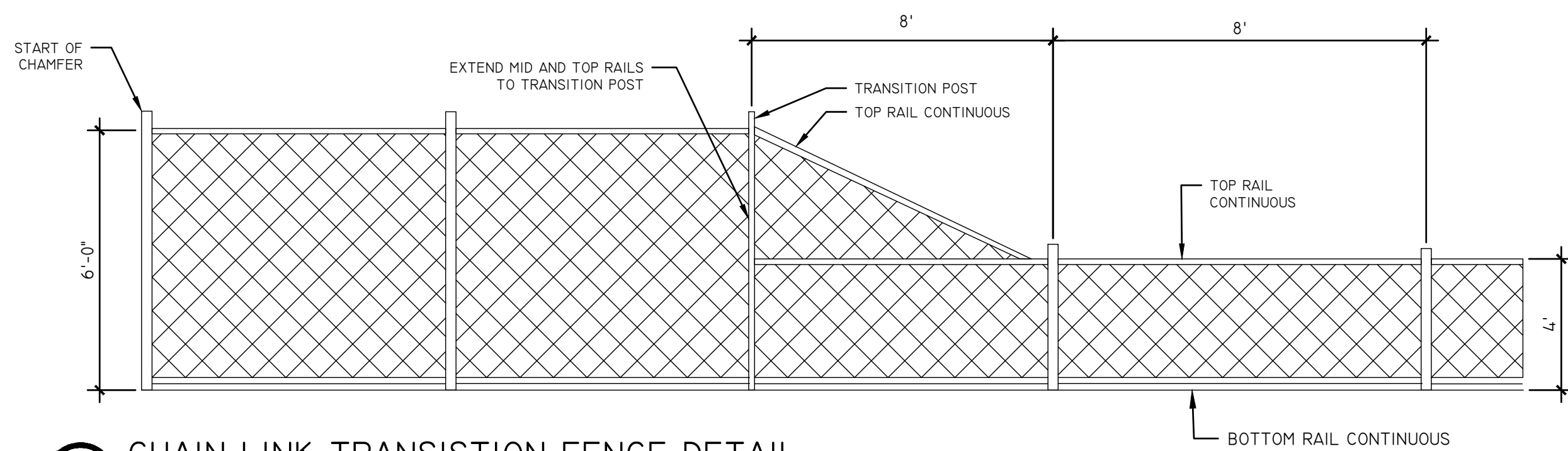
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REV	DATE	DESCRIPTION

CONSTRUCTION DETAILS

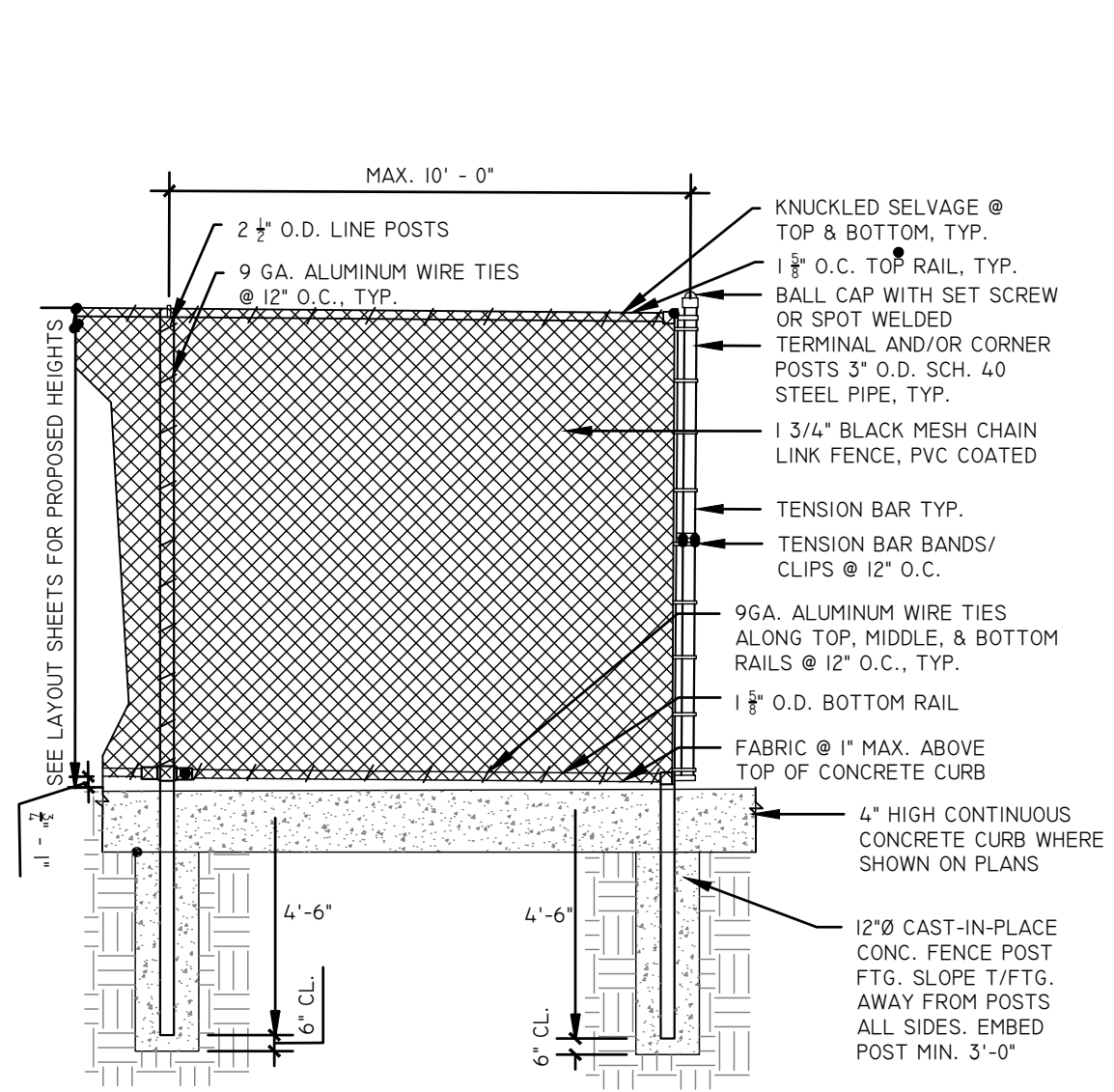
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12/13/2024 11:27:41 AM

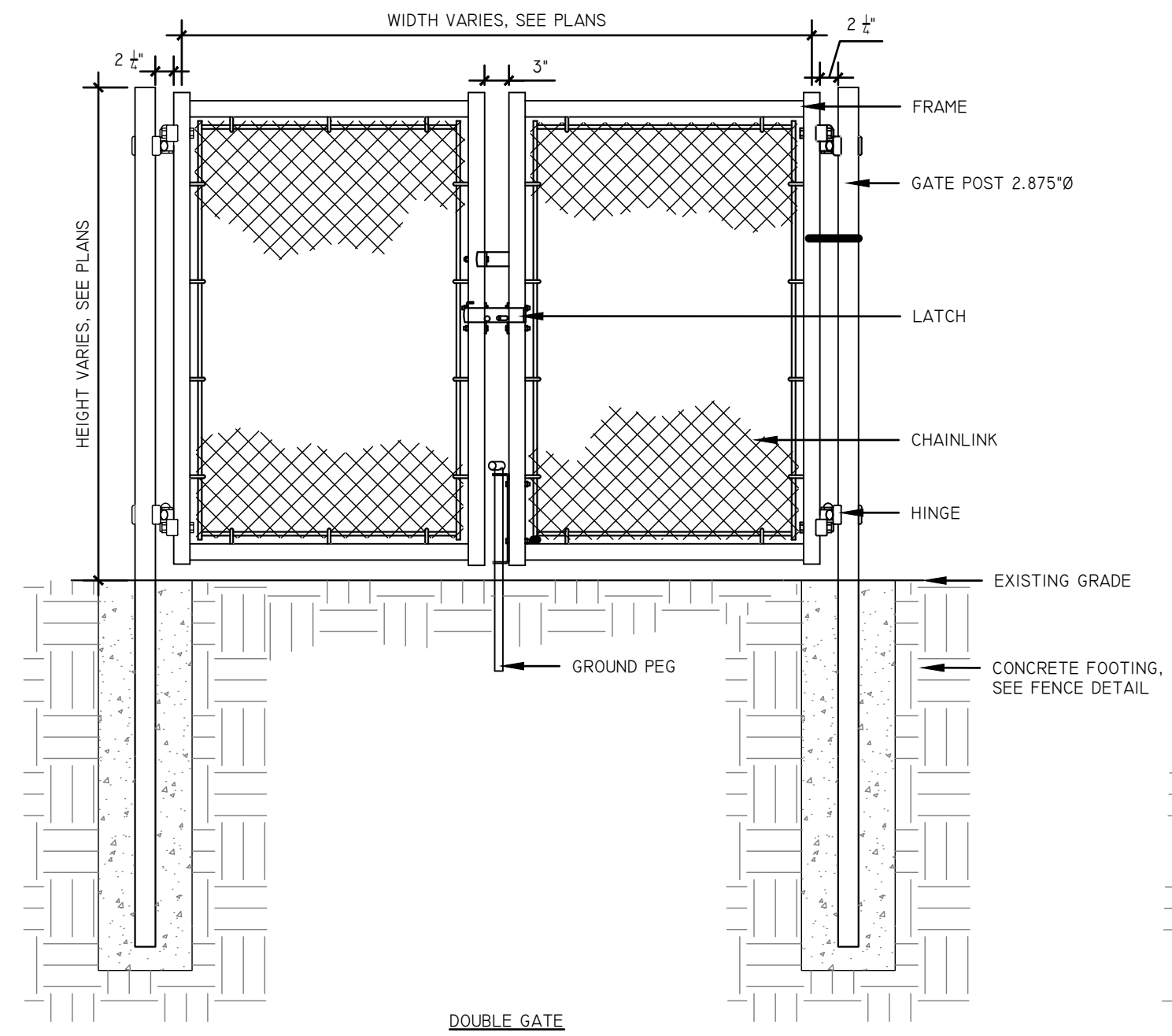


1 CHAIN LINK TRANSITION FENCE DETAIL

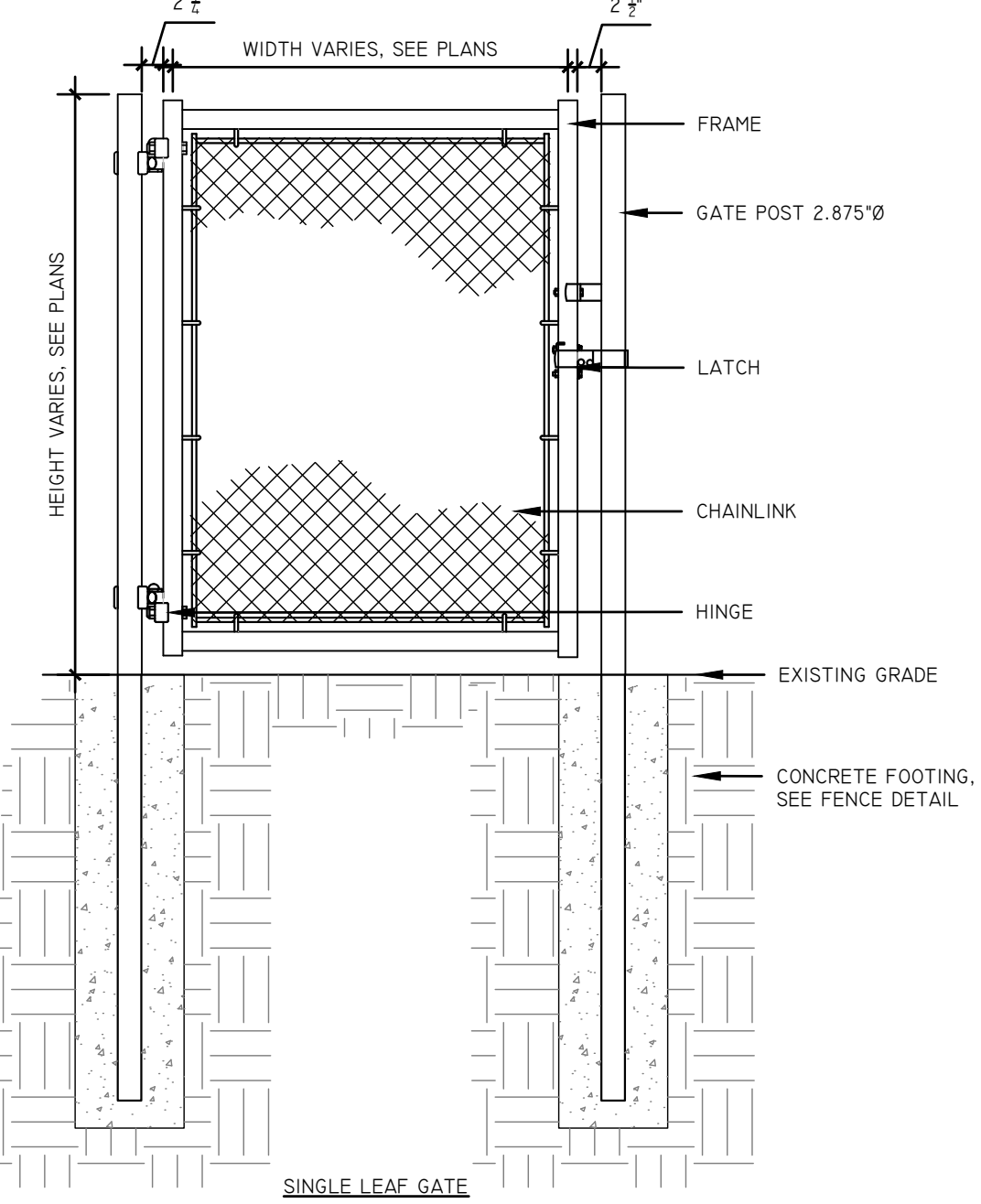
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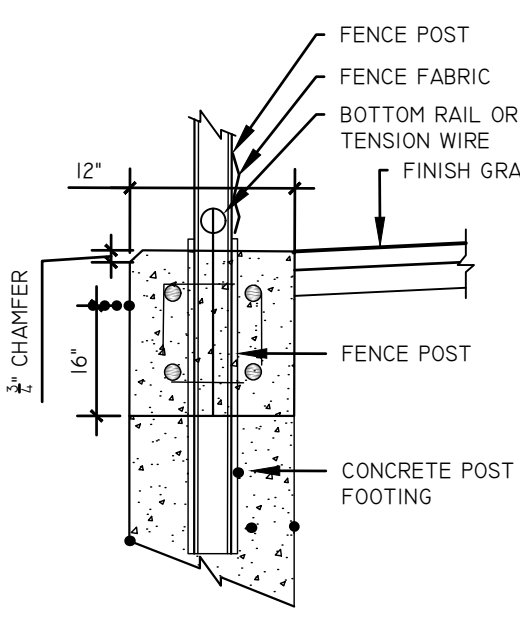
FENCE SECTION



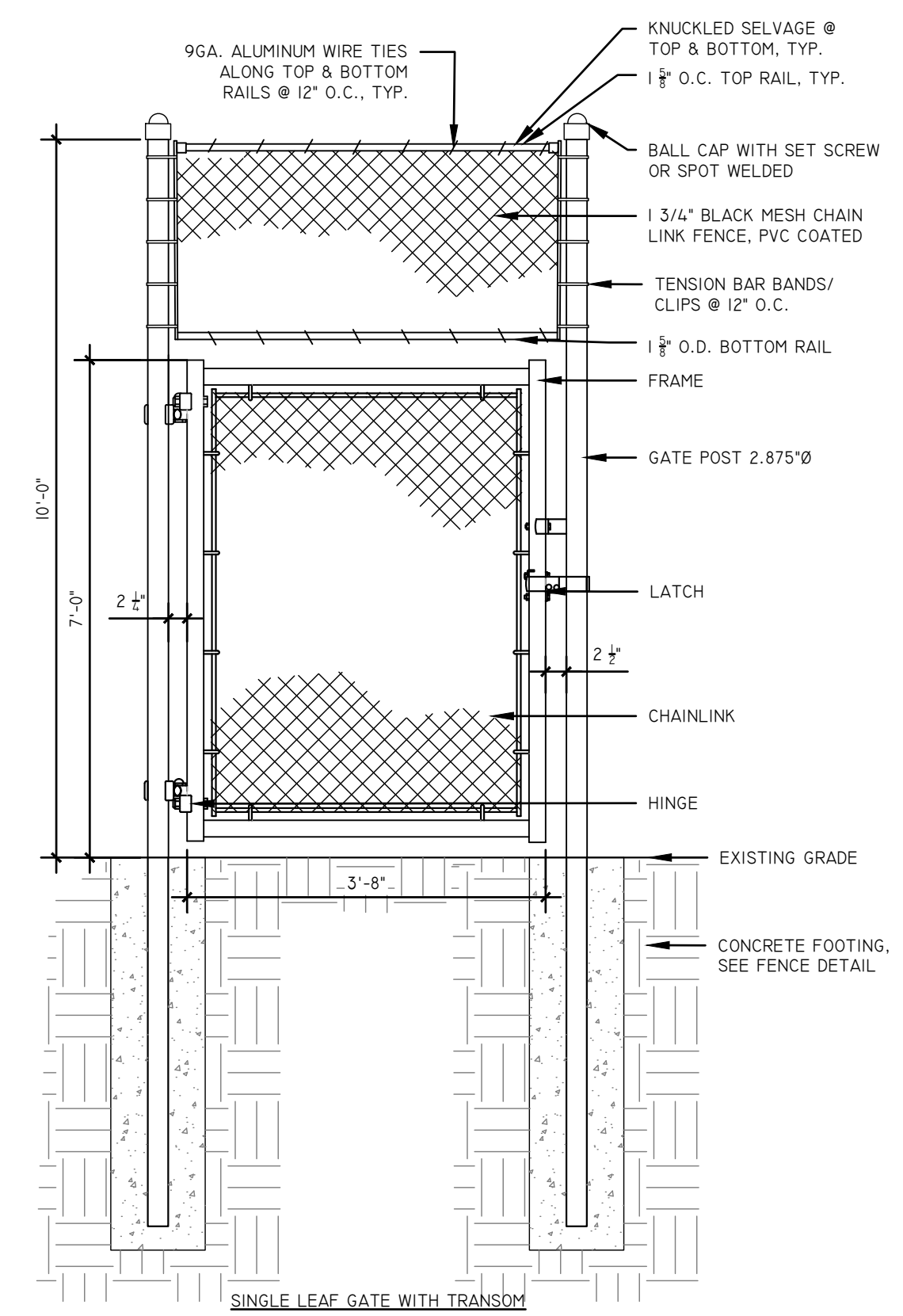
DOUBLE GATE



SINGLE LEAF GATE



CONCRETE CURB DETAIL



SINGLE LEAF GATE WITH TRANSOM

2 CHAIN LINK FENCE AND GATES

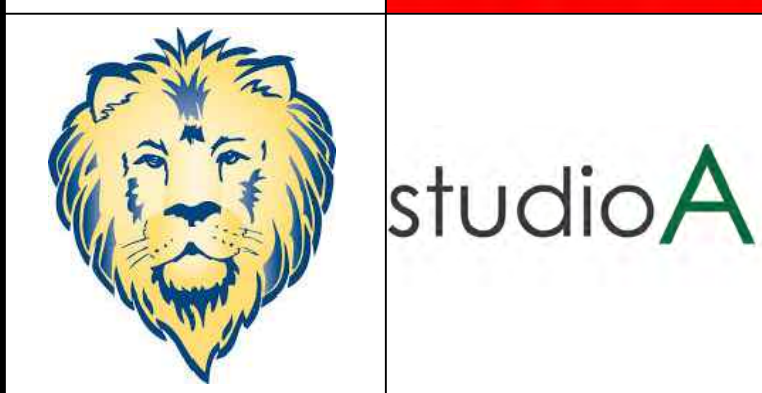
SCALE: N.T.S.

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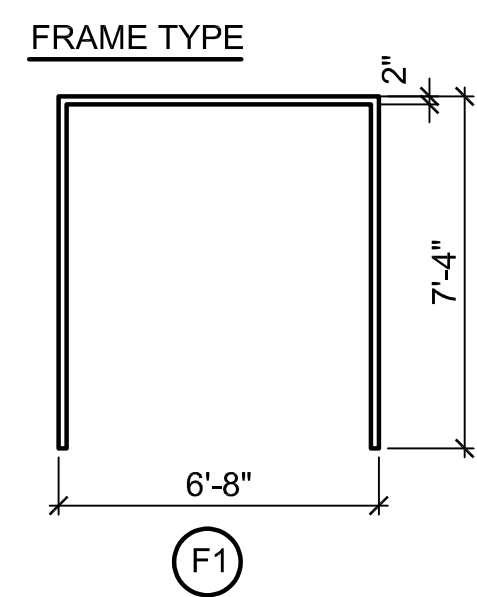
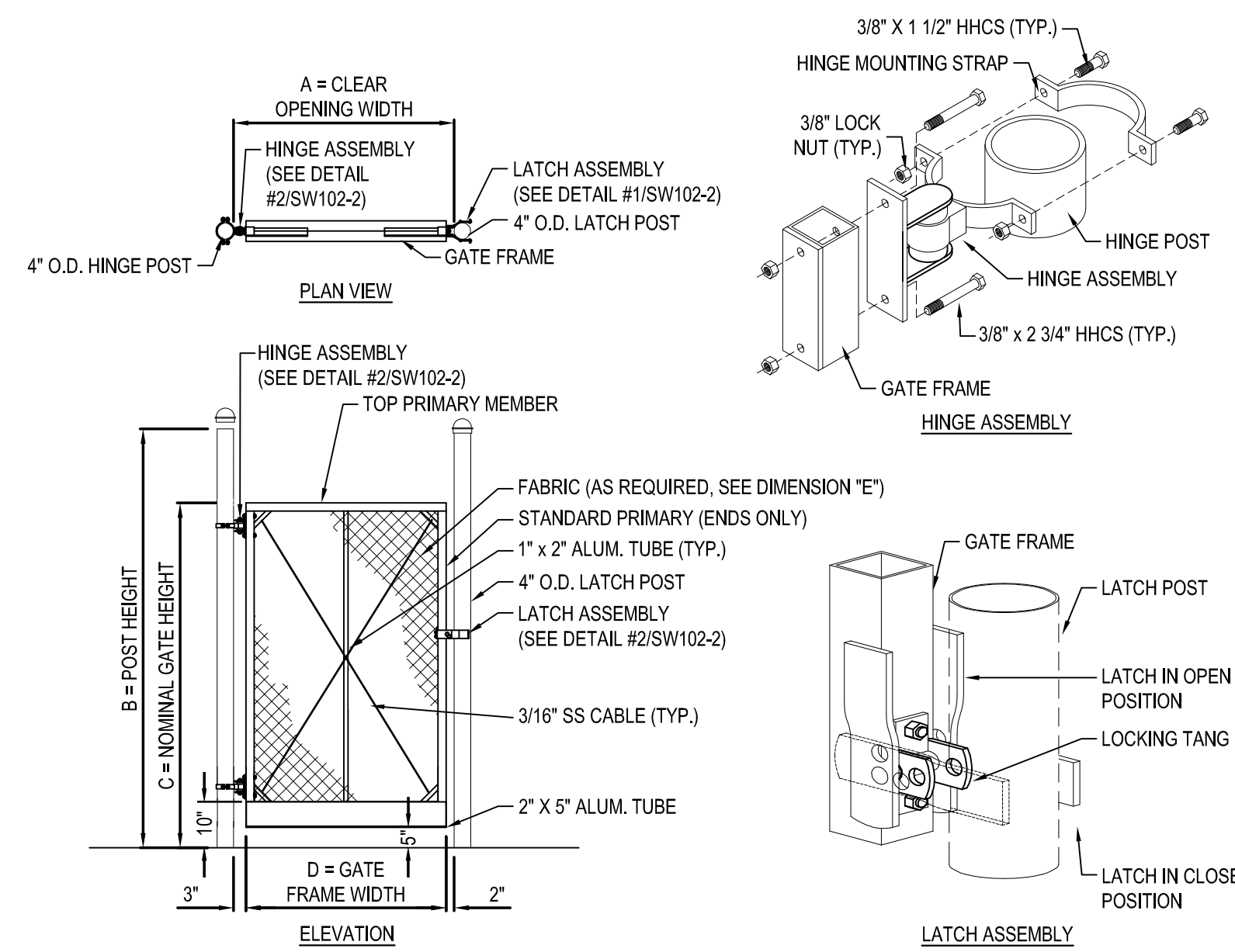
REV	DATE	DESCRIPTION

DRAWN BY CML	PROJECT NUMBER 2023-105
CHECKED BY KAC	DATE 12/16/2024

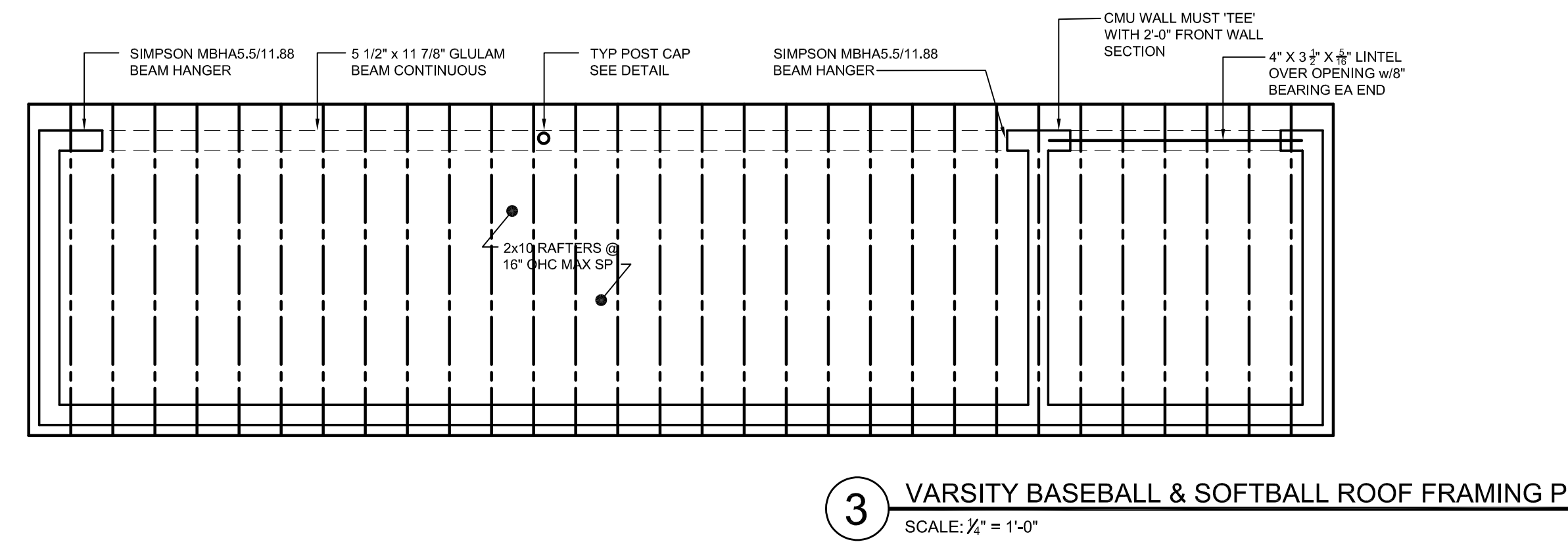
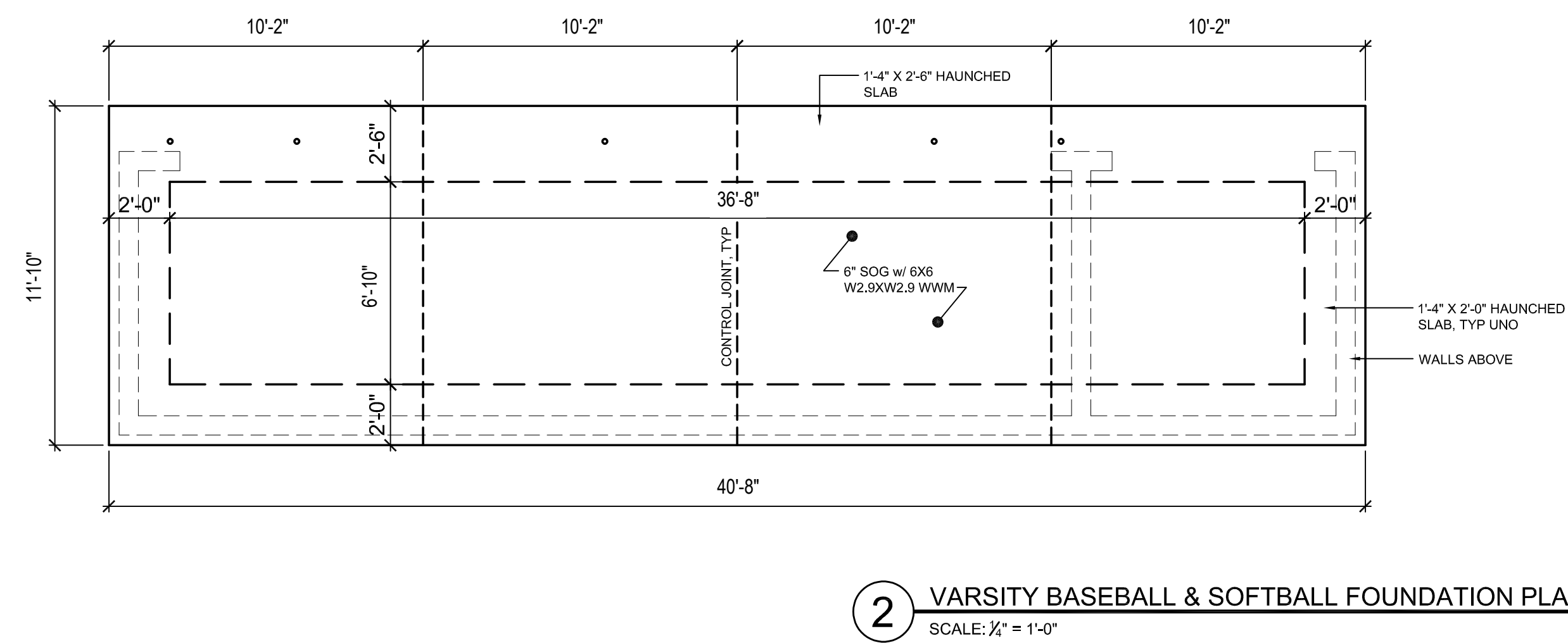
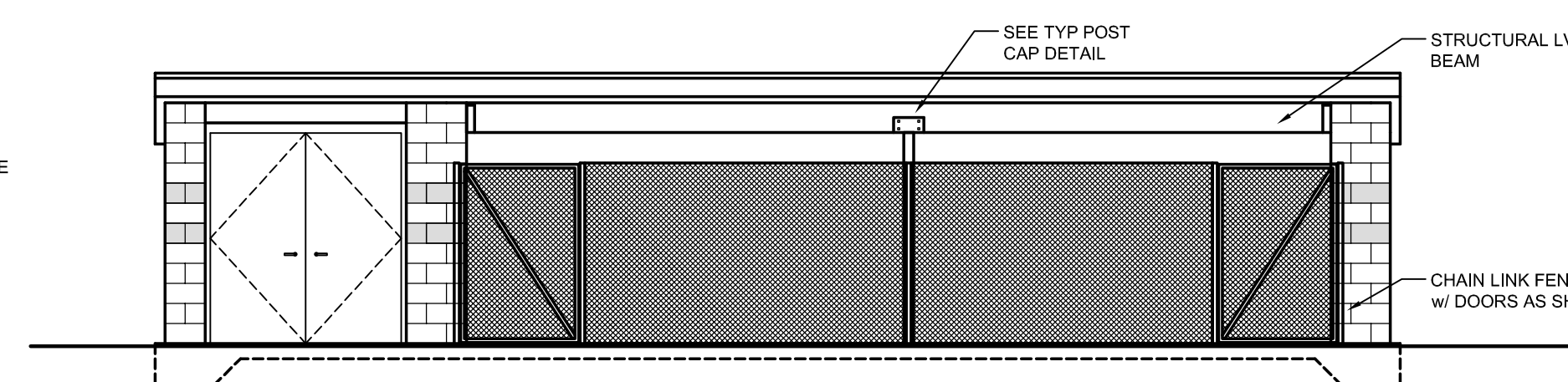
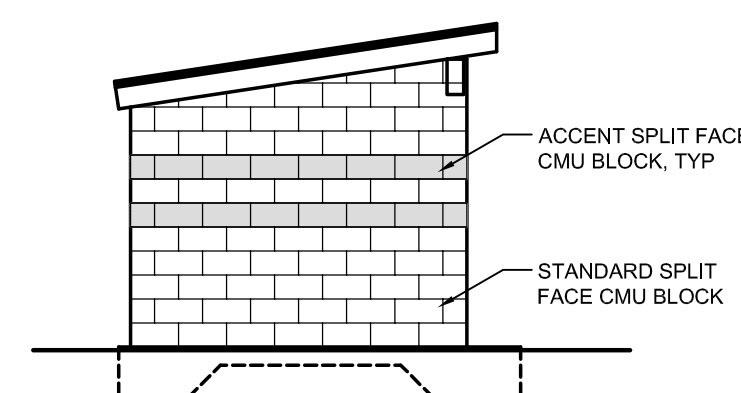
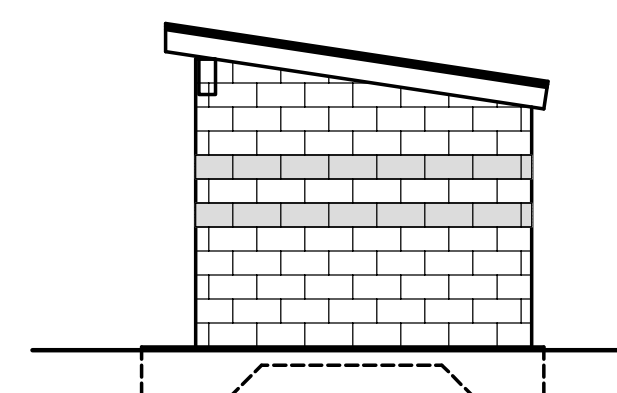
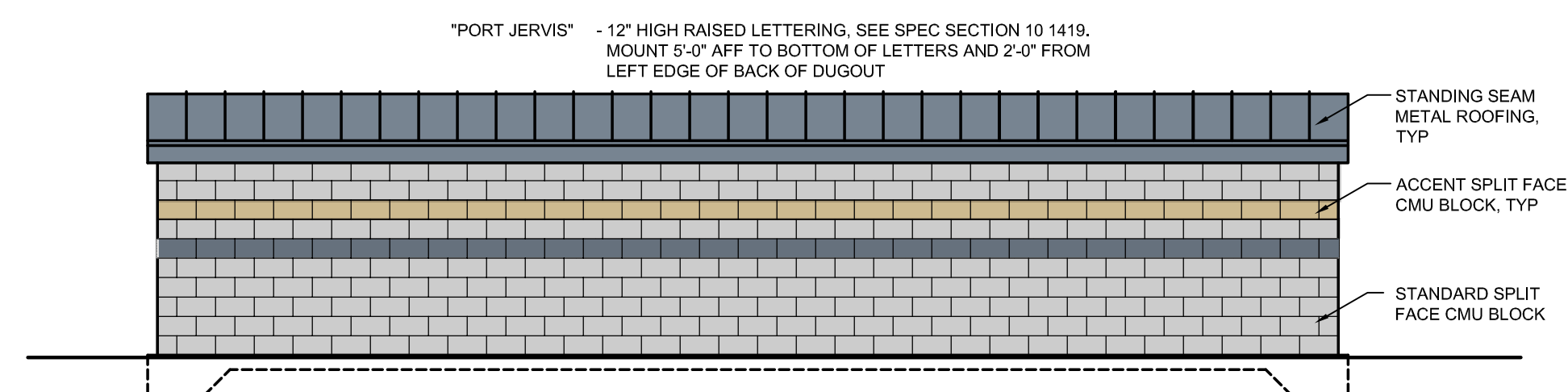
CONSTRUCTION DETAILS

BUILDING NUMBER HS	SHEET NUMBER C504 BID
------------------------------	------------------------------------

12/13/2024 11:27:46 AM



DOOR SCHEDULE													
DOOR TAG	ROOM NAME	DOOR					FRAME			DETAILS			
		WxH	THK	ELEV	MAT'L	FIN	HDWR	ELEV	MAT'L	FIN	HEAD	JAMB	THRESHOLD
A1	HOME - BB	PR 3'-2" x 7'-2"	1 3/4"	4/L600	FRP	FACTORY FINISH	01	F1	ALUM	MFG	5/L602	10/L602	11/L602
A2	HOME - SOFTBALL	PR 3'-2" x 7'-2"	1 3/4"	4/L600	FRP	FACTORY FINISH	01	F1	ALUM	MFG	5/L602	10/L602	11/L602



KEY PLAN:

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SED NO. 22-04-01-04-7-017-001

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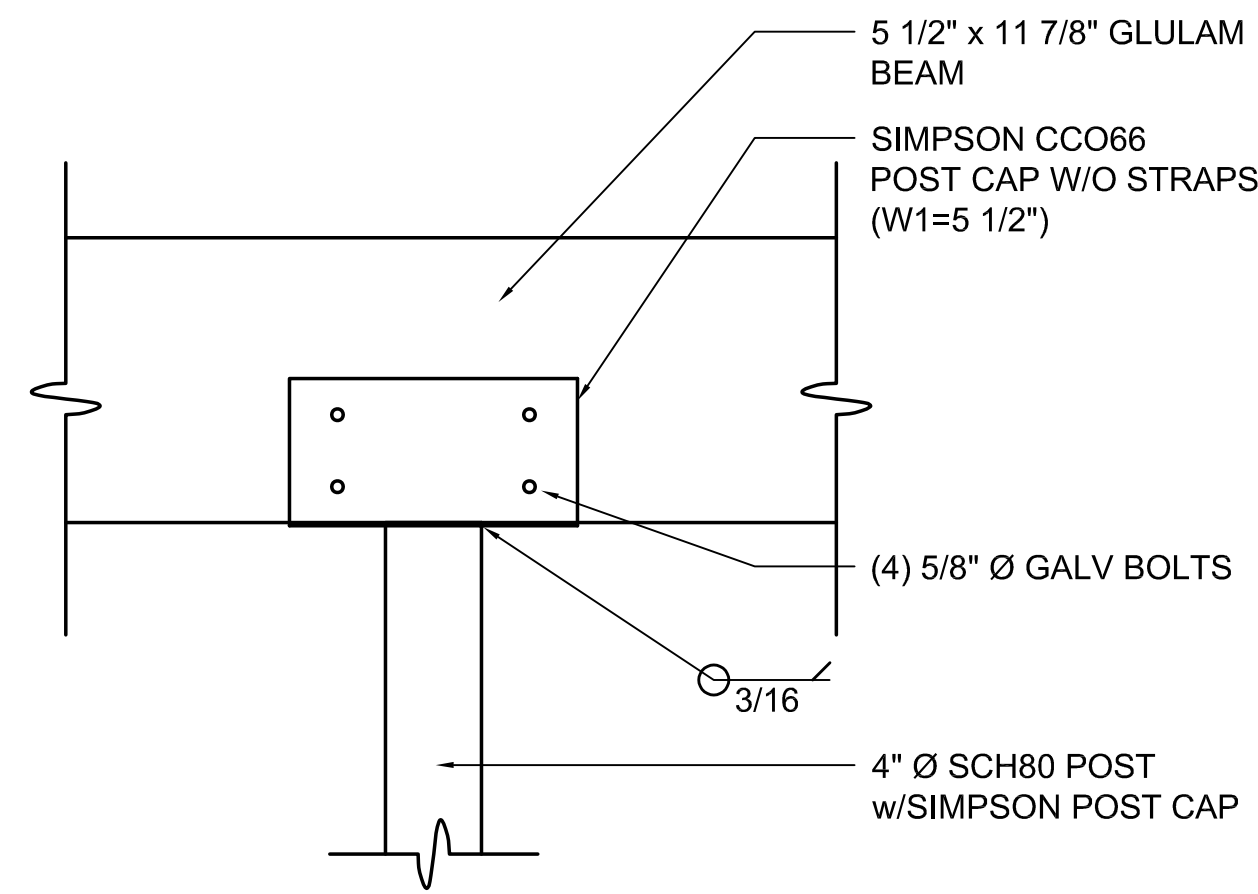
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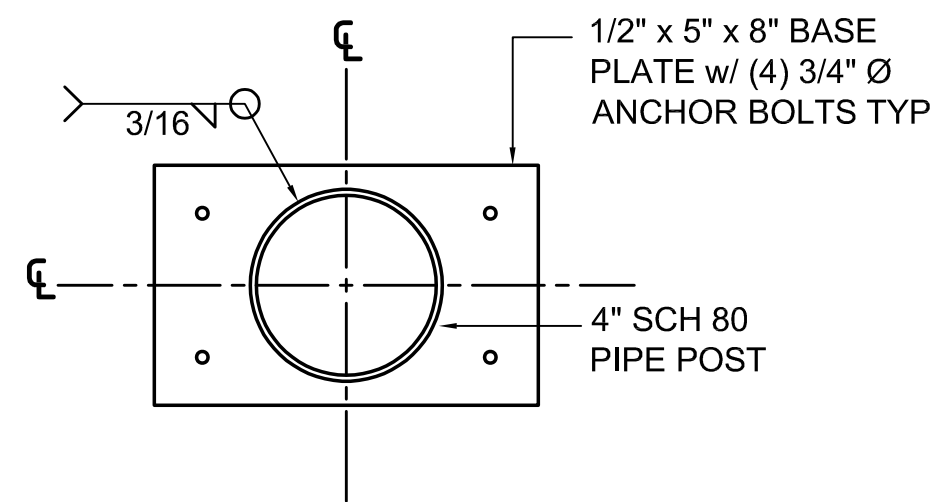
FIRST BASE AND THIRD BASE
DUGOUT PLANS & DETAILS

BUILDING NUMBER: **DG**
SHEET NUMBER: **C600**
BID

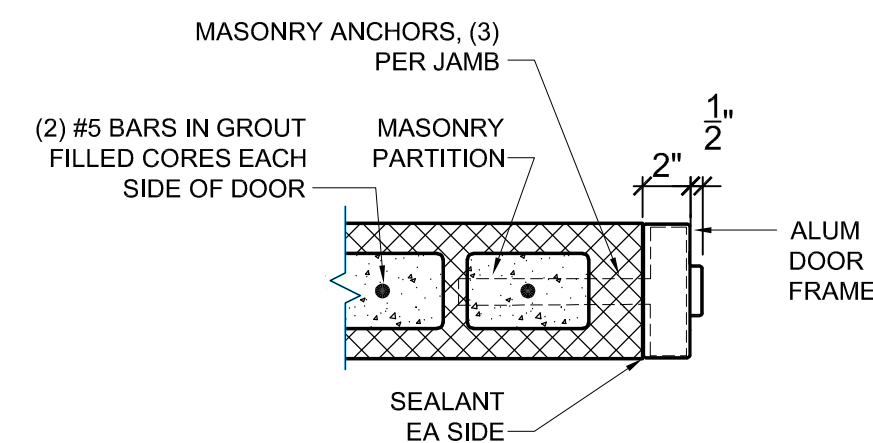
DRAWN BY: CMM/ALS
PROJECT NUMBER: 2023-105
CHECKED BY: MLC
DATE: 12/16/2024



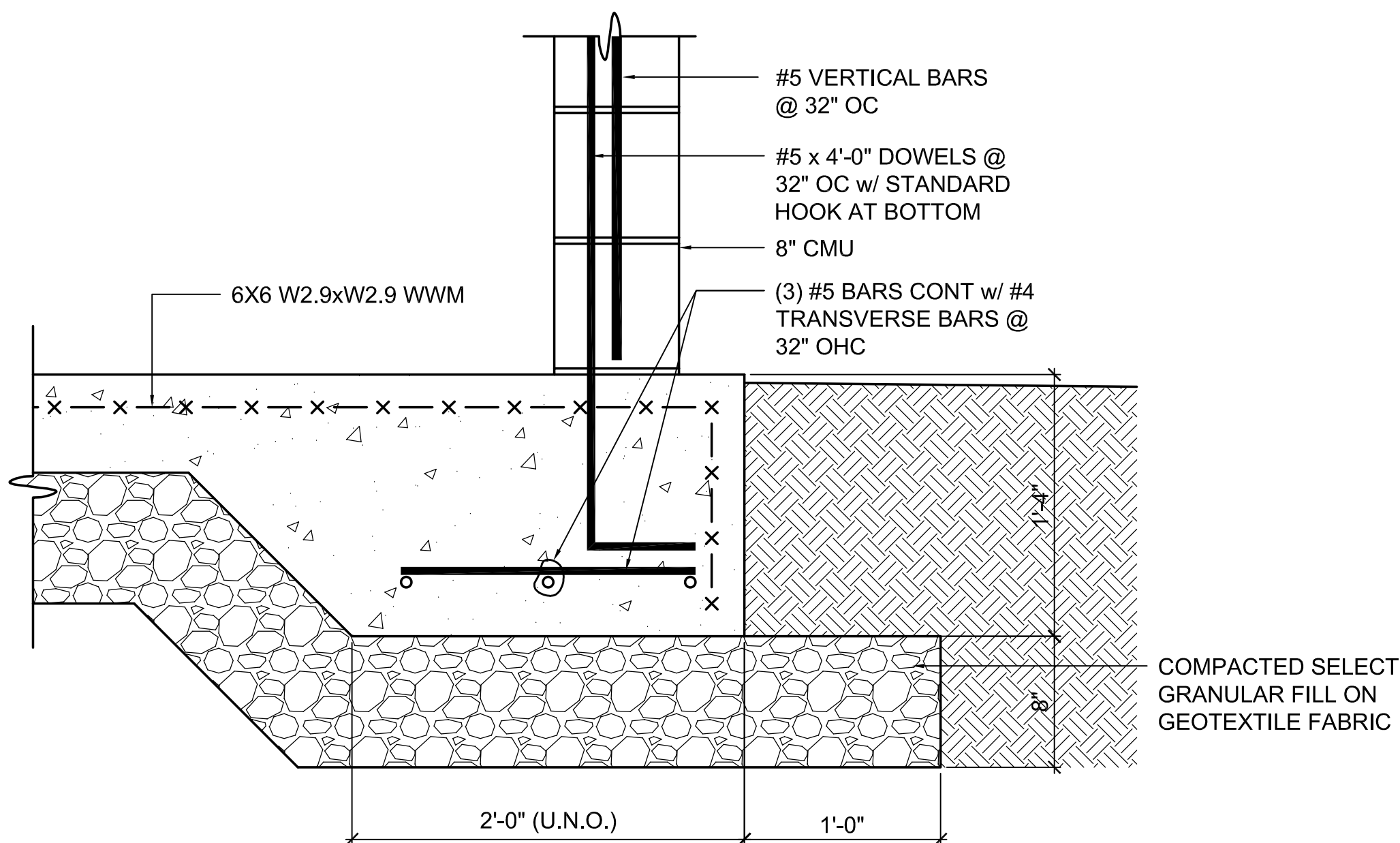
8 TYP POST CAP DETAIL
SCALE: 1-1/2" = 1'-0"



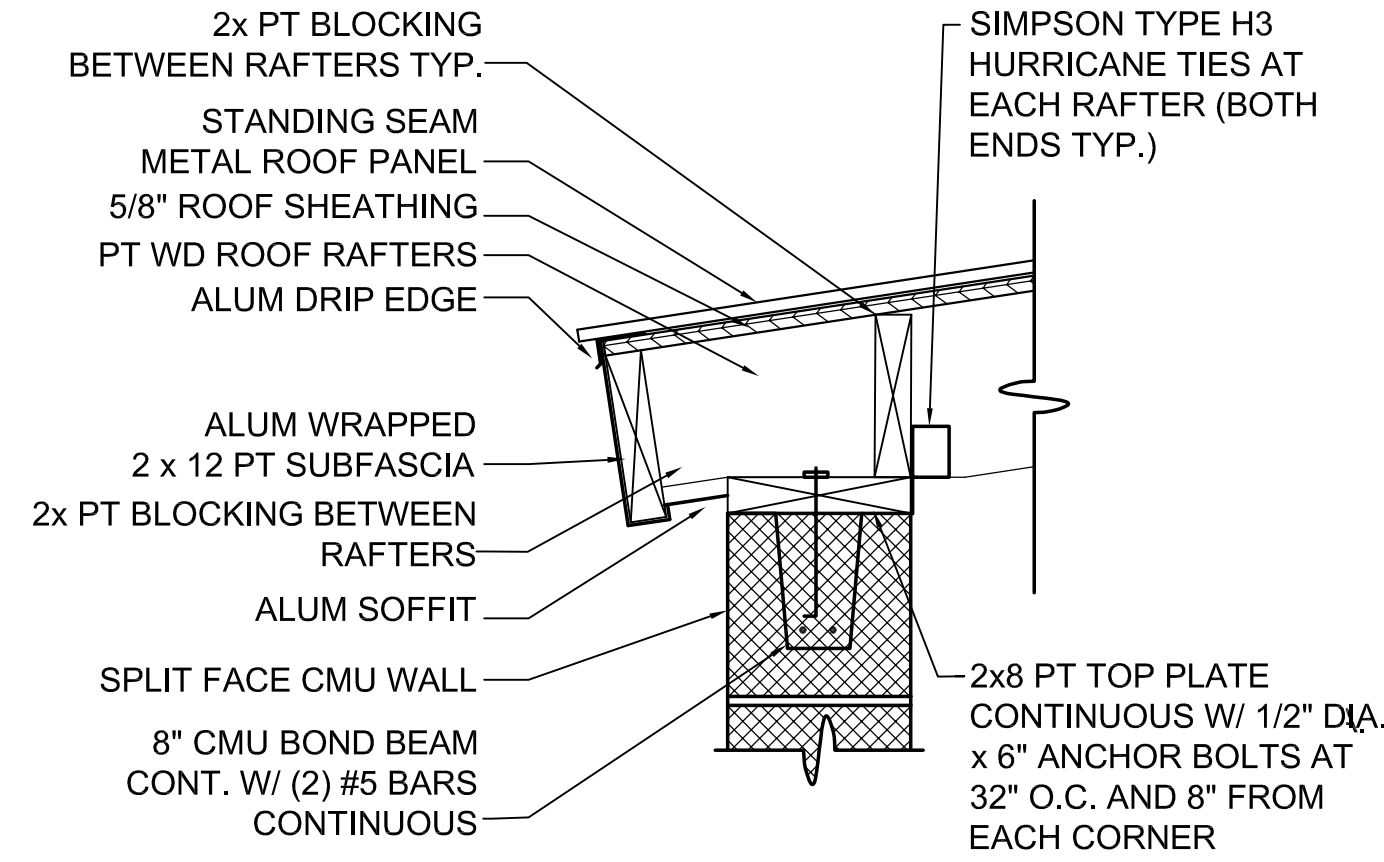
9 POST BASE DETAIL
SCALE: 3" = 1'-0"



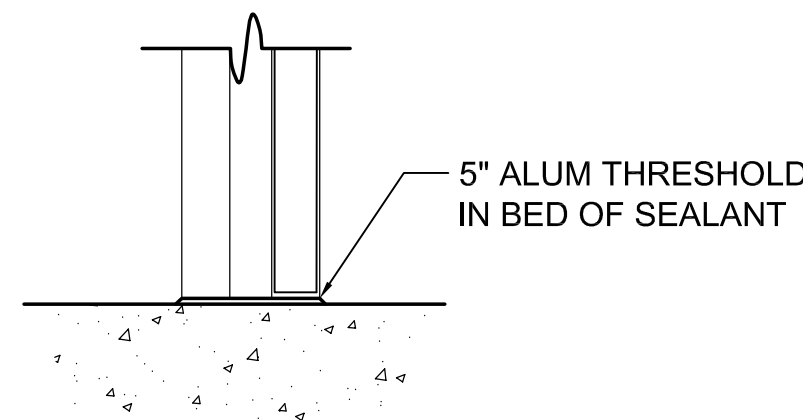
10 DETAIL - HM DOOR JAMB
SCALE: 1-1/2" = 1'-0"



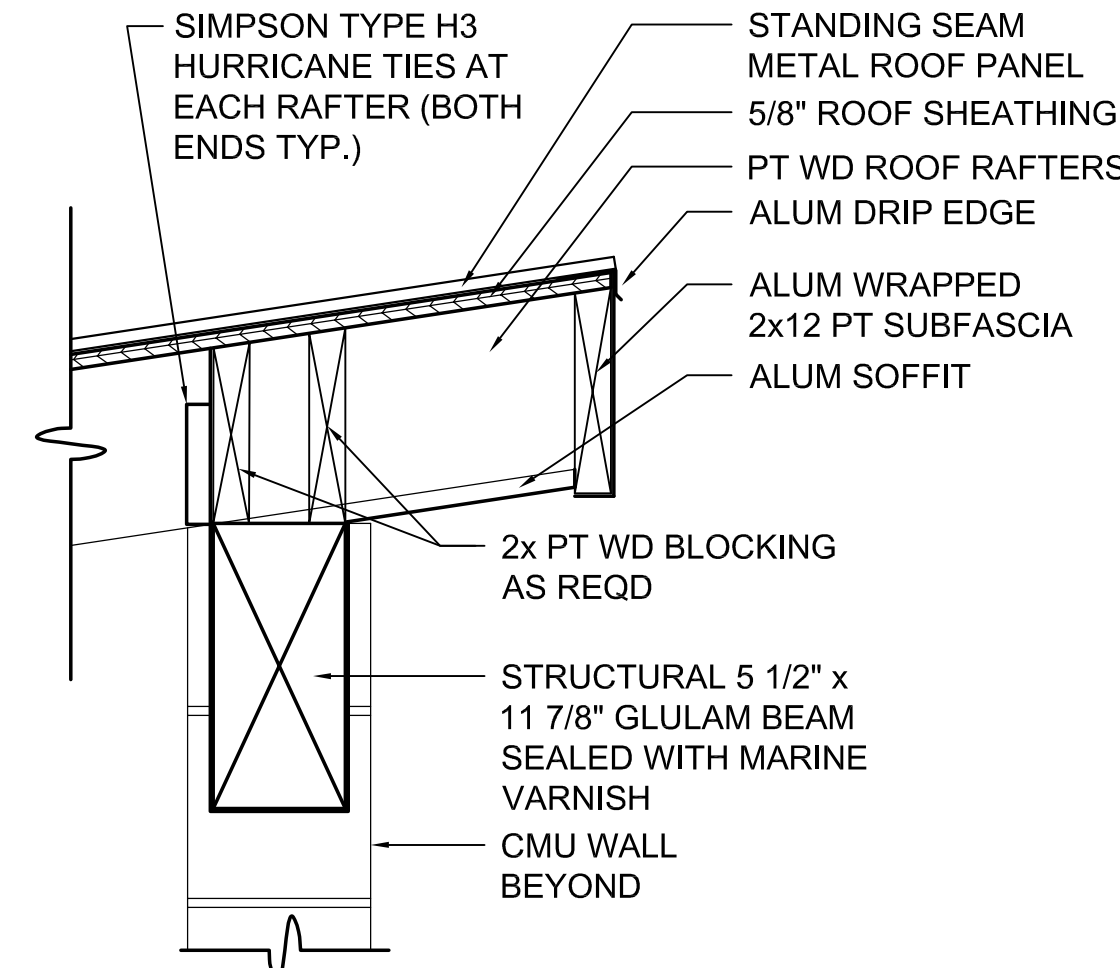
4 HAUNCH SLAB SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



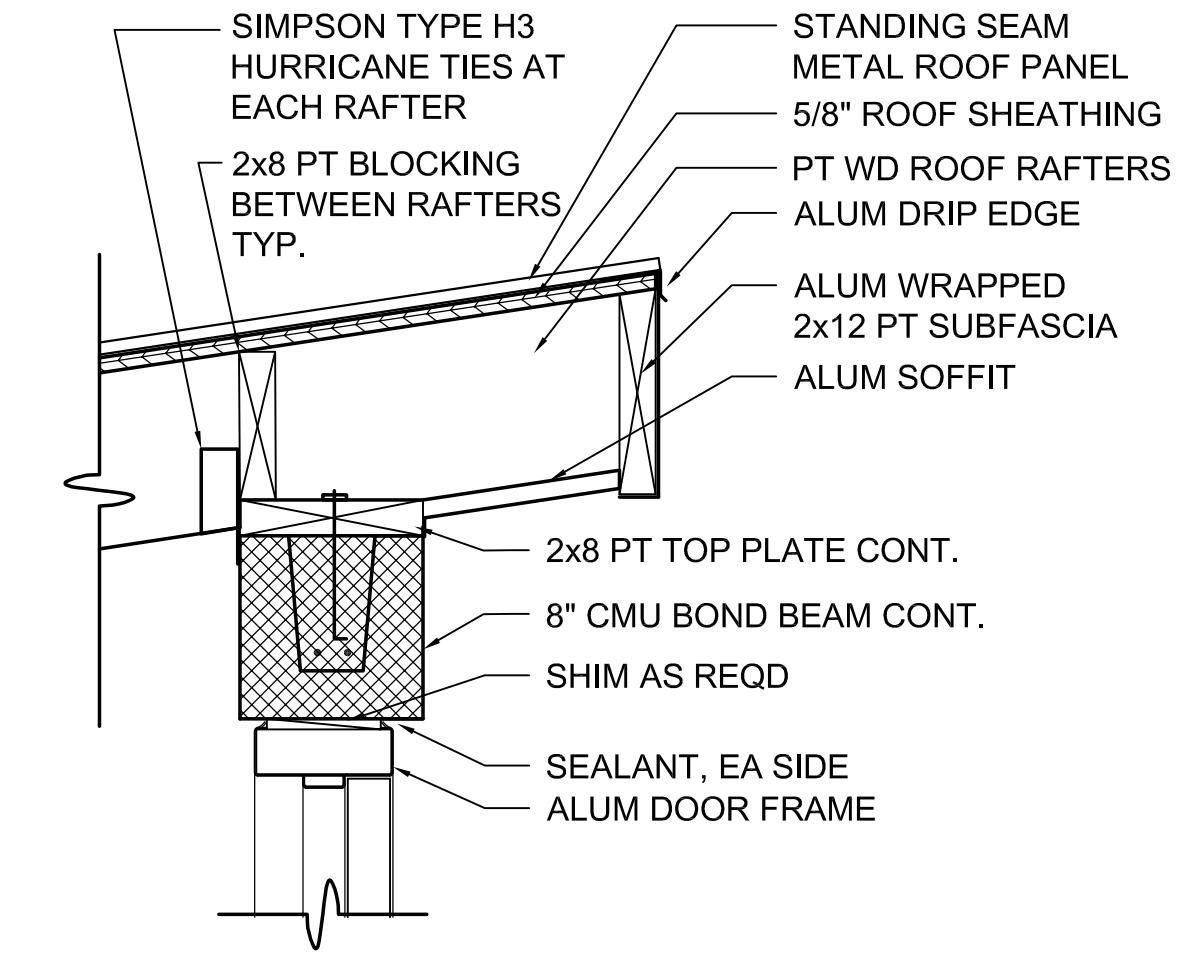
7 DETAIL - ROOF EDGE AT CMU WALL
SCALE: 1-1/2" = 1'-0"



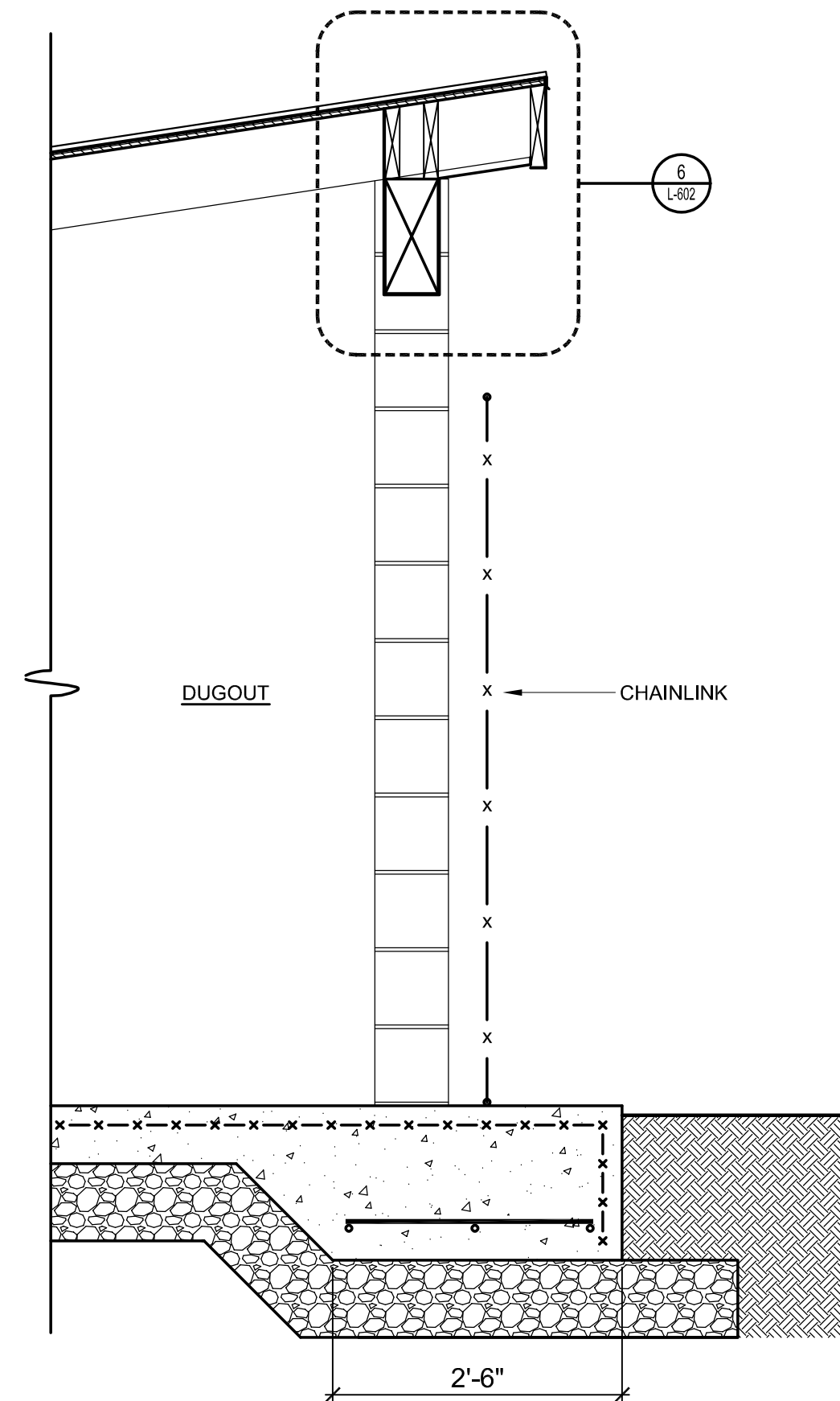
11 THRESHOLD DETAIL
SCALE: 1-1/2" = 1'-0"



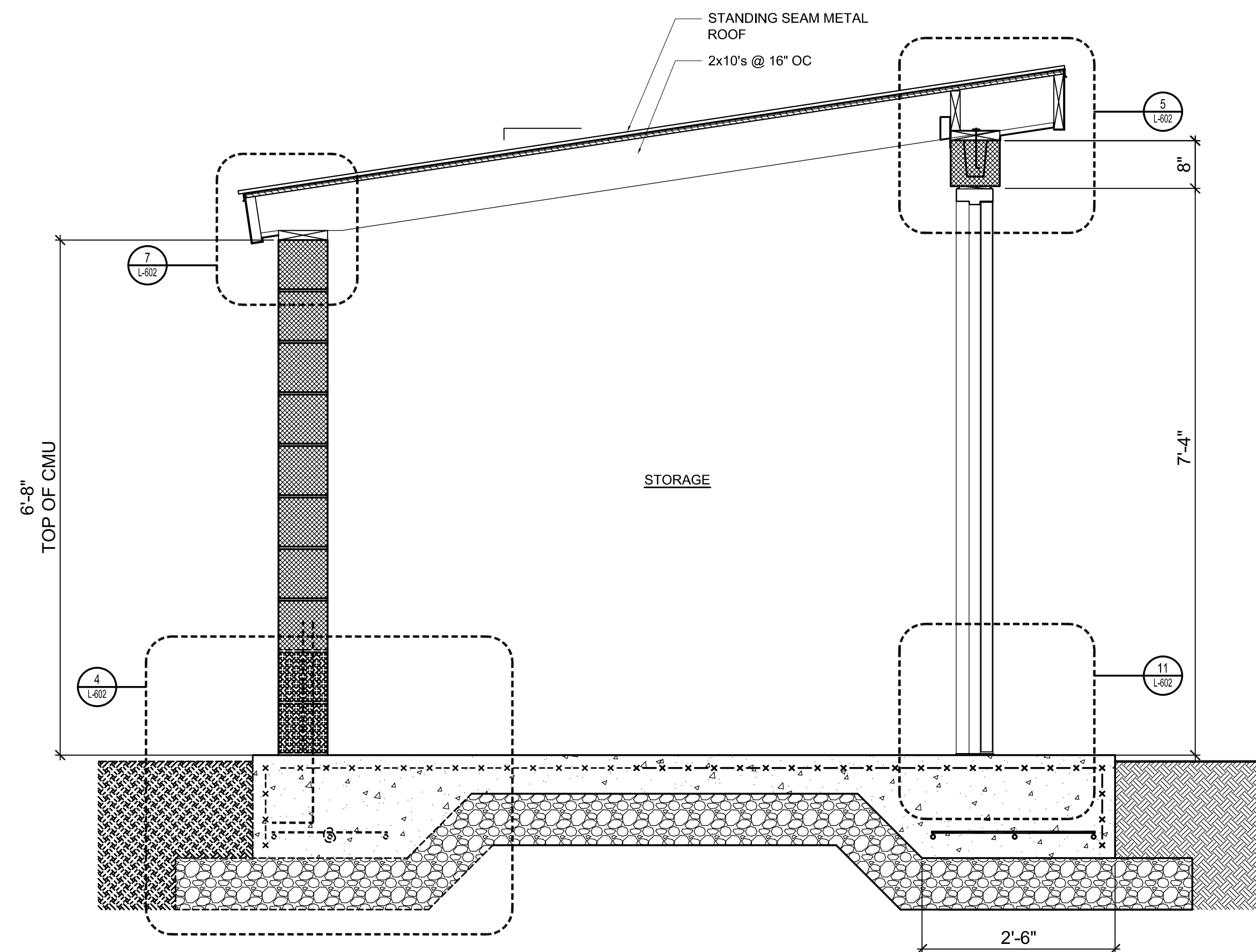
6 DETAIL - ROOF EDGE AT BEAM
SCALE: 1-1/2" = 1'-0"



5 DETAIL - ROOF EDGE AT DOOR
SCALE: 1-1/2" = 1'-0"



3 WALL SECTION
SCALE: 3/4" = 1'-0"



2 WALL SECTION
SCALE: 3/4" = 1'-0"

1 WALL SECTION
SCALE: 3/4" = 1'-0"

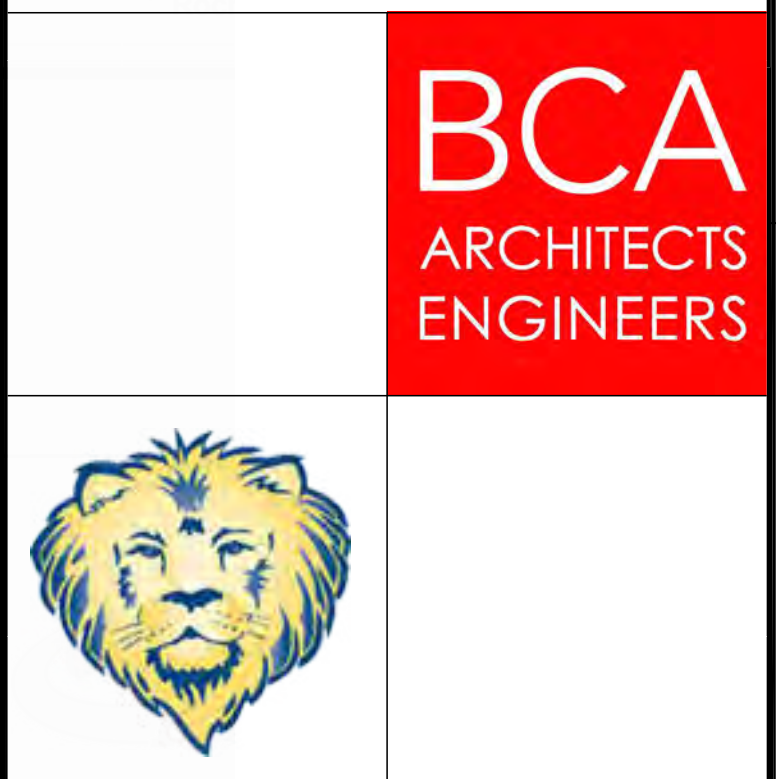
- STRUCTURAL DESIGN CRITERIA:**
- 1.0 BUILDING CODE:
 - 1.1 2020 BUILDING CODE OF NEW YORK STATE
 - 1.2 ASCE7-16
 - 1.3 OCCUPANCY CATEGORY: II
 - 1.4 DESIGN BASIS: ALLOWABLE STRESS DESIGN
 - 2.0 LIVE LOADS
 - 2. FLOOR LIVE LOADS: 125psf
 - 3.0 SNOW LOADS:
 - 3.1 GROUND SNOW LOAD: Pg: 60psf
 - 3.2 FLAT ROOF SNOW LOAD: Pf: 50.4psf
 - 3.3 SNOW EXPOSURE FACTOR: Ce: 1.00
 - 3.4 SNOW IMPORTANCE FACTORS: Is: 1.00
 - 3.5 THERMAL FACTOR: Ct: 1.20 (UNHEATED)
 - 4.0 WIND LOADS:
 - 4.1 BASIC WIND SPEED Vult=108mph
 - 4.2 WIND EXPOSURE B
 - 4.3 INTERNAL PRESSURE COEFF +/- 0.55 (PARTIALLY ENCLOSED)
 - 5.0 EARTHQUAKE DESIGN DATA:
 - 5.1 SEISMIC IMPORTANCE FACTOR: Ie: 1.00
 - 5.2 SITE CLASS D (Default)
 - 5.3 MAPPED SPECTRAL RESPONSE:
 - 5.3.1 SHORT TERM Ss: 0.177g
 - 5.3.2 (1) SEC S1: 0.060g
 - 5.4 DESIGN SPECTRAL RESPONSE:
 - 5.4.1 SHORT TERM SDs: 0.189g
 - 5.4.2 (1) SEC SD1: 0.096g
 - 5.5 RESPONSE MODIFICATION FACTOR: R=2 (ORDINARY REINFORCED MASONRY SHEAR WALLS)
 - 5.6 SEISMIC DESIGN CATEGORY: B
 - 6. ALLOWABLE SOIL BEARING PRESSURE: 2000psf

KEY PLAN:

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REV	DATE	DESCRIPTION

DRAWN BY CN/MLS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

FIRST BASE AND THIRD BASE
DUGOUT PLANS & DETAILS

BUILDING NUMBER DG	SHEET NUMBER C601 BID
------------------------------	------------------------------------

HAZARDOUS MATERIALS LEGEND	
	WORK AREA LIMITS
	ASBESTOS ABATEMENT CONTAINMENT
	ACCESS / WASTE REMOVAL ROUTE
	CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
	ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
	AAC - ASBESTOS ABATEMENT CONTRACTOR

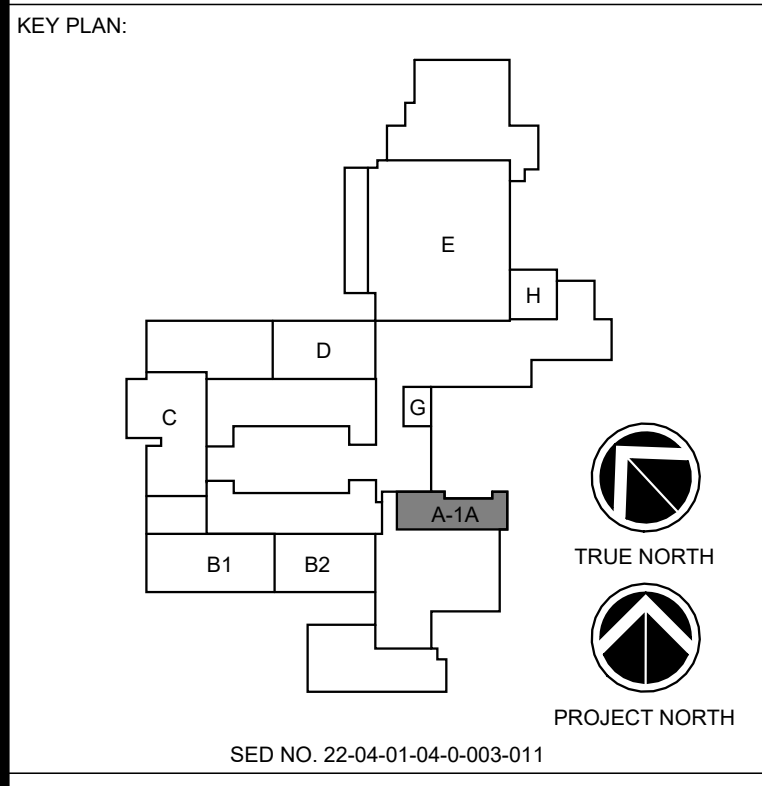
GENERAL ASBESTOS NOTES	
1.	THE INFORMATION PROVIDED WITH RESPECT TO HAZARD ASSESSMENT, QUANTITIES AND LOCATIONS OF ASBESTOS CONTAINING MATERIAL WERE DERIVED FROM TESTS CONDUCTED BY ATLANTIC TESTING LABORATORIES DATED JUNE 13TH, 2024 - REVISION 1. THE OWNER, ARCHITECT, THE ENGINEER & PROJECT MANAGER AS OWNER'S REPRESENTATIVE, DISCLAIM RESPONSIBILITY FOR ANY OPINIONS, CONCLUSIONS, INTERPRETATION, OR DEDUCTIONS THAT MAY BE EXPRESSED OR IMPLIED OF THE INFORMATION MADE AVAILABLE. IT IS EXPRESSLY UNDERSTOOD THAT THE MAKING OF DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FOR ALL THE ACCESSIBLE FACTUAL INFORMATION IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
2.	THE WORK AREAS & ADJACENT SPACES SHOWN IN THESE ASBESTOS DRAWINGS INCLUDED THEREIN FOR INFORMATION PURPOSES ONLY. THE ASBESTOS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING MEASUREMENTS PRIOR TO BIDDING.
3.	LOCATION OF DECONTAMINATION ENCLOSURES FOR SPECIFIED WORK AREA SHALL BE COORDINATED WITH PROJECT MONITOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
4.	THE BUILDING WILL REMAIN OCCUPIED IN PART (BY OTHER CONTRACTORS AND/OR PERSONNEL) DURING THE ASBESTOS ABATEMENT & THEREFORE WORK MUST BE COORDINATED WITH ALL OTHER TRADES AND OWNER'S OPERATION.
5.	ALL WORK SHALL BE SCHEDULED IN ACCORDANCE WITH THE MILESTONE SCHEDULE, PROJECT MONITOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
6.	THE AAC SHALL BE RESPONSIBLE FOR COMPLETE CLEANING OF ALL REGULATED ABATEMENT WORK AREAS INCLUDING BUT NOT LIMITED TO ASBESTOS WORK AREAS AND ALL ASSOCIATED WASTE OUT ROUTES.
7.	THE AAC IS RESPONSIBLE FOR THE COORDINATION OF THE SHUT DOWN OF EXISTING MECHANICAL EQUIPMENT PRIOR TO THE REMOVAL OF EQUIPMENT WITH MECHANICAL CONTRACTOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
8.	THE AAC IS RESPONSIBLE FOR THE PROPER COVERING AND SEALING OF EXTERIOR OPENINGS TO PREVENT CONTAMINATES FROM ENTERING THE BUILDING AS A RESULT OF THE ABATEMENT WORK REQUIRED ON THE ROOF AREA. IF ACCESS TO THE INTERIOR OF THE BUILDING IS REQUIRED FOR THE COMPLETION OF THE WORK, THE AAC IS TO COORDINATE WITH THE MECHANICAL CONTRACTOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE FOR ACCESS TO INTERIOR AREAS OF THE BUILDING.
9.	THE AAC IS RESPONSIBLE FOR THE COORDINATION OF THE TEMPORARY ROOF COVERINGS TO PREVENT WATER INFILTRATION INTO THE SPACES BELOW DURING ABATEMENT PROCEDURES.

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

KEY NOTES	
H2	THE AAC IS TO REMOVE AND DISPOSE OF EXISTING TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE FROM EXISTING WATER SYSTEM PIPING AND MECHANICAL SYSTEM PIPING. TSI IS COMINGLED WITH ACM TAR ADHESIVE. REFERENCE PLUMBING SERIES DRAWINGS FOR PIPING REMOVAL COORDINATION.
H3	THE AAC IS TO COMPLETE CLEAN-UP OF EXISTING HISTORICAL INCIDENTAL DISTURBANCE OF TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE LOCATED IN THE CRAWLSPACE. REMOVE ALL VISIBLE PRESUMED ASBESTOS CONTAINING DEBRIS AND A MINIMUM OF 3" OF SOIL. THE AAC IS RESPONSIBLE FOR THE COMPLETION AND SUBMISSION OF A SITE SPECIFIC VARIANCE TO THE NYS DOL ASBESTOS CONTROL BUREAU FOR THIS WORK. PRIOR TO THE SUBMISSION OF THE SITE SPECIFIC VARIANCE, THE AAC IS TO REVIEW VARIANCE WITH THE ASBESTOS PROJECT MONITOR AND THE ASBESTOS DESIGNER OF RECORD.

LEAD HAZARD CONTROL KEYNOTES	
L1	REMOVE AND DISPOSE OF EXISTING LEAD CONTAINING PERIMETER WINDOW CAULKING MATERIALS. (GRAY IN COLOR)
L2	REMOVE AND DISPOSE OF EXISTING LEAD CONTAINING MIRROR CAULKING MATERIALS. (WHITE IN COLOR)

PCB CAULKING/SEALANT KEYNOTES	
P1	REMOVE AND DISPOSE OF EXISTING LIGHT GRAY PCB LADEN WINDOW SILL CAULKING. NOTE: CAULKING IS COMINGLED WITH LEAD. NOTE: DURING EXTERIOR CAULKING REMOVAL PROVIDE INTERIOR CRITICAL BARRIER DURING CAULKING REMOVAL ACTIVITIES AND POLY SHEETING ON SOIL BELOW CAULKING REMOVAL AREAS.



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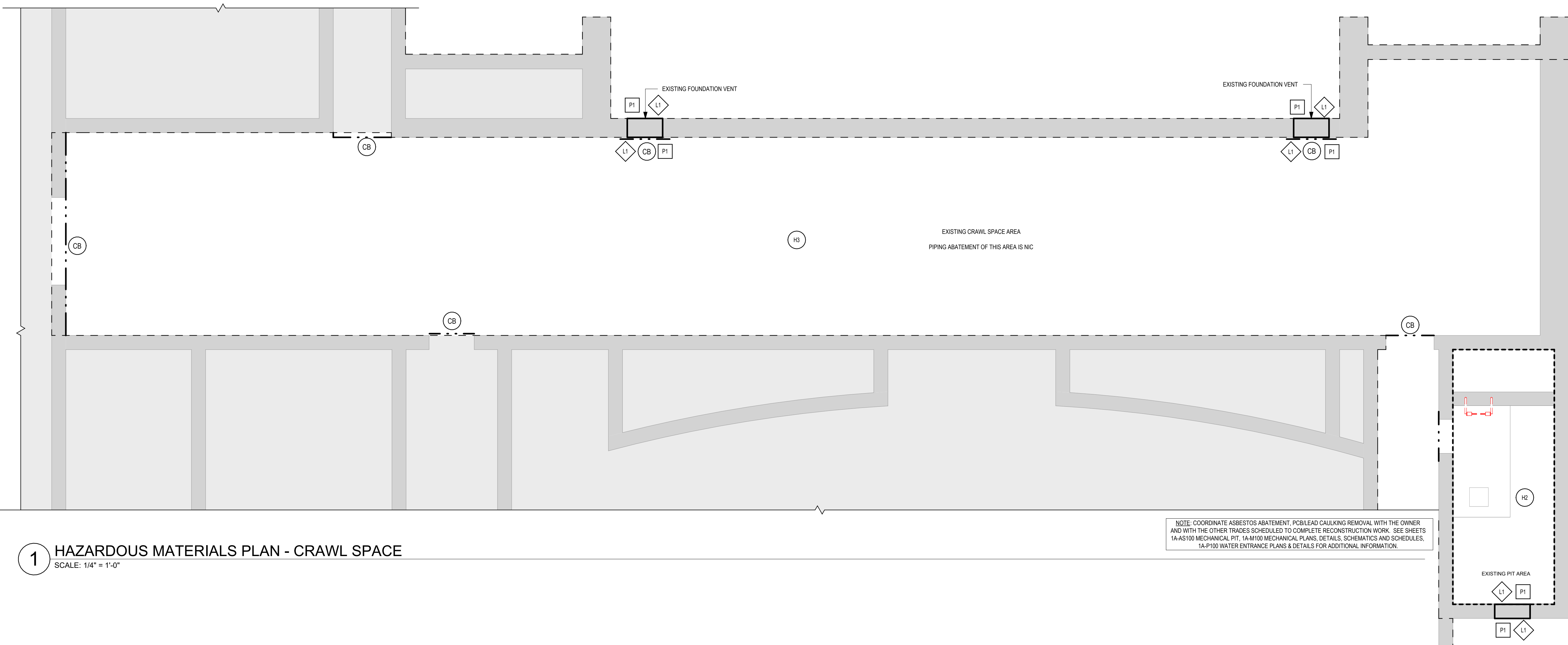
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REV	DATE	DESCRIPTION

DRAWN BY CNM/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

HAZARDOUS MATERIALS PLAN - CRAWL SPACE

BUILDING NUMBER HS	SHEET NUMBER 1A-HM100
BID	



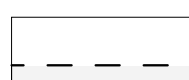


NOTE: COORDINATE ASBESTOS ABATEMENT, PCB/LEAD CAULKING REMOVAL WITH THE OWNER AND WITH THE OTHER TRADES SCHEDULED TO COMPLETE RECONSTRUCTION WORK. SEE SHEETS 1A-AS100 MECHANICAL PIT, 1A-M100 MECHANICAL PLANS, DETAILS, SCHEMATICS AND SCHEDULES, 1A-P100 WATER ENTRANCE PLANS & DETAILS FOR ADDITIONAL INFORMATION.




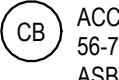
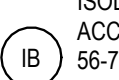
1 HAZARDOUS MATERIALS PLAN - CRAWL SPACE
 SCALE: 1/4" = 1'-0"

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GENERAL PROJECT LEGEND

-  INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
-  INDICATES AREA OF WORK FOR THIS PROJECT
-  INDICATES AREA OF WORK FOR THIS PROJECT

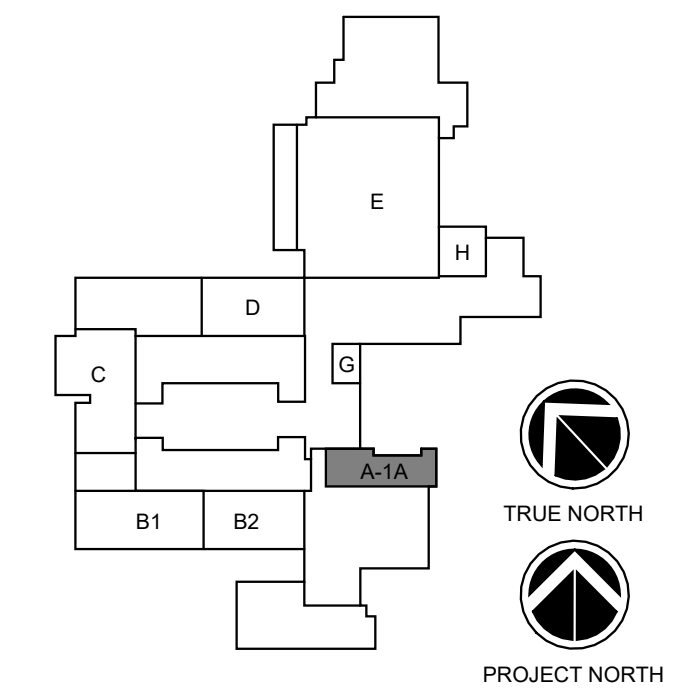
HAZARDOUS MATERIALS LEGEND

-  WORK AREA LIMITS
-  ASBESTOS ABATEMENT CONTAINMENT
-  ACCESS / WASTE REMOVAL ROUTE
-  CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
-  ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
- AAC - ASBESTOS ABATEMENT CONTRACTOR

KEY NOTES

- H1 THE AAC IS TO PROPERLY REMOVE AND DISPOSE OF EXISTING (PRESUMED) COMINGLED LEAD & TRACE ASBESTOS CAULKING AROUND INTERIOR AND EXTERIOR OF EXISTING MECHANICAL LOUVER. THE AAC IS TO REMOVE EXISTING LOUVER AS PART OF CAULKING REMOVAL. PROPERLY CLEAN LOUVER OPENING FOR INSTALLATION OF REPLACEMENT LOUVER BY OTHERS.
- H2 THE AAC IS TO REMOVE AND DISPOSE OF EXISTING TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE FROM EXISTING WATER SYSTEM PIPING AND MECHANICAL SYSTEM PIPING. TSI IS COMINGLED WITH ACM TAR ADHESIVE. REFERENCE PLUMBING SERIES DRAWINGS FOR PIPING REMOVAL COORDINATION.

KEY PLAN:



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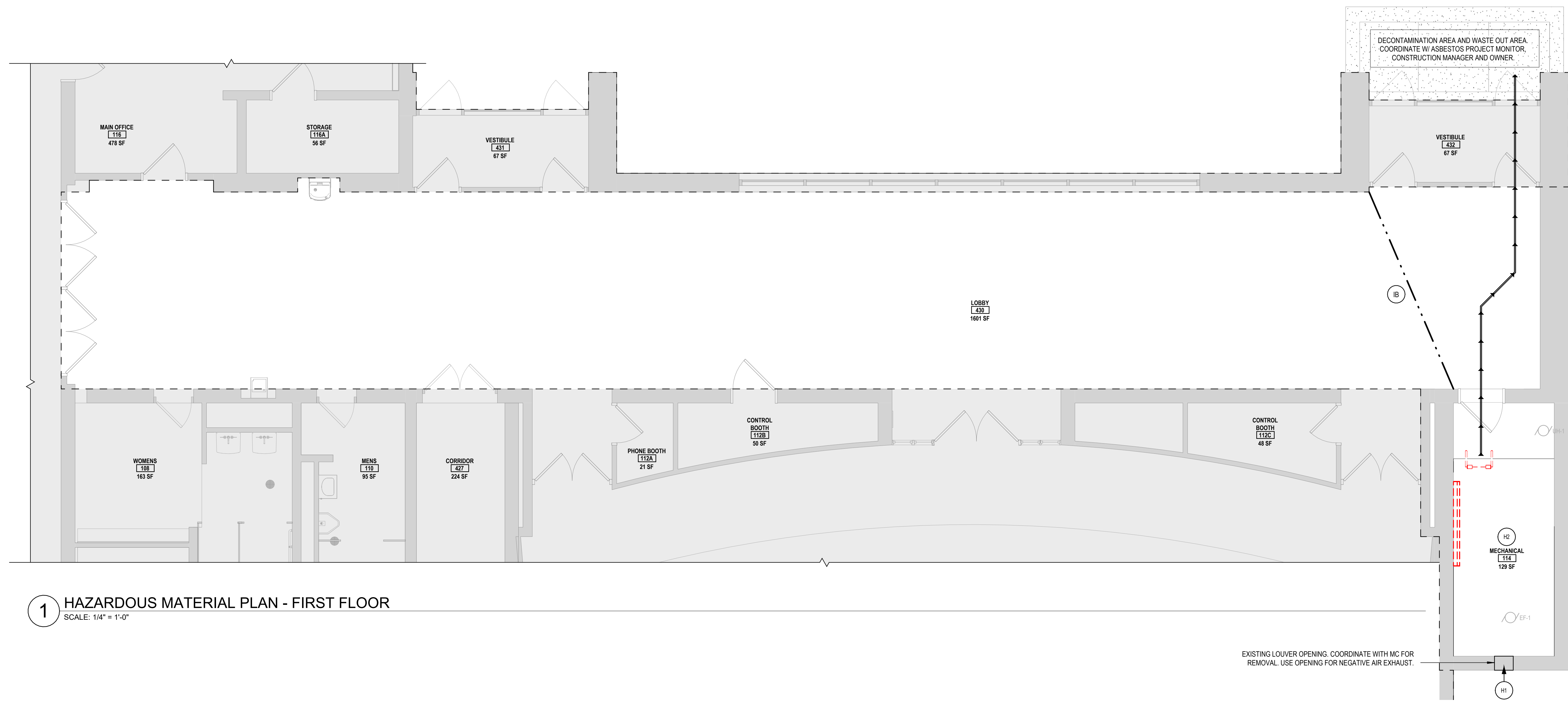
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REV	DATE	DESCRIPTION

DRAWN BY CN/MLS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

HAZARDOUS MATERIALS PLAN - FIRST FLOOR

BUILDING NUMBER HS	SHEET NUMBER 1A-HM101
BID	



1 HAZARDOUS MATERIAL PLAN - FIRST FLOOR
 SCALE: 1/4" = 1'-0"

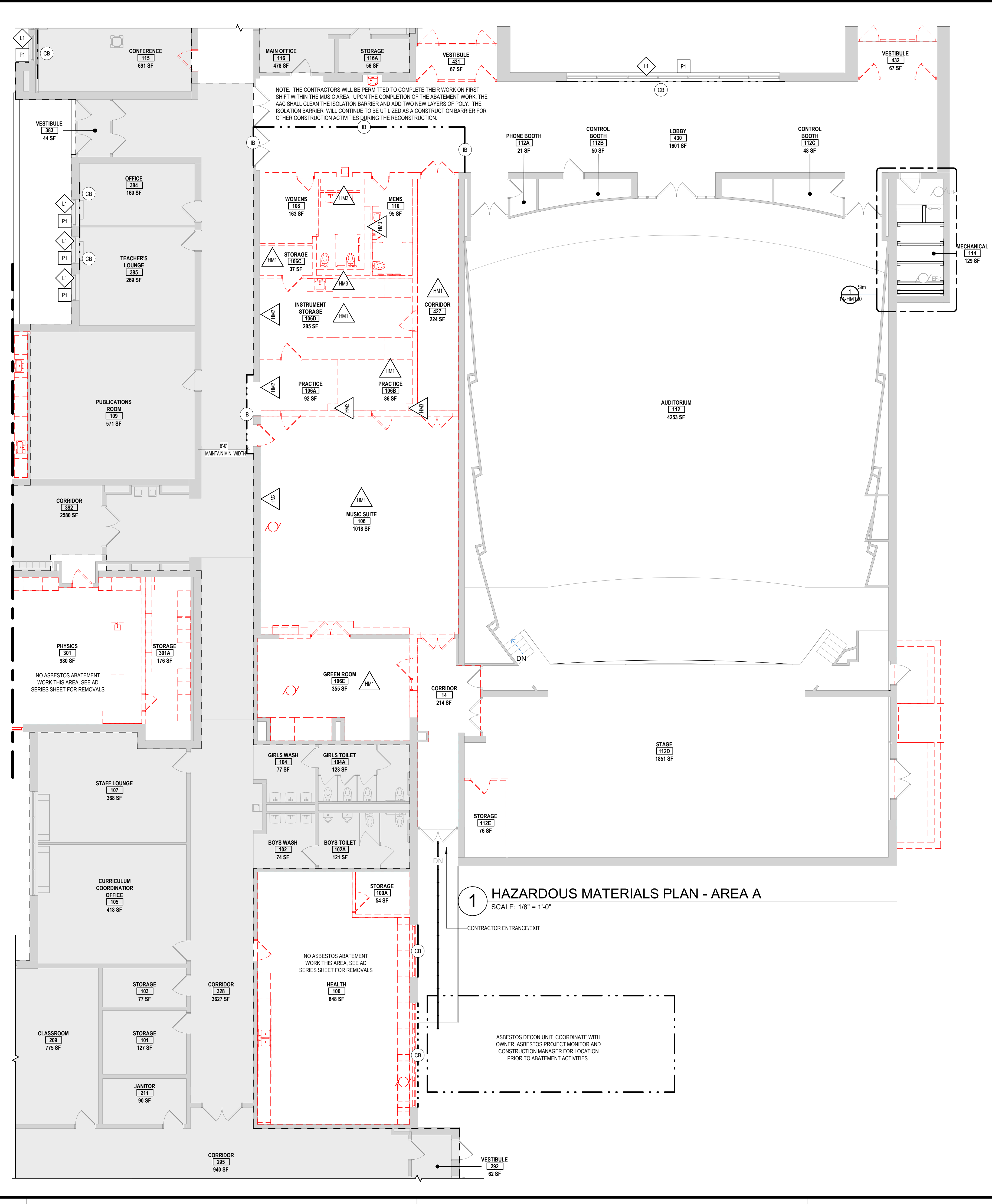
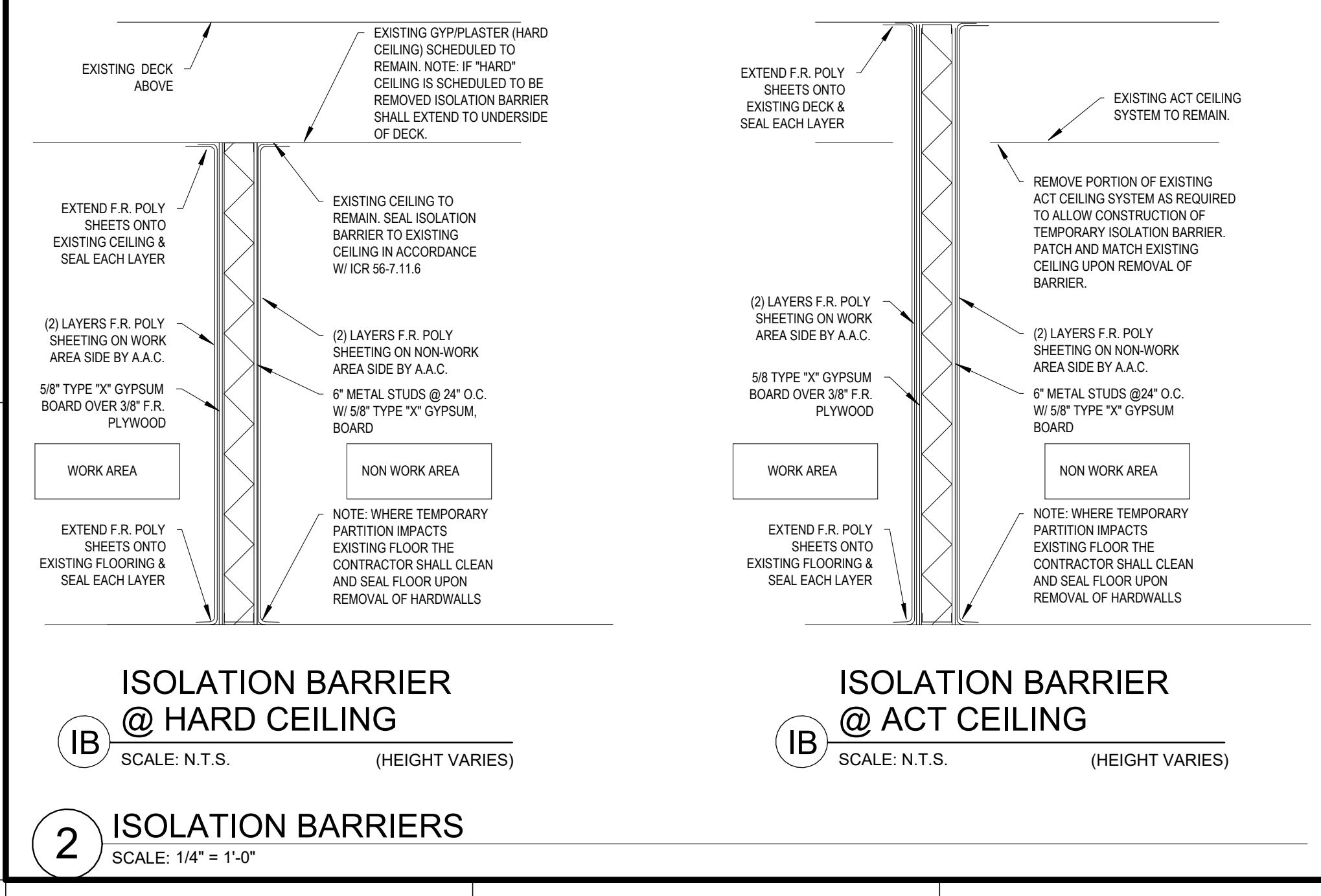
EXISTING LOUVER OPENING. COORDINATE WITH MC FOR REMOVAL. USE OPENING FOR NEGATIVE AIR EXHAUST.

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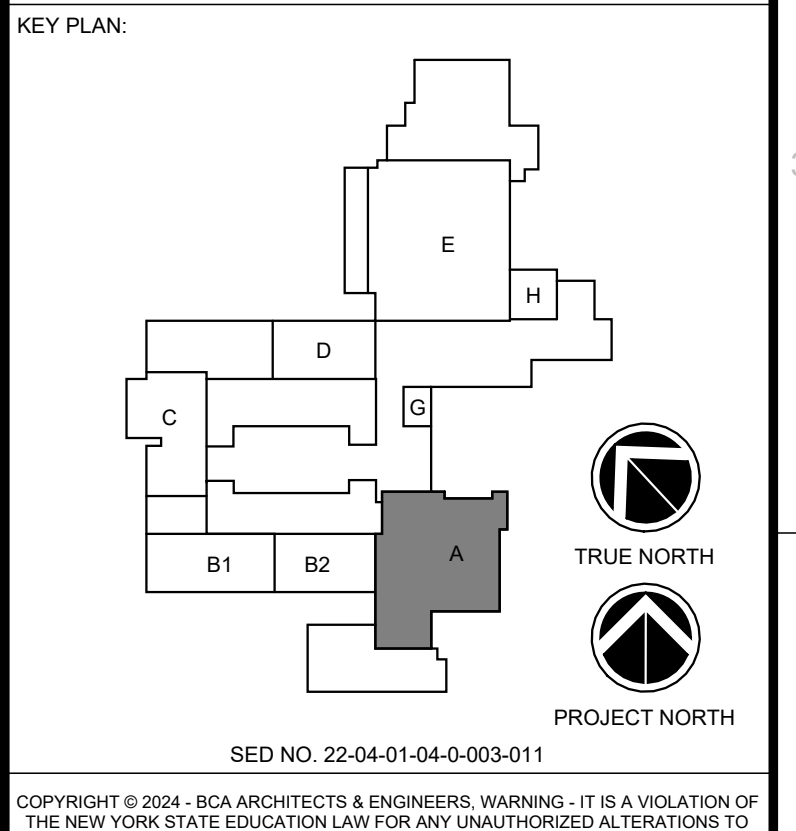
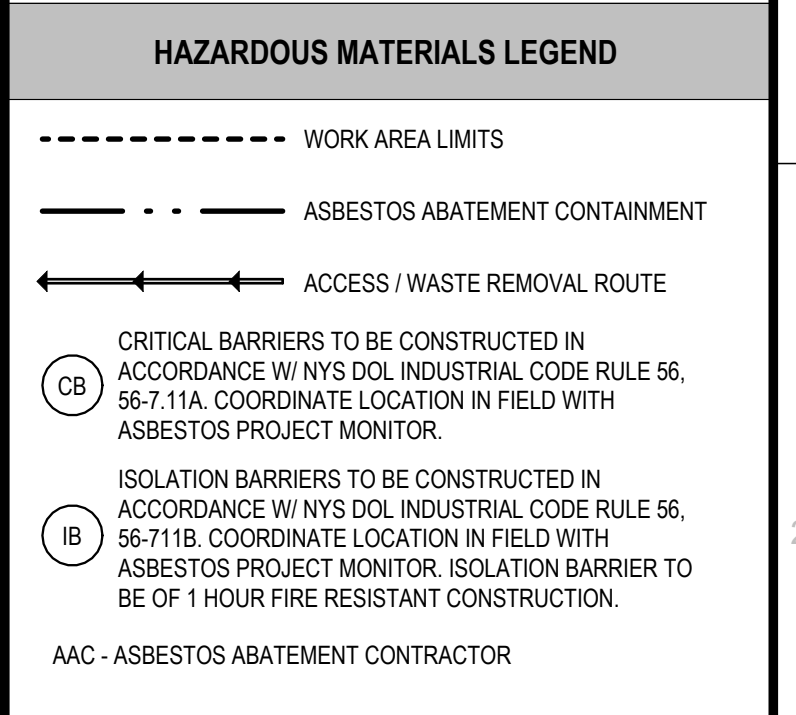
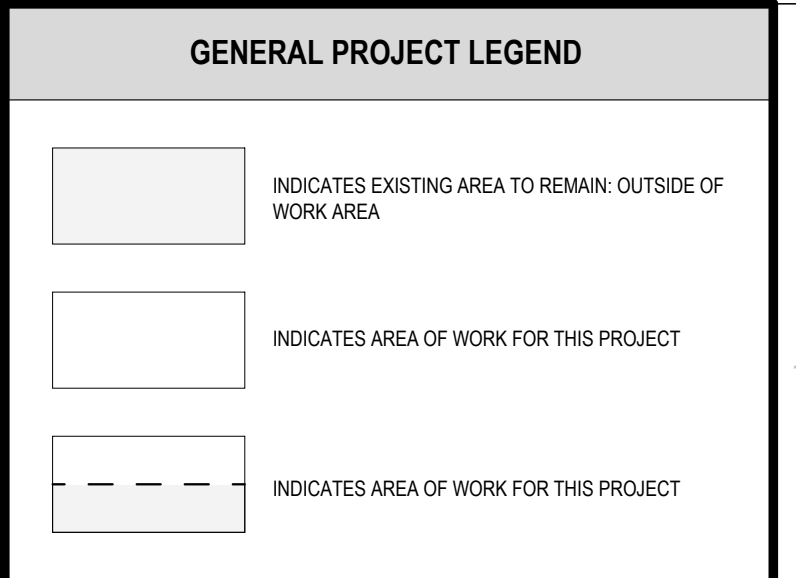
- ### GENERAL ASBESTOS NOTES
- THE INFORMATION PROVIDED WITH RESPECT TO HAZARD ASSESSMENT, QUANTITIES AND LOCATIONS OF ASBESTOS CONTAINING MATERIAL WERE DERIVED FROM TESTS CONDUCTED BY ATLANTIC TESTING LABORATORIES DATED JUNE 13TH, 2024 - REVISION 1. THE OWNER, ARCHITECT, THE ENGINEER & PROJECT MANAGER AS OWNER'S REPRESENTATIVE, SHALL ASSUME RESPONSIBILITY FOR ANY OPINIONS, CONCLUSIONS, INTERPRETATION, OR DEDUCTIONS THAT MAY BE EXPRESSED OR IMPLIED OF THE INFORMATION MADE AVAILABLE. IT IS EXPRESSLY UNDERSTOOD THAT THE MAKING OF DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FOR ALL THE ACCESSIBLE FACTUAL INFORMATION IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
 - THE WORK AREAS & ADJACENT SPACES SHOWN IN THESE ASBESTOS DRAWINGS INCLUDED THEREIN FOR INFORMATION PURPOSES ONLY. THE ASBESTOS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING MEASUREMENTS PRIOR TO BIDDING.
 - LOCATION OF DECONTAMINATION ENCLOSURES FOR SPECIFIED WORK AREA SHALL BE COORDINATED WITH PROJECT MONITOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
 - THE BUILDING WILL REMAIN OCCUPIED IN PART (BY OTHER CONTRACTORS AND/OR PERSONNEL) DURING THE ASBESTOS ABATEMENT & THEREFORE WORK MUST BE COORDINATED WITH ALL OTHER TRADES AND OWNER'S OPERATION.
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 - THE AAC IS RESPONSIBLE FOR THE COORDINATION OF THE SHUT DOWN OF EXISTING MECHANICAL EQUIPMENT PRIOR TO THE REMOVAL OF EQUIPMENT WITH MECHANICAL CONTRACTOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
 - THE AAC IS RESPONSIBLE FOR THE PROPER COVERING AND SEALING OF EXTERIOR OPENINGS TO PREVENT CONTAMINANTS FROM ENTERING THE BUILDING AS A RESULT OF THE ABATEMENT WORK REQUIRED ON THE ROOF AREA. IF ACCESS TO THE INTERIOR OF THE BUILDING IS REQUIRED FOR THE COMPLETION OF THE WORK, THE AAC IS TO COORDINATE WITH THE MECHANICAL CONTRACTOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE FOR ACCESS TO INTERIOR AREAS OF THE BUILDING.
 - THE AAC IS RESPONSIBLE FOR THE COORDINATION OF THE TEMPORARY ROOF COVERINGS TO PREVENT WATER INFILTRATION INTO THE SPACES BELOW DURING ABATEMENT PROCEDURES.

- ### LEAD HAZARD CONTROL KEYNOTES
- L1 REMOVE AND DISPOSE OF EXISTING LEAD CONTAINING PERIMETER WINDOW CAULKING MATERIALS. (GRAY IN COLOR)
 - L2 REMOVE AND DISPOSE OF EXISTING LEAD CONTAINING MIRROR CAULKING MATERIALS. (WHITE IN COLOR)
- ### PCB CAULKING/SEALANT KEYNOTES
- P1 REMOVE AND DISPOSE OF EXISTING LIGHT GRAY PCB LADEN WINDOW SILL CAULKING. NOTE: CAULKING IS COMINGLED WITH LEAD. NOTE DURING EXTERIOR CAULKING REMOVAL PROVIDE INTERIOR CRITICAL BARRIER DURING CAULKING REMOVAL ACTIVITIES AND POLY SHEETING ON SOIL BELOW CAULKING REMOVAL AREAS.

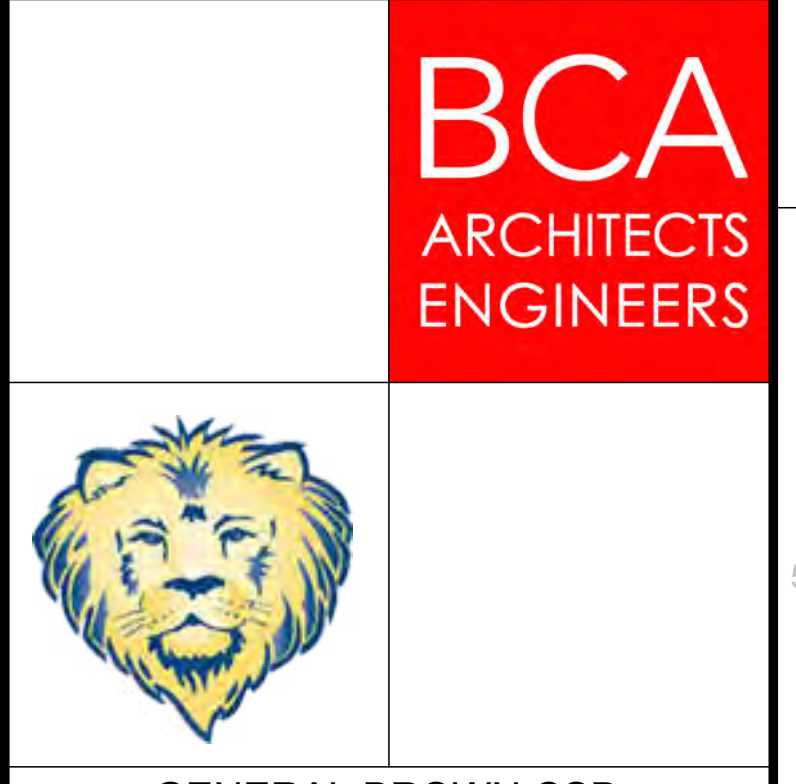
- ### ASBESTOS KEYNOTES
- HM1 REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
 - HM2 REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY.)
 - HM3 REMOVE EXISTING CHASE WALL TO EXPOSE CONCEALED PIPING INSULATION. REMOVE AND DISPOSE OF ASBESTOS CONTAINING TSI AND RELATED ADHESIVE.
 - HM4 REMOVE AND DISPOSE OF CHALKBOARD AND RELATED ASBESTOS CONTAINING CHALKBOARD ADHESIVE.
 - HM5 REMOVE AND DISPOSE COUNTERTOP WITH ASSOCIATED ASBESTOS CONTAINING GROUT. (BLACK)
 - HM6 REMOVE AND DISPOSE OF BLACK BUTYL AT VISION LITE.
 - HM7 THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING PIPING INSULATION. THE AAC IS TO ABATE EXISTING TSI PIPING, FITTINGS ON EXISTING HEATING SYSTEM PIPING AND ROOF DRAIN PIPING ABOVE THE EXISTING PLASTER CEILING(S).
 - HM8 THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING HVAC DUCTWORK INSULATION. THE AAC IS TO ABATE EXISTING TSI HVAC DUCT WORK AND GASKETS ABOVE THE EXISTING PLASTER CEILING(S).
 - HM9 REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING COVE BASE, FLOOR EDGING AND RELATED MASTIC.
 - HM10 REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING BLACK TAR ASSOCIATED WITH WHITE PIPE INSULATION JACKET.
 - HM11 REMOVE AND DISPOSE OF EXISTING ASBESTOS DEBRIS (HISTORICAL INCIDENTAL DISTURBANCE OF TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE LOCATED IN THE DRAW SPACE. REMOVE ALL VISIBLE PRESUMED ASBESTOS CONTAINING DEBRIS AND A MINIMUM OF 3 INCHES OF SOIL. THE AAC IS RESPONSIBLE FOR THE COMPLETION AND SUBMISSION OF A SITE SPECIFIC VARIANCE TO THE NYS DOH ASBESTOS CONTROL BUREAU FOR THIS WORK. PRIOR TO THE SUBMISSION OF THE SITE SPECIFIC VARIANCE, THE AAC IS TO SUBMIT AND REVIEW THE PROPOSED VARIANCE WITH THE ASBESTOS PROJECT MONITOR AND THE ASBESTOS DESIGNER OF RECORD.



1 HAZARDOUS MATERIALS PLAN - AREA A
SCALE: 1/8" = 1'-0"



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CHECKED BY: MLC DATE: 12/16/2024

HAZARDOUS MATERIALS PLAN - AREA A

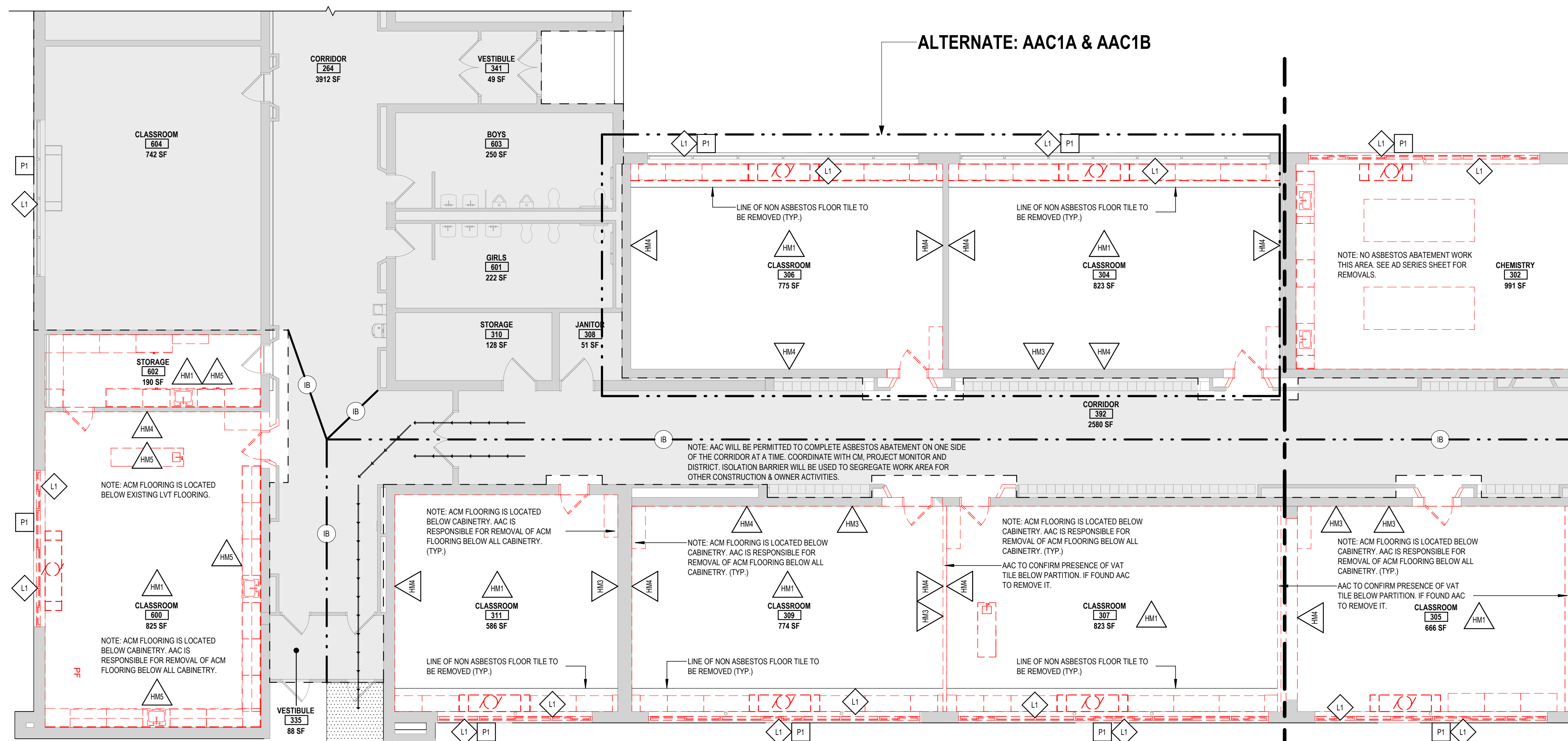
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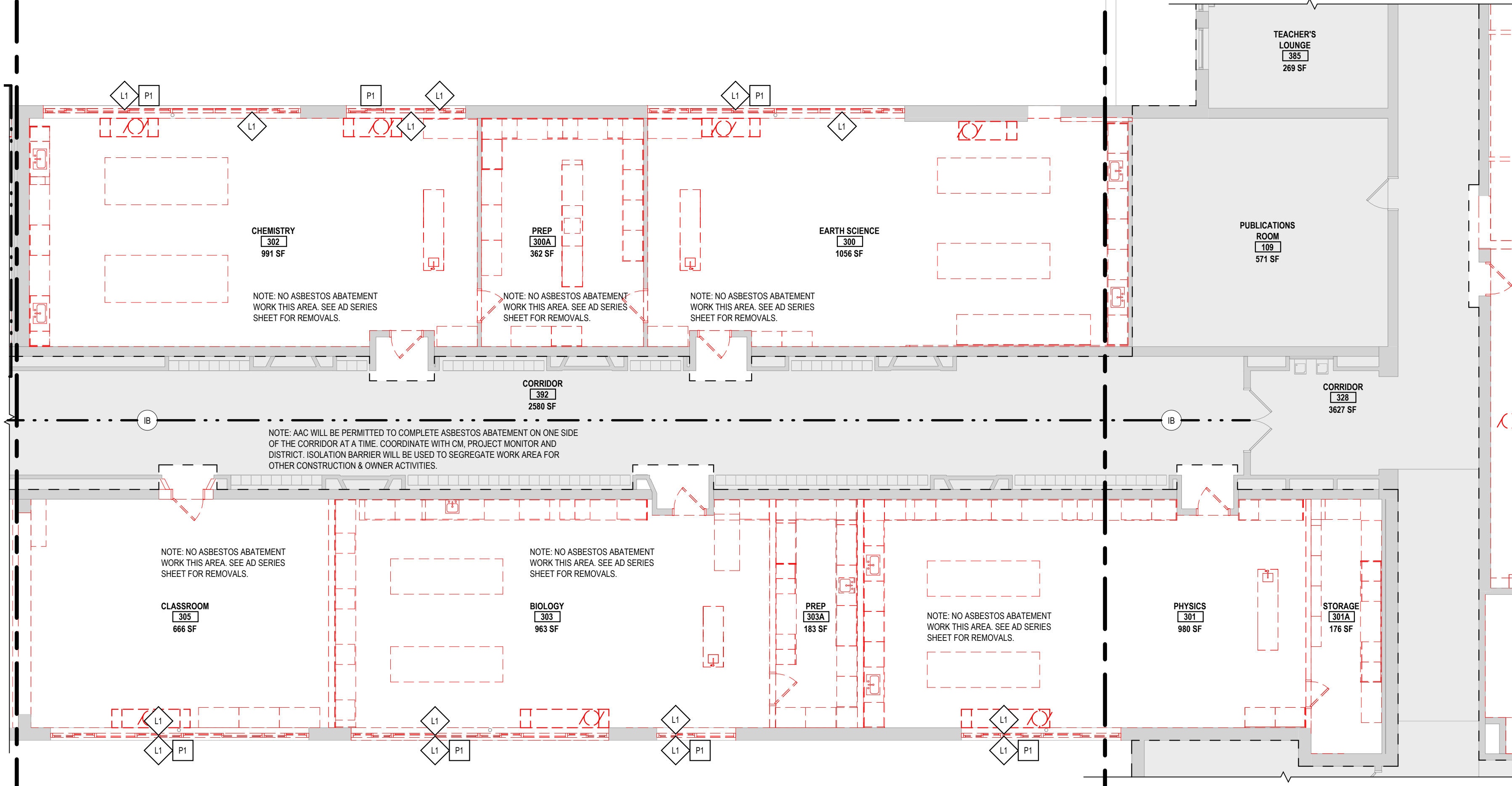
ASBESTOS KEYNOTES	
HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
HM2	REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY.)
HM3	REMOVE EXISTING CHASE WALL TO EXPOSE CONCEALED PIPING INSULATION. REMOVE AND DISPOSE OF ASBESTOS CONTAINING TSI AND RELATED ADHESIVE.
HM4	REMOVE AND DISPOSE OF CHALKBOARD AND RELATED ASBESTOS CONTAINING CHALKBOARD ADHESIVE.
HM5	REMOVE AND DISPOSE OF COUNTERTOP WITH ASSOCIATED ASBESTOS CONTAINING GROUT. (BLACK).
HM6	REMOVE AND DISPOSE OF BLACK BUTYL AT VISION LITE.
HM7	THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING PIPING INSULATION. THE AAC IS TO ABATE EXISTING TSI PIPING, FITTINGS ON EXISTING HEATING SYSTEM PIPING AND ROOF DRAIN PIPING ABOVE THE EXISTING PLASTER CEILING(S).
HM8	THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING HVAC DUCTWORK INSULATION. THE AAC IS TO ABATE EXISTING TSI HVAC DUCT WORK AND GASKETS ABOVE THE EXISTING PLASTER CEILING(S).
HM9	REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING COVE BASE, FLOOR EDGING AND RELATED MASTIC.
HM10	REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING BLACK TAR ASSOCIATED WITH WHITE PIPE INSULATION JACKET.
HM11	REMOVE AND DISPOSE OF EXISTING ASBESTOS DEBRIS (HISTORICAL INCIDENTAL DISTURBANCE OF TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE LOCATED IN THE CRAWLSPACE. REMOVE ALL VISIBLE PRESUMED ASBESTOS CONTAINING DEBRIS AND A MINIMUM OF 3 INCHES OF SOIL. THE AAC IS RESPONSIBLE FOR THE COMPLETION AND SUBMISSION OF A SITE-SPECIFIC VARIANCE TO THE NYS DOL ASBESTOS CONTROL BUREAU FOR THIS WORK. PRIOR TO THE SUBMISSION OF THE SITE SPECIFIC VARIANCE, THE AAC IS TO SUBMIT AND REVIEW THE PROPOSED VARIANCE WITH THE ASBESTOS PROJECT MONITOR AND THE ASBESTOS DESIGNER OF RECORD.

LEAD HAZARD CONTROL KEYNOTES	
L1	REMOVE AND DISPOSE OF EXISTING LEAD CONTAINING PERIMETER WINDOW CAULKING MATERIALS. (GRAY IN COLOR).
L2	REMOVE AND DISPOSE OF EXISTING LEAD CONTAINING MIRROR CAULKING MATERIALS. (WHITE IN COLOR).

PCB CAULKING/SEALANT KEYNOTES	
P1	REMOVE AND DISPOSE OF EXISTING LIGHT GRAY PCB LADEN WINDOW GILL CAULKING. NOTE: CAULKING IS COMINGLED WITH LEAD. NOTE: DURING EXTERIOR CAULKING REMOVAL PROVIDE INTERIOR CRITICAL BARRIER DURING CAULKING REMOVAL ACTIVITIES AND POLY SHEETING ON SOIL BELOW CAULKING REMOVAL AREAS.



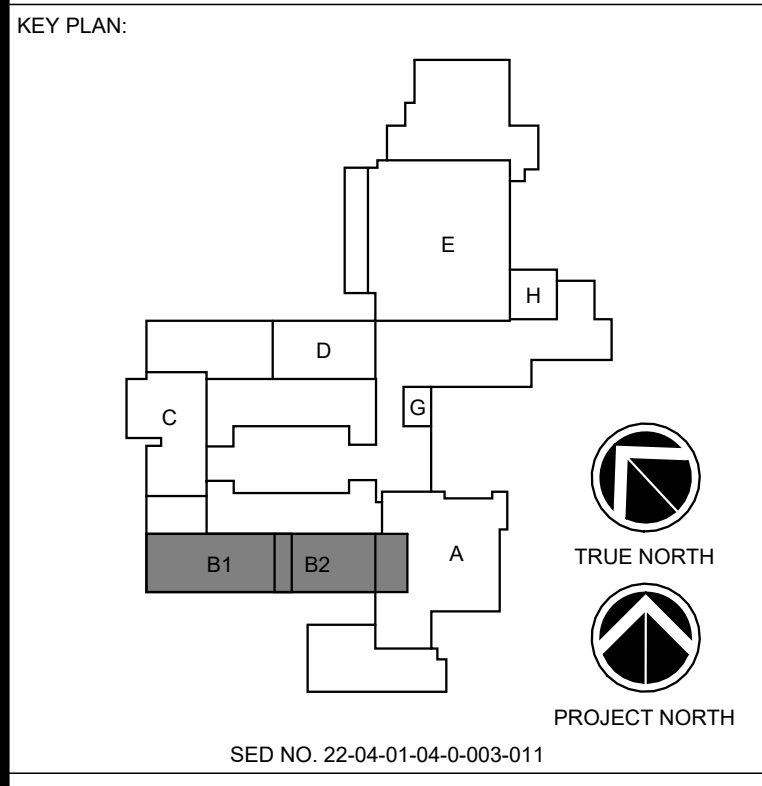
1 HAZARDOUS MATERIALS PLAN - AREA B1
SCALE: 1/8" = 1'-0"



2 HAZARDOUS MATERIALS PLAN - AREA B2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

HAZARDOUS MATERIALS LEGEND	
	WORK AREA LIMITS
	ASBESTOS ABATEMENT CONTAINMENT
	ACCESS / WASTE REMOVAL ROUTE
	CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE WITH NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
	ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE WITH NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
	AAC - ASBESTOS ABATEMENT CONTRACTOR



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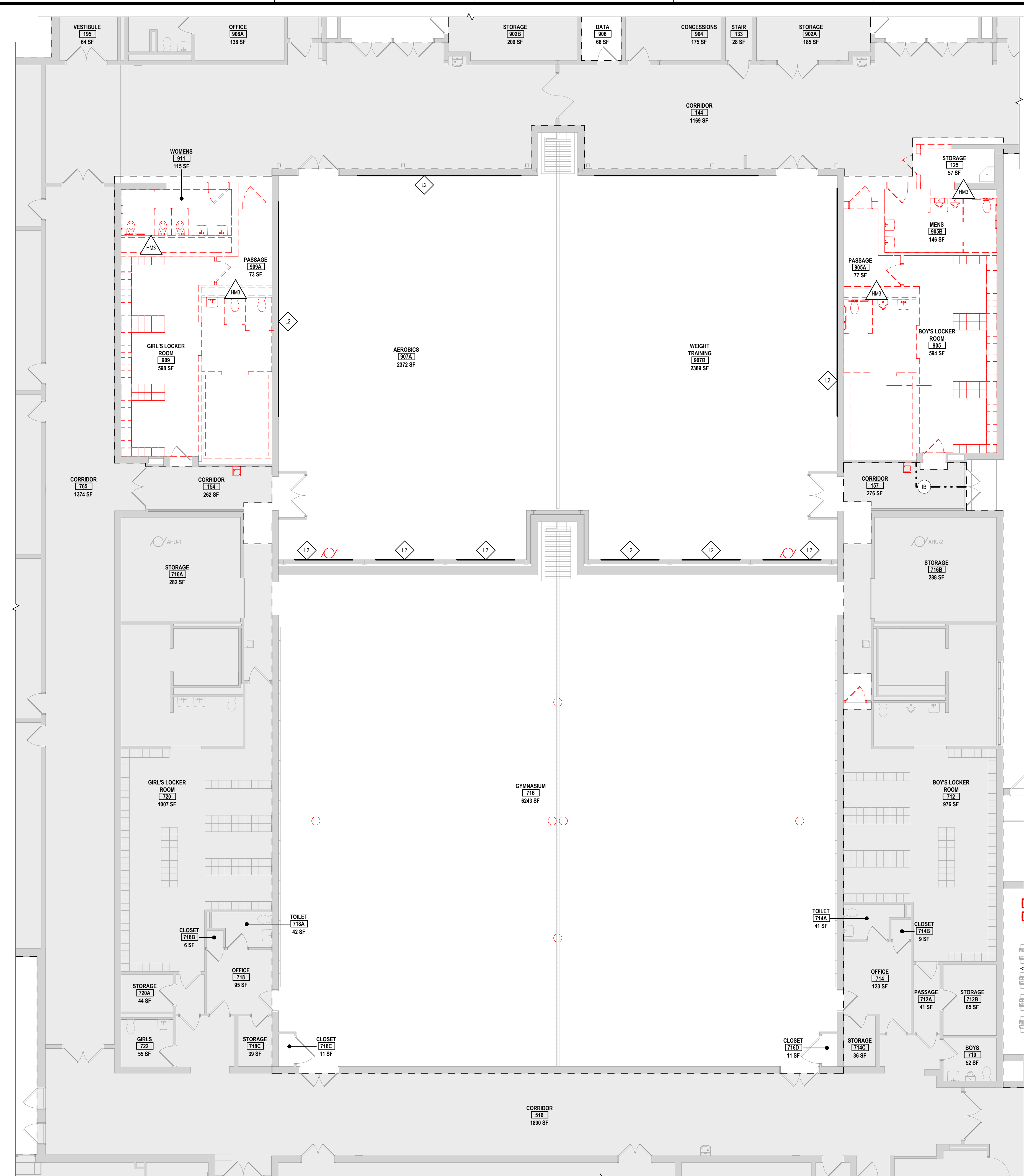
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CHECKED BY MLC	DATE 12/16/2024
HAZARDOUS MATERIALS PLAN - AREAS B1 AND B2	
BUILDING NUMBER HS	SHEET NUMBER HM101 BID

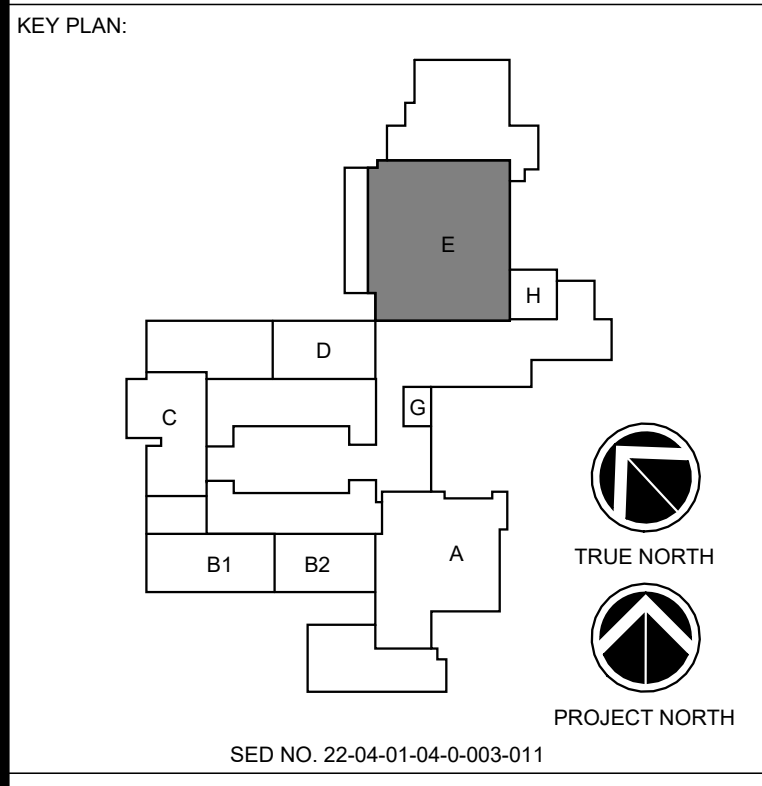
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ASBESTOS KEYNOTES	
HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
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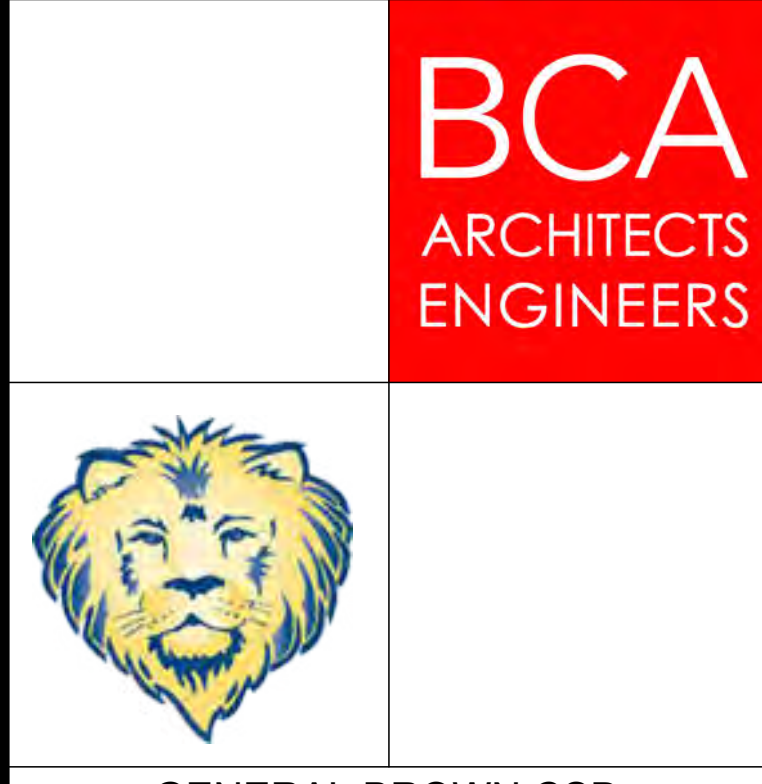
GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

HAZARDOUS MATERIALS LEGEND	
	WORK AREA LIMITS
	ASBESTOS ABATEMENT CONTAINMENT
	ACCESS / WASTE REMOVAL ROUTE
	CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
	ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
AAC - ASBESTOS ABATEMENT CONTRACTOR	



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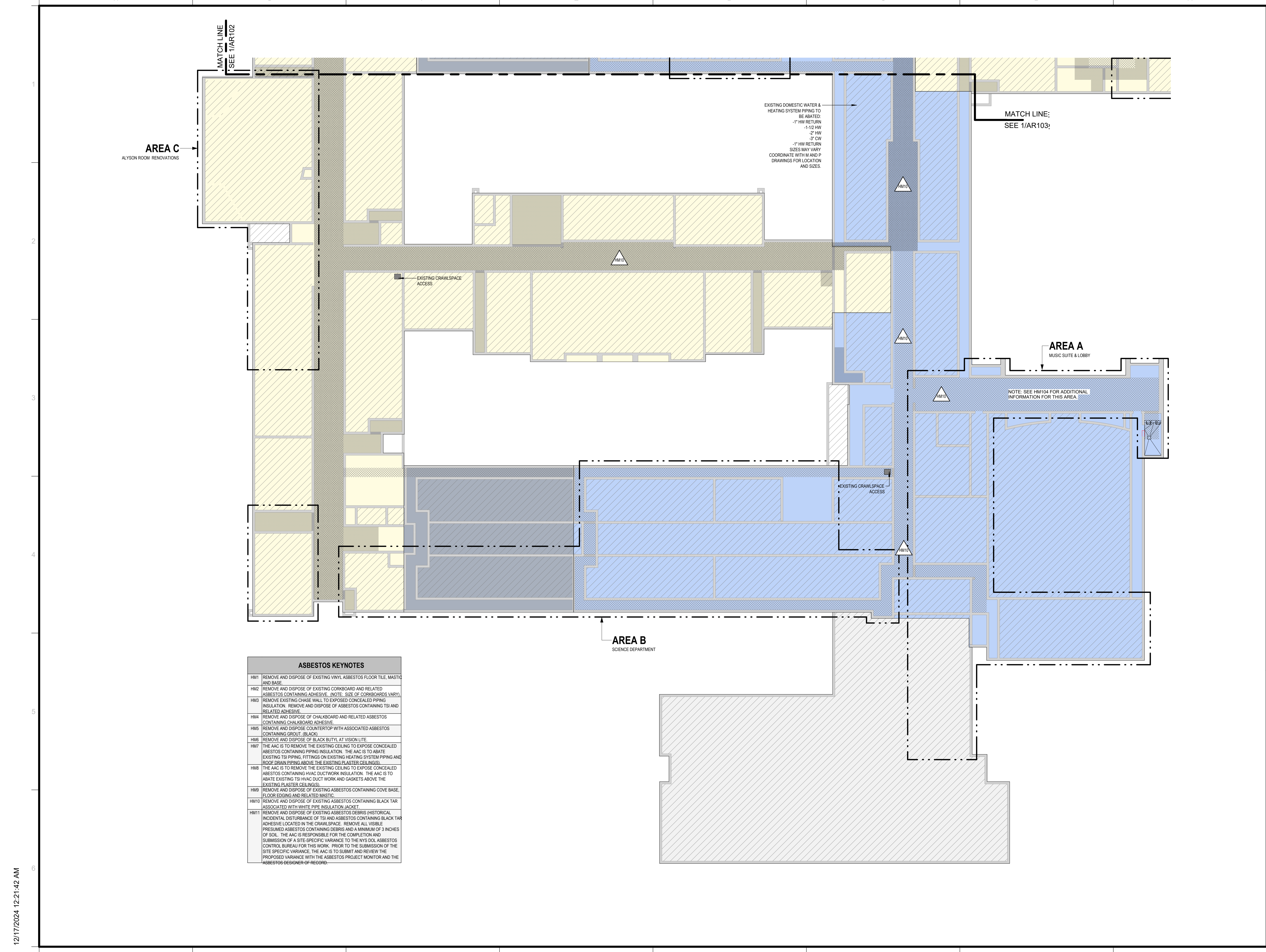


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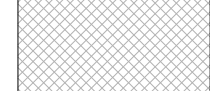
REV	DATE	DESCRIPTION

DRAWN BY CN/MLS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024
BUILDING NUMBER HS	SHEET NUMBER HM103 BID

1 HAZARDOUS MATERIALS PLAN - AREA E
 SCALE: 1/8" = 1'-0"

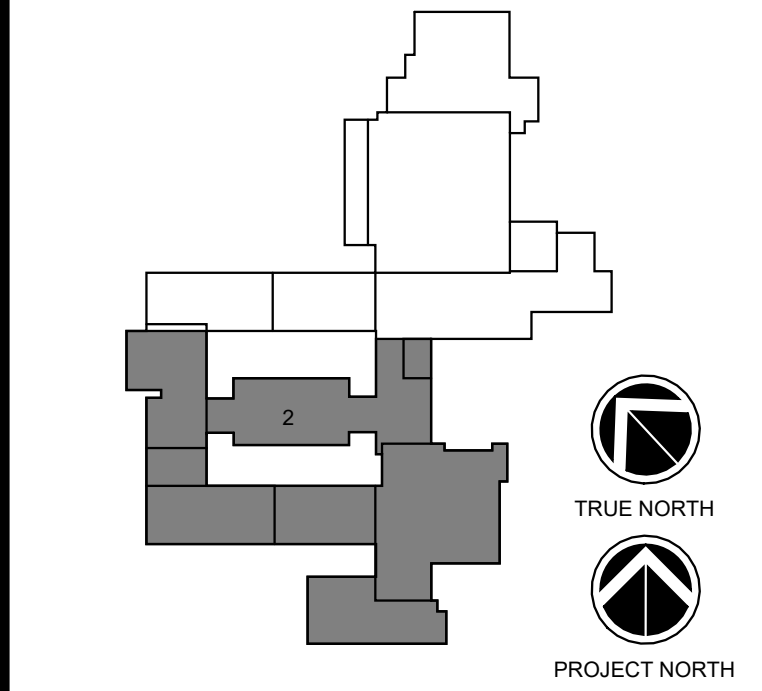


HAZARDOUS MATERIAL LEGEND

-  SLAB ON GRADE
-  PROJECT #2010-113 (2011)
-  PROJECT #91-105 (1995)

NOTE: THE EXISTING CRAWLSPACE INCLUDES DOMESTIC (HOT & COLD) WATER PIPING, MECHANICAL HOT WATER SUPPLY & RETURN PIPING AND POTENTIALLY ABANDONED STEAM PIPING. PARTIAL PIPING REPLACEMENTS HAVE OCCURRED IN THE CRAWLSPACE. IT IS ANTICIPATED THAT ASBESTOS CONTAINING PIPE FITTING INSULATION AND PIPE INSULATION MAY EXIST ON THE PIPING WHICH HAS NOT BEEN REPLACED. IT IS ALSO ANTICIPATED THAT THERE MAY BE HISTORICAL INCIDENTAL DISTURBANCES.

KEY PLAN:



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ASBESTOS KEYNOTES

HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE
HM2	REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY)
HM3	REMOVE EXISTING CHASE WALL TO EXPOSE CONCEALED PIPING INSULATION. REMOVE AND DISPOSE OF ASBESTOS CONTAINING TSI AND RELATED ADHESIVE.
HM4	REMOVE AND DISPOSE OF CHALKBOARD AND RELATED ASBESTOS CONTAINING CHALKBOARD ADHESIVE.
HM5	REMOVE AND DISPOSE COUNTERTOP WITH ASSOCIATED ASBESTOS CONTAINING GROUT. (BLACK)
HM6	REMOVE AND DISPOSE OF BLACK BUTYL AT VISION LITE.
HM7	THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING PIPING INSULATION. THE AAC IS TO ABATE EXISTING TSI PIPING, FITTINGS ON EXISTING HEATING SYSTEM PIPING AND ROOF DRAIN PIPING ABOVE THE EXISTING PLASTER CEILING(S).
HM8	THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING HVAC DUCTWORK INSULATION. THE AAC IS TO ABATE EXISTING TSI HVAC DUCT WORK AND GASKETS ABOVE THE EXISTING PLASTER CEILING(S).
HM9	REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING COVE BASE, FLOOR EDGING AND RELATED MASTIC.
HM10	REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING BLACK TAR ASSOCIATED WITH WHITE PIPE INSULATION JACKET.
HM11	REMOVE AND DISPOSE OF EXISTING ASBESTOS DEBRIS (HISTORICAL INCIDENTAL DISTURBANCE OF TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE LOCATED IN THE CRAWLSPACE. REMOVE ALL VISIBLE PRESUMED ASBESTOS CONTAINING DEBRIS AND A MINIMUM OF 3 INCHES OF SOIL. THE AAC IS RESPONSIBLE FOR THE COMPLETION AND SUBMISSION OF A SITE-SPECIFIC VARIANCE TO THE NYS DOL ASBESTOS CONTROL BUREAU FOR THIS WORK. PRIOR TO THE SUBMISSION OF THE SITE-SPECIFIC VARIANCE, THE AAC IS TO SUBMIT AND REVIEW THE PROPOSED VARIANCE WITH THE ASBESTOS PROJECT MONITOR AND THE ASBESTOS DESIGNER OF RECORD.

12/17/2024 12:21:42 AM

REV	DATE	DESCRIPTION

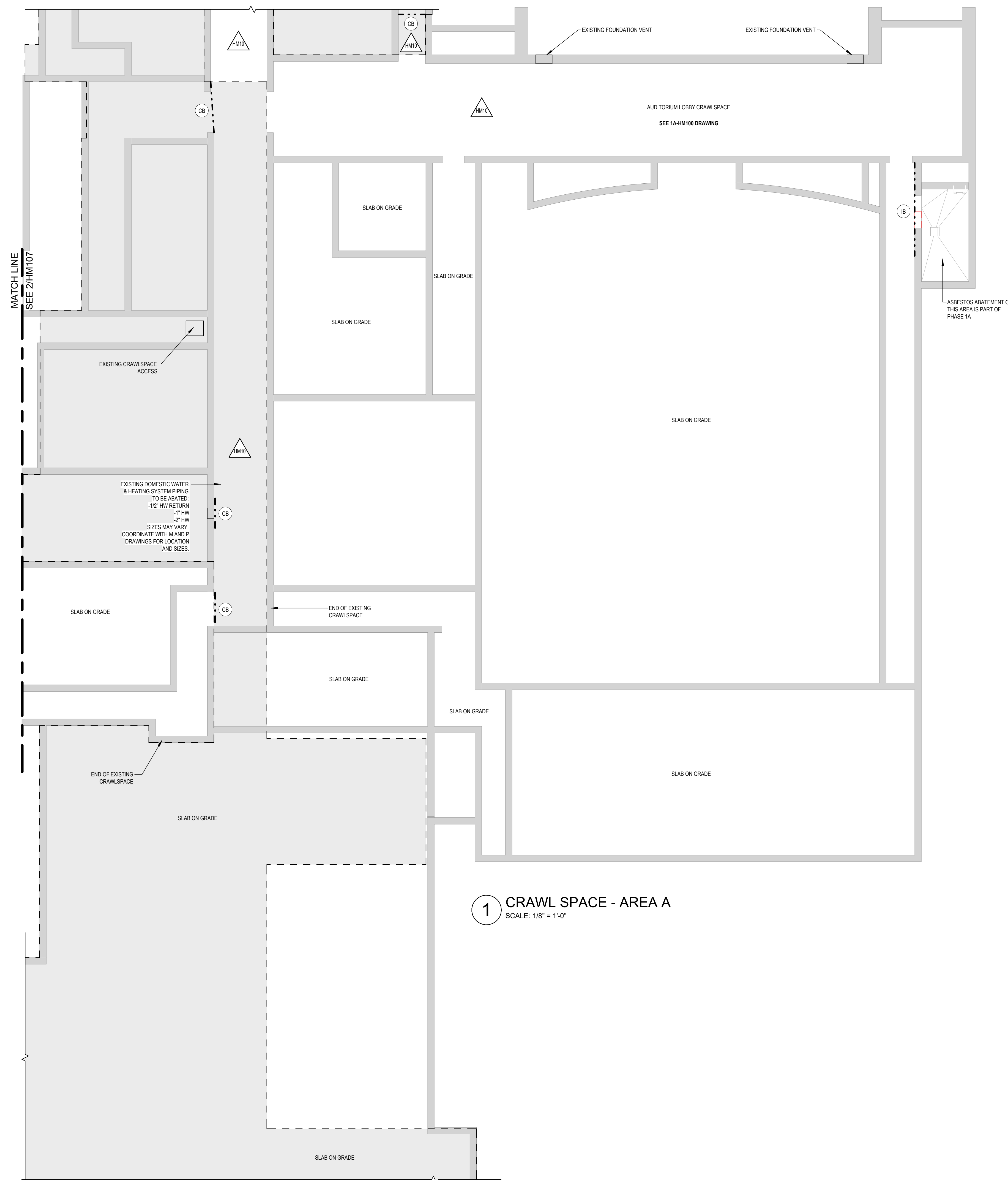
DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

AREA 2 - HAZARDOUS MATERIALS - CRAWL SPACE - AREA 2 Copy 1

BUILDING NUMBER HS	SHEET NUMBER HM105 BID
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GENERAL ASBESTOS NOTES	
1.	THE INFORMATION PROVIDED WITH RESPECT TO HAZARD ASSESSMENT, QUANTITIES AND LOCATIONS OF ASBESTOS CONTAINING MATERIAL WERE DERIVED FROM TESTS CONDUCTED BY ATLANTIC TESTING LABORATORIES DATED JUNE 13TH, 2024 - REVISION 1. THE OWNER, ARCHITECT, THE ENGINEER & PROJECT MANAGER AS OWNERS REPRESENTATIVE, DISCLAIM RESPONSIBILITY FOR ANY OPINIONS, CONCLUSIONS, INTERPRETATION, OR DEDUCTIONS THAT MAY BE EXPRESSED OR IMPLIED OF THE INFORMATION MADE AVAILABLE. IT IS EXPRESSLY UNDERSTOOD THAT THE MAKING OF DEDUCTIONS, INTERPRETATIONS AND CONCLUSIONS FOR ALL THE ACCESSIBLE FACTUAL INFORMATION IS SOLELY THE CONTRACTOR'S RESPONSIBILITY.
2.	THE WORK AREAS & ADJACENT SPACES SHOWN IN THESE ASBESTOS DRAWINGS INCLUDED THEREIN FOR INFORMATION PURPOSES ONLY. THE ASBESTOS ABATEMENT CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING MEASUREMENTS PRIOR TO BIDDING.
3.	LOCATION OF DECONTAMINATION ENCLOSURES FOR SPECIFIED WORK AREA SHALL BE COORDINATED WITH PROJECT MONITOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
4.	THE BUILDING WILL REMAIN OCCUPIED IN PART (BY OTHER CONTRACTORS AND/OR PERSONNEL) DURING THE ASBESTOS ABATEMENT & THEREFORE WORK MUST BE COORDINATED WITH ALL OTHER TRADES AND OWNER'S OPERATION.
5.	ALL WORK SHALL BE SCHEDULED IN ACCORDANCE WITH THE MILESTONE SCHEDULE, PROJECT MONITOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
6.	THE AAC SHALL BE RESPONSIBLE FOR COMPLETE CLEANING OF ALL REGULATED ABATEMENT WORK AREAS INCLUDING BUT NOT LIMITED TO ASBESTOS WORK AREAS AND ALL ASSOCIATED WASTE OUT ROUTES.
7.	THE AAC IS RESPONSIBLE FOR THE COORDINATION OF THE SHUT DOWN OF EXISTING MECHANICAL EQUIPMENT PRIOR TO THE REMOVAL OF EQUIPMENT WITH MECHANICAL CONTRACTOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE.
8.	THE AAC IS RESPONSIBLE FOR THE PROPER COVERING AND SEALING OF EXTERIOR OPENINGS TO PREVENT CONTAMINATES FROM ENTERING THE BUILDING AS A RESULT OF THE ABATEMENT WORK REQUIRED ON THE ROOF AREA. IF ACCESS TO THE INTERIOR OF THE BUILDING IS REQUIRED FOR THE COMPLETION OF THE WORK, THE AAC IS TO COORDINATE WITH THE MECHANICAL CONTRACTOR, OWNER AND RESIDENT PROJECT REPRESENTATIVE FOR ACCESS TO INTERIOR AREAS OF THE BUILDING.
9.	THE AAC IS RESPONSIBLE FOR THE COORDINATION OF THE TEMPORARY ROOF COVERINGS TO PREVENT WATER INFILTRATION INTO THE SPACES BELOW DURING ABATEMENT PROCEDURES.

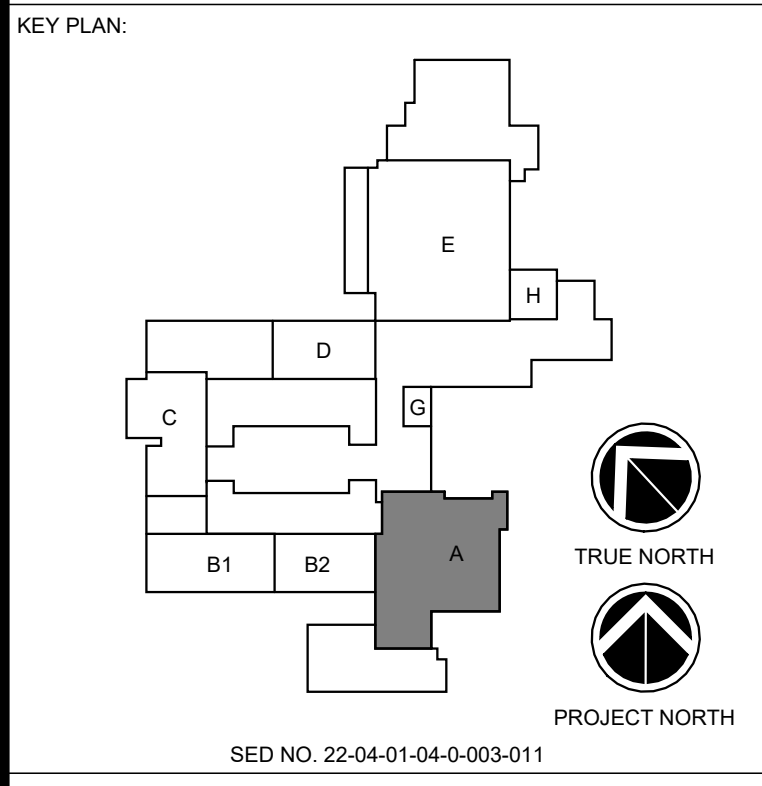
ASBESTOS KEYNOTES	
HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
HM2	REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY).
HM3	REMOVE EXISTING CHASE WALL TO EXPOSED CONCEALED PIPING INSULATION. REMOVE AND DISPOSE OF ASBESTOS CONTAINING TSI AND RELATED ADHESIVE.
HM4	REMOVE AND DISPOSE OF CHALKBOARD AND RELATED ASBESTOS CONTAINING CHALKBOARD ADHESIVE.
HM5	REMOVE AND DISPOSE COUNTERTOP WITH ASSOCIATED ASBESTOS CONTAINING GROUT (BLACK).
HM6	REMOVE AND DISPOSE OF BLACK BUTYL AT VISION LITE.
HM7	THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING PIPING INSULATION. THE AAC IS TO ABATE EXISTING TSI PIPING, FITTINGS ON EXISTING HEATING SYSTEM PIPING AND ROOF DRAIN PIPING ABOVE THE EXISTING PLASTER CEILING(S).
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1 CRAWL SPACE - AREA A
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

HAZARDOUS MATERIALS LEGEND	
	WORK AREA LIMITS
	ASBESTOS ABATEMENT CONTAINMENT
	ACCESS / WASTE REMOVAL ROUTE
	CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
	ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
AAC - ASBESTOS ABATEMENT CONTRACTOR	



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CHECKED BY MLC	DATE 12/16/2024

HAZARDOUS MATERIALS PLAN - AREA A - CRAWLSPACE

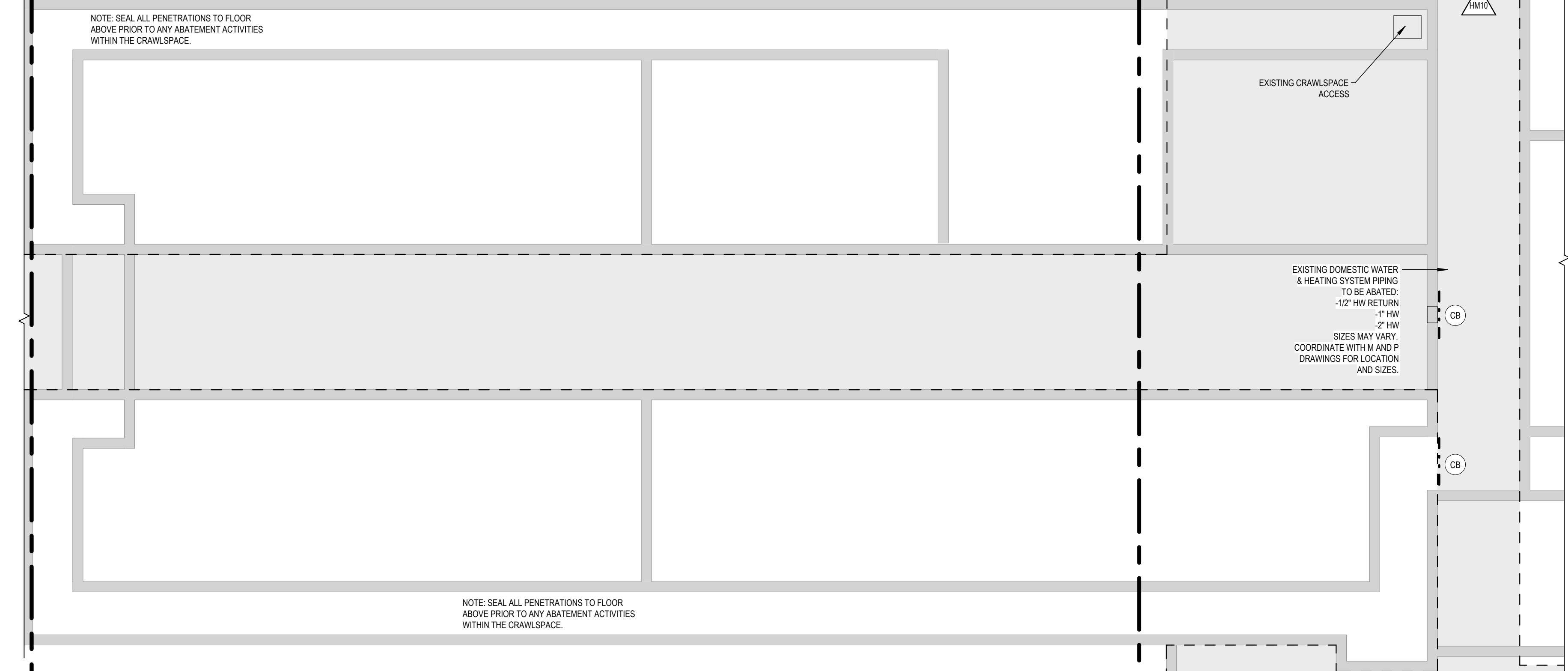
BUILDING NUMBER HS	SHEET NUMBER HM106 BID
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ASBESTOS KEYNOTES

HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
HM2	REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY).
HM3	REMOVE EXISTING CHASE WALL TO EXPOSE CONCEALED PIPING INSULATION. REMOVE AND DISPOSE OF ASBESTOS CONTAINING TSI AND RELATED ADHESIVE.
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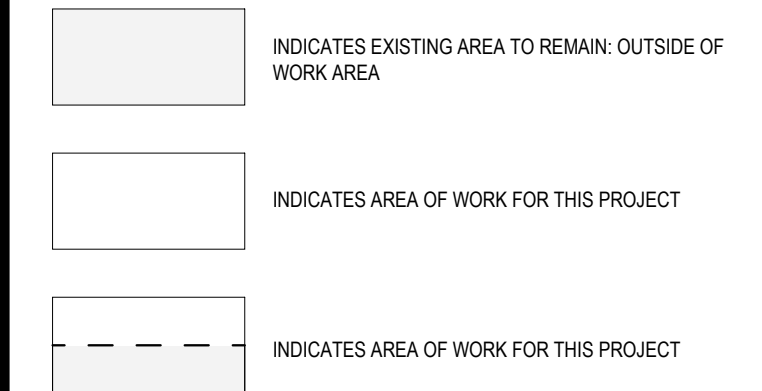
1 CRAWL SPACE - AREA B-1
SCALE: 1/8" = 1'-0"

MATCH LINE
SEE 1/HM107

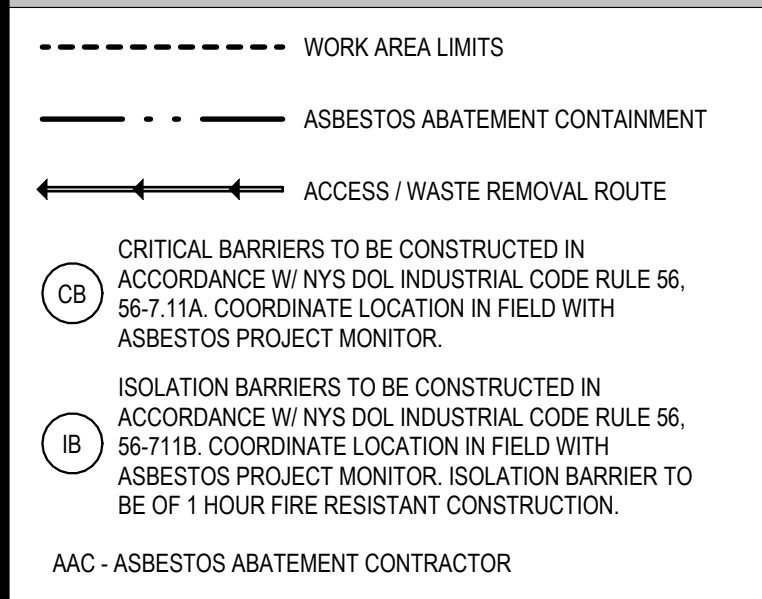


2 CRAWL SPACE - AREA B-2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND



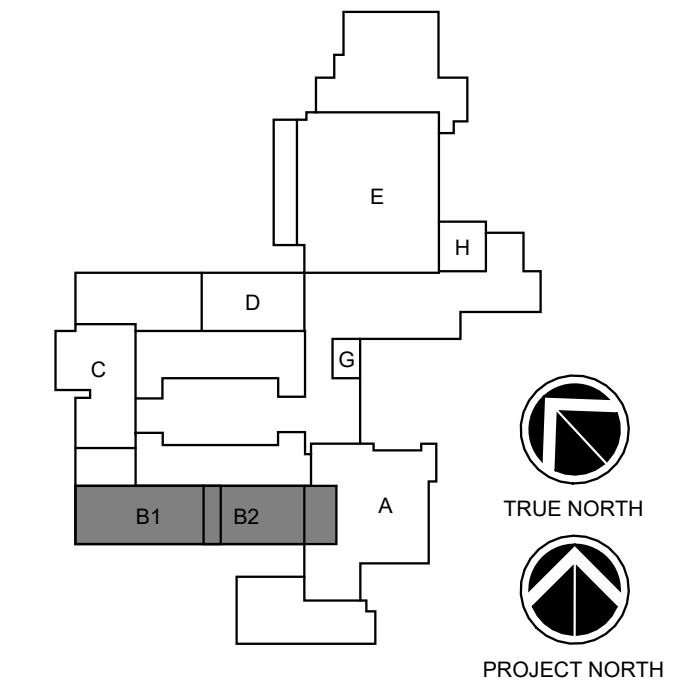
HAZARDOUS MATERIALS LEGEND



KEYNOTES

HM10 REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING BLACK TAR ASSOCIATED WITH WHITE PIPE INSULATION JACKET.

KEY PLAN:



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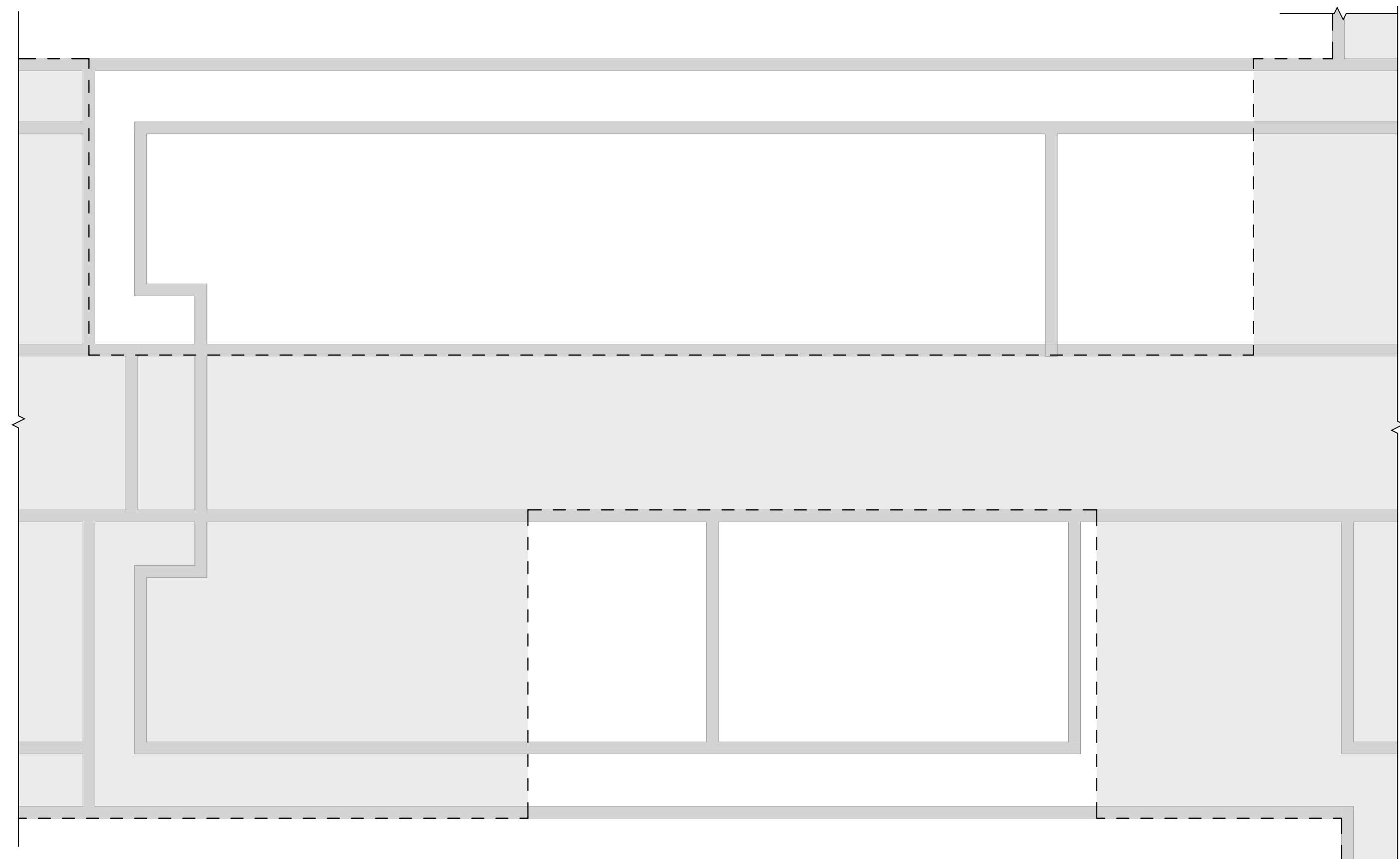
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REV	DATE	DESCRIPTION

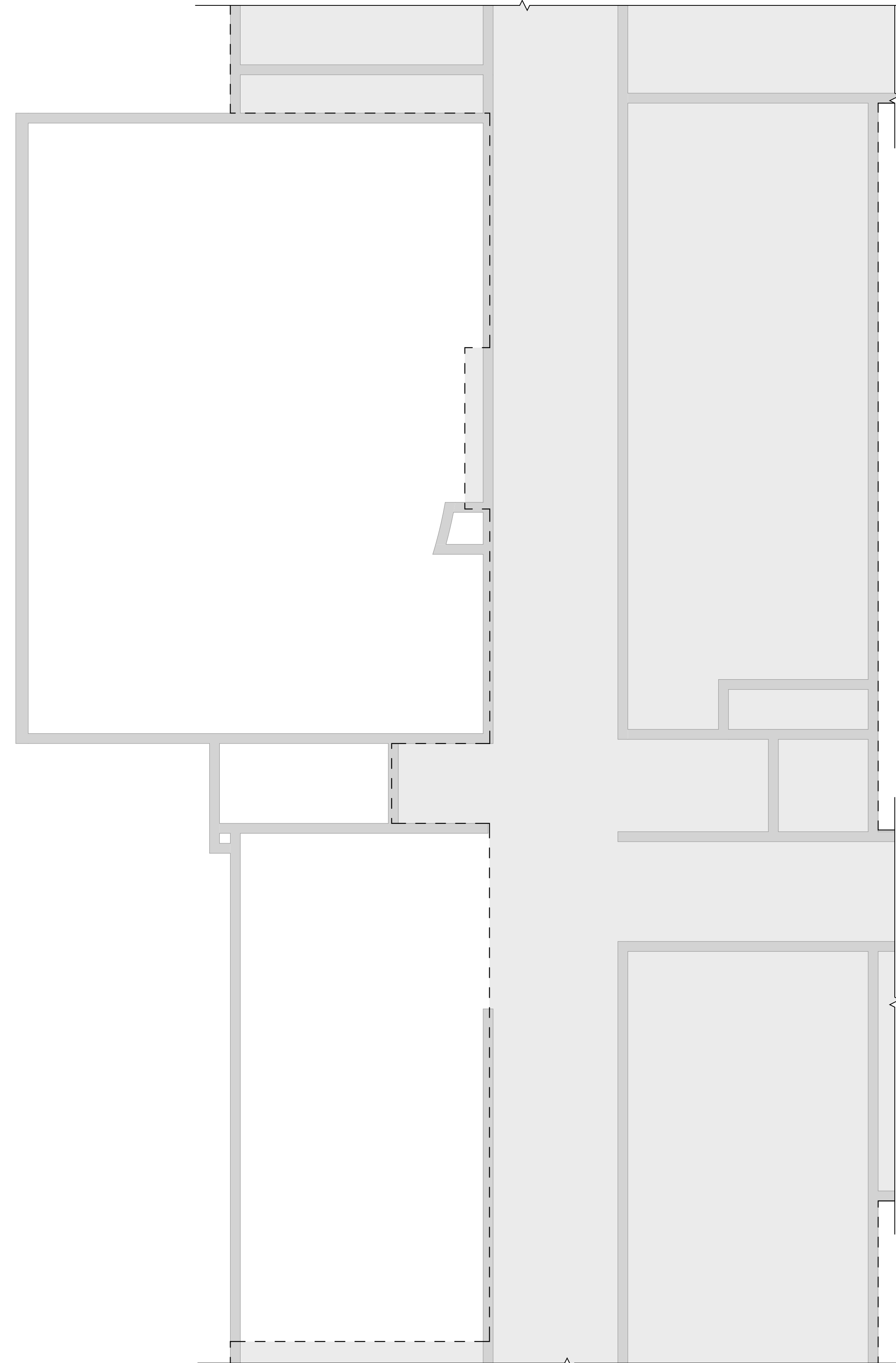
DRAWN BY CN/MLS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

HAZARDOUS MATERIALS PLAN - AREAS B1 AND B2 - CRAWLSPACE

BUILDING NUMBER HS	SHEET NUMBER HM107 BID
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2 CRAWL SPACE - AREA D
SCALE: 1/8" = 1'-0"



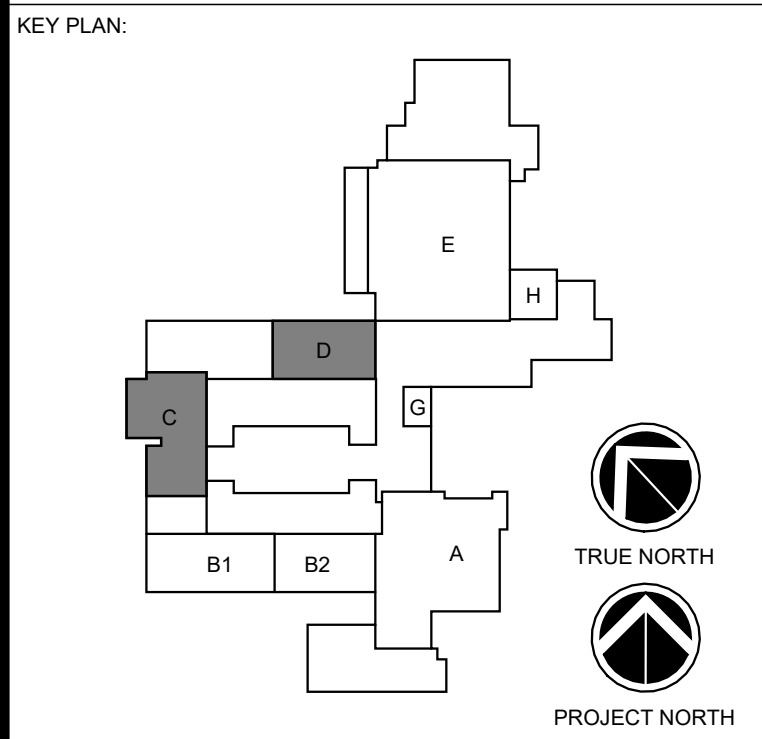
1 CRAWL SPACE - AREA C
SCALE: 1/8" = 1'-0"

ASBESTOS KEYNOTES	
HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
HM2	REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY.)
HM3	REMOVE EXISTING CHASE WALL TO EXPOSE CONCEALED PIPING INSULATION. REMOVE AND DISPOSE OF ASBESTOS CONTAINING TSI AND RELATED ADHESIVE.
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HM5	REMOVE AND DISPOSE COUNTERTOP WITH ASSOCIATED ASBESTOS CONTAINING GROUT. (BLACK)
HM6	REMOVE AND DISPOSE OF BLACK BUTYL AT VISION LITE.
HM7	THE AAC IS TO REMOVE THE EXISTING CEILING TO EXPOSE CONCEALED ASBESTOS CONTAINING PIPING INSULATION. THE AAC IS TO ABATE EXISTING TSI PIPING, FITTINGS ON EXISTING HEATING SYSTEM PIPING AND ROOF DRAIN PIPING ABOVE THE EXISTING PLASTER CEILING(S).
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GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

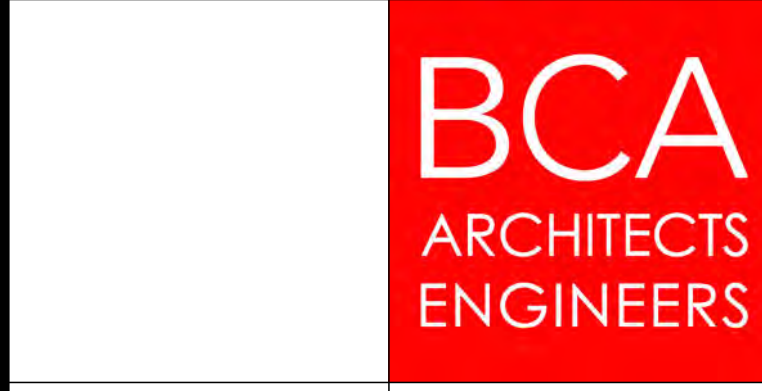
HAZARDOUS MATERIALS LEGEND	
	WORK AREA LIMITS
	ASBESTOS ABATEMENT CONTAINMENT
	ACCESS / WASTE REMOVAL ROUTE
	CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
	ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
	AAC - ASBESTOS ABATEMENT CONTRACTOR

KEYNOTES



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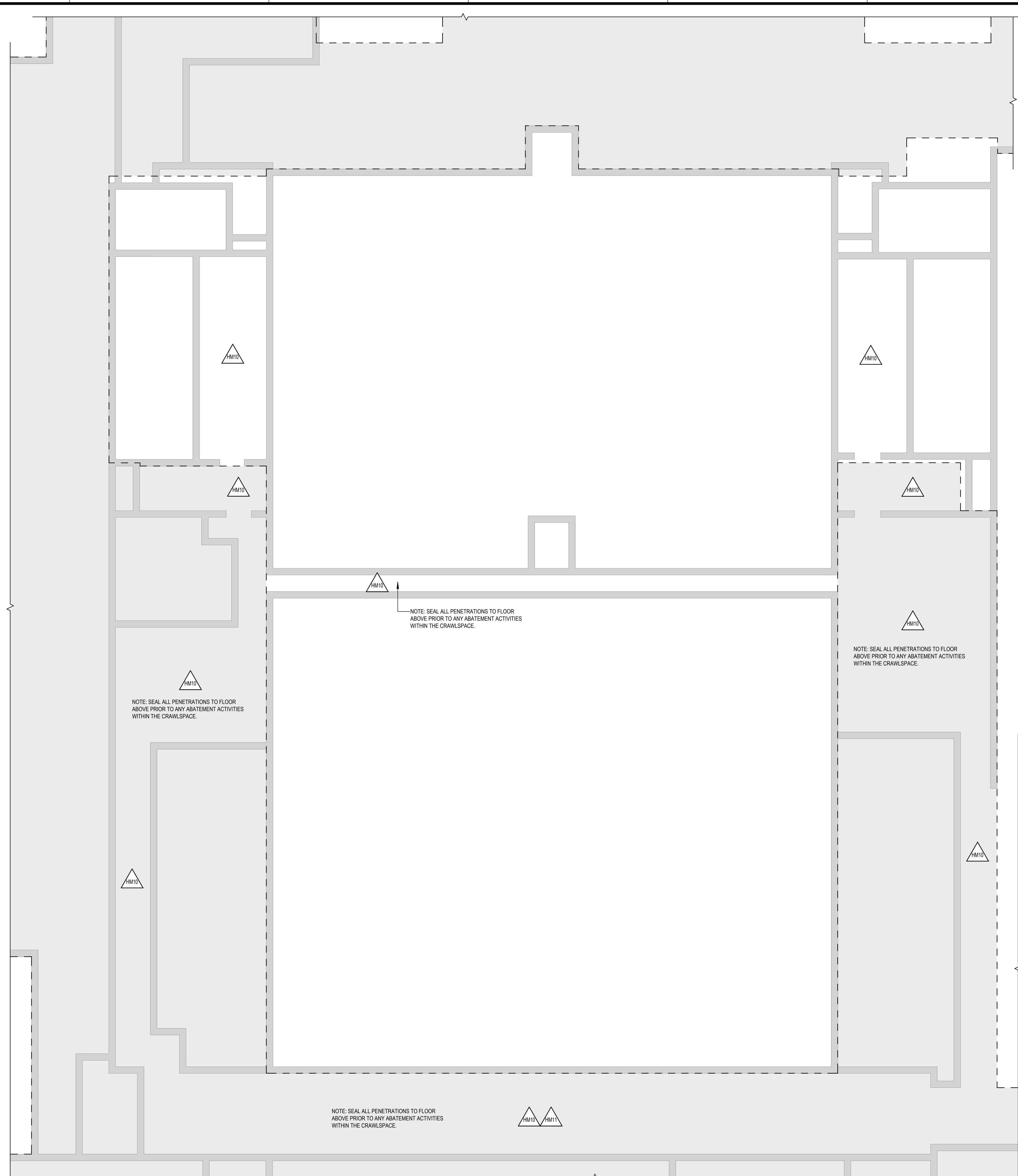
DRAWN BY CN/MLS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

HAZARDOUS MATERIALS PLAN - AREAS C AND D - CRAWLSPACE

BUILDING NUMBER HS	SHEET NUMBER HM108 BID
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12/17/2024 12:21:51 AM

ASBESTOS KEYNOTES	
HM1	REMOVE AND DISPOSE OF EXISTING VINYL ASBESTOS FLOOR TILE, MASTIC AND BASE.
HM2	REMOVE AND DISPOSE OF EXISTING CORKBOARD AND RELATED ASBESTOS CONTAINING ADHESIVE. (NOTE: SIZE OF CORKBOARDS VARY).
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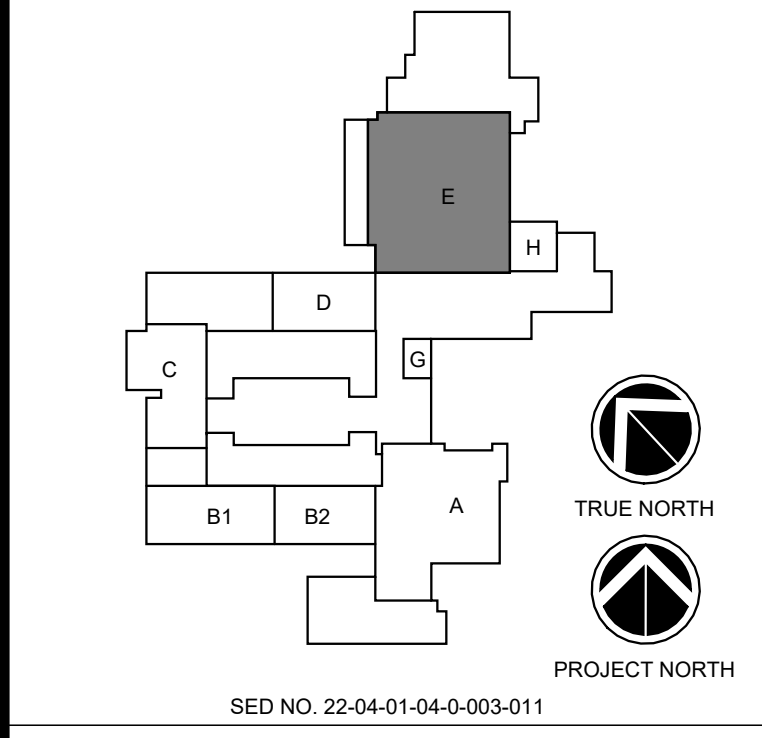


1 CRAWL SPACE - AREA E
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

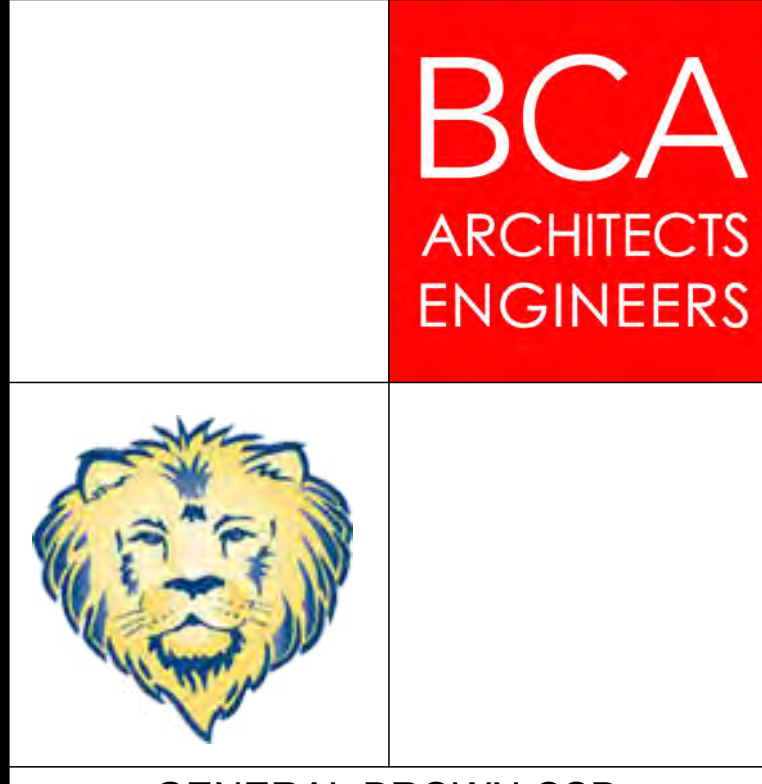
HAZARDOUS MATERIALS LEGEND	
	WORK AREA LIMITS
	ASBESTOS ABATEMENT CONTAINMENT
	ACCESS / WASTE REMOVAL ROUTE
	CRITICAL BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-7.11A. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR.
	ISOLATION BARRIERS TO BE CONSTRUCTED IN ACCORDANCE W/ NYS DOL INDUSTRIAL CODE RULE 56, 56-711B. COORDINATE LOCATION IN FIELD WITH ASBESTOS PROJECT MONITOR. ISOLATION BARRIER TO BE OF 1 HOUR FIRE RESISTANT CONSTRUCTION.
	AAC - ASBESTOS ABATEMENT CONTRACTOR

KEYNOTES	
HM10	REMOVE AND DISPOSE OF EXISTING ASBESTOS CONTAINING BLACK TAR ASSOCIATED WITH WHITE PIPE INSULATION JACKET.
HM11	REMOVE AND DISPOSE OF EXISTING ASBESTOS DEBRIS (HISTORICAL INCIDENTAL DISTURBANCE OF TSI AND ASBESTOS CONTAINING BLACK TAR ADHESIVE LOCATED IN THE CRAWLSPACE. REMOVE ALL VISIBLE PRESUMED ASBESTOS CONTAINING DEBRIS AND A MINIMUM OF 3 INCHES OF SOIL. THE AAC IS RESPONSIBLE FOR THE COMPLETION AND SUBMISSION OF A SITE-SPECIFIC VARIANCE TO THE NYS DOL ASBESTOS CONTROL BUREAU FOR THIS WORK. PRIOR TO THE SUBMISSION OF THE SITE SPECIFIC VARIANCE, THE AAC IS TO SUBMIT AND REVIEW THE PROPOSED VARIANCE WITH THE ASBESTOS PROJECT MONITOR AND THE ASBESTOS DESIGNER OF RECORD.



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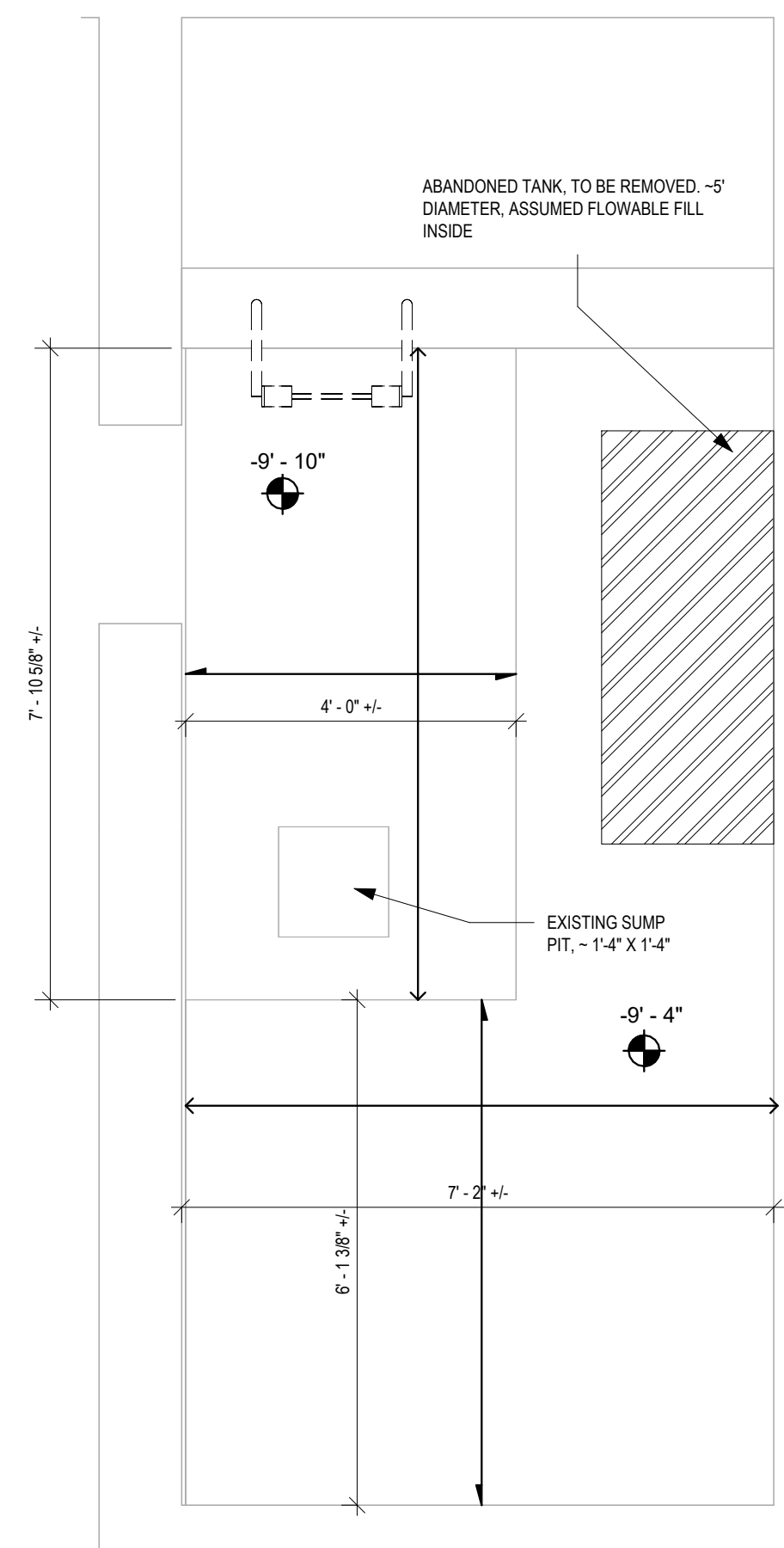
GENERAL BROWN CSD
JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

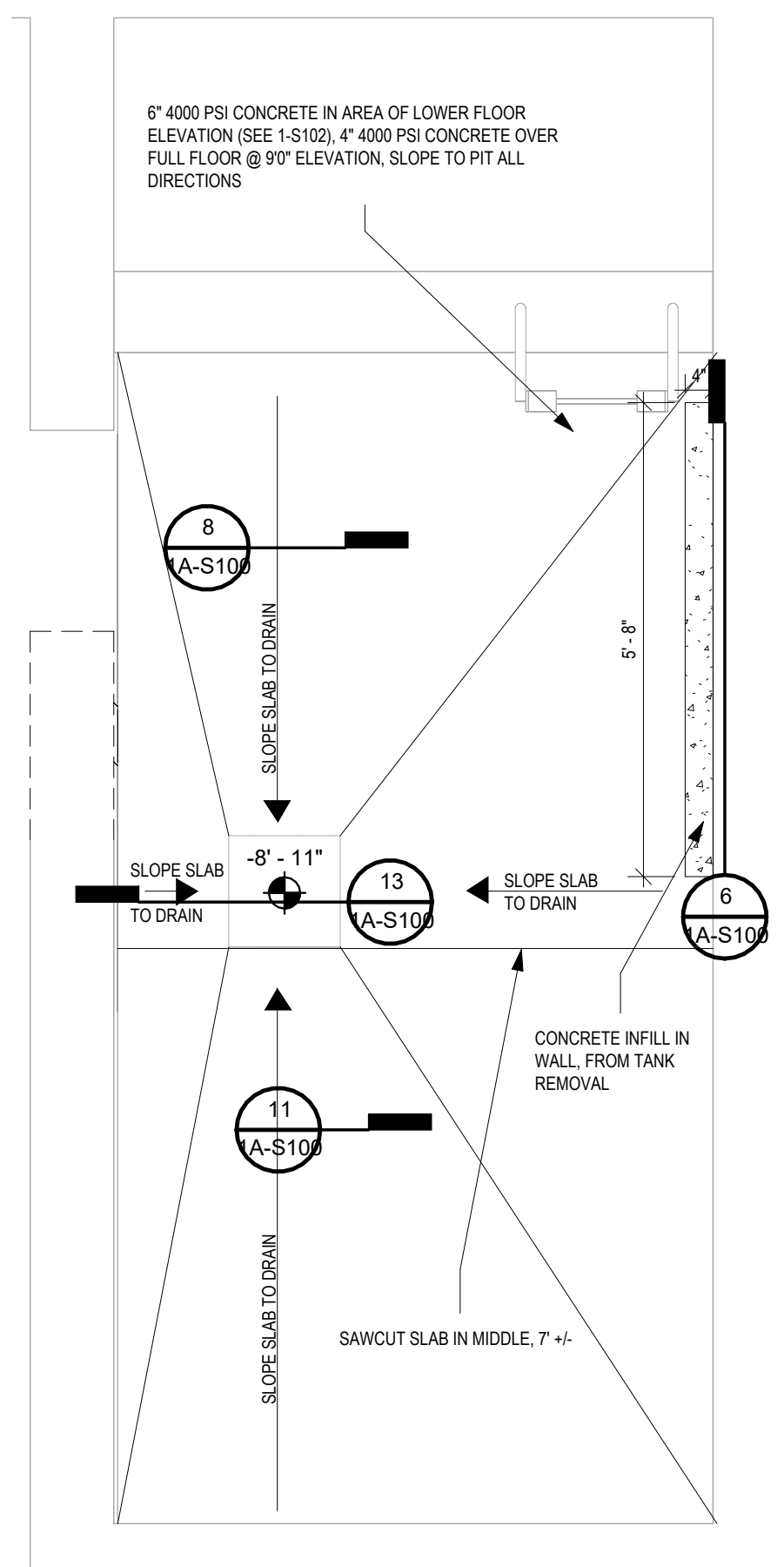
DRAWN BY CN/MLS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

HAZARDOUS MATERIALS PLAN - AREA E - CRAWLSPACE

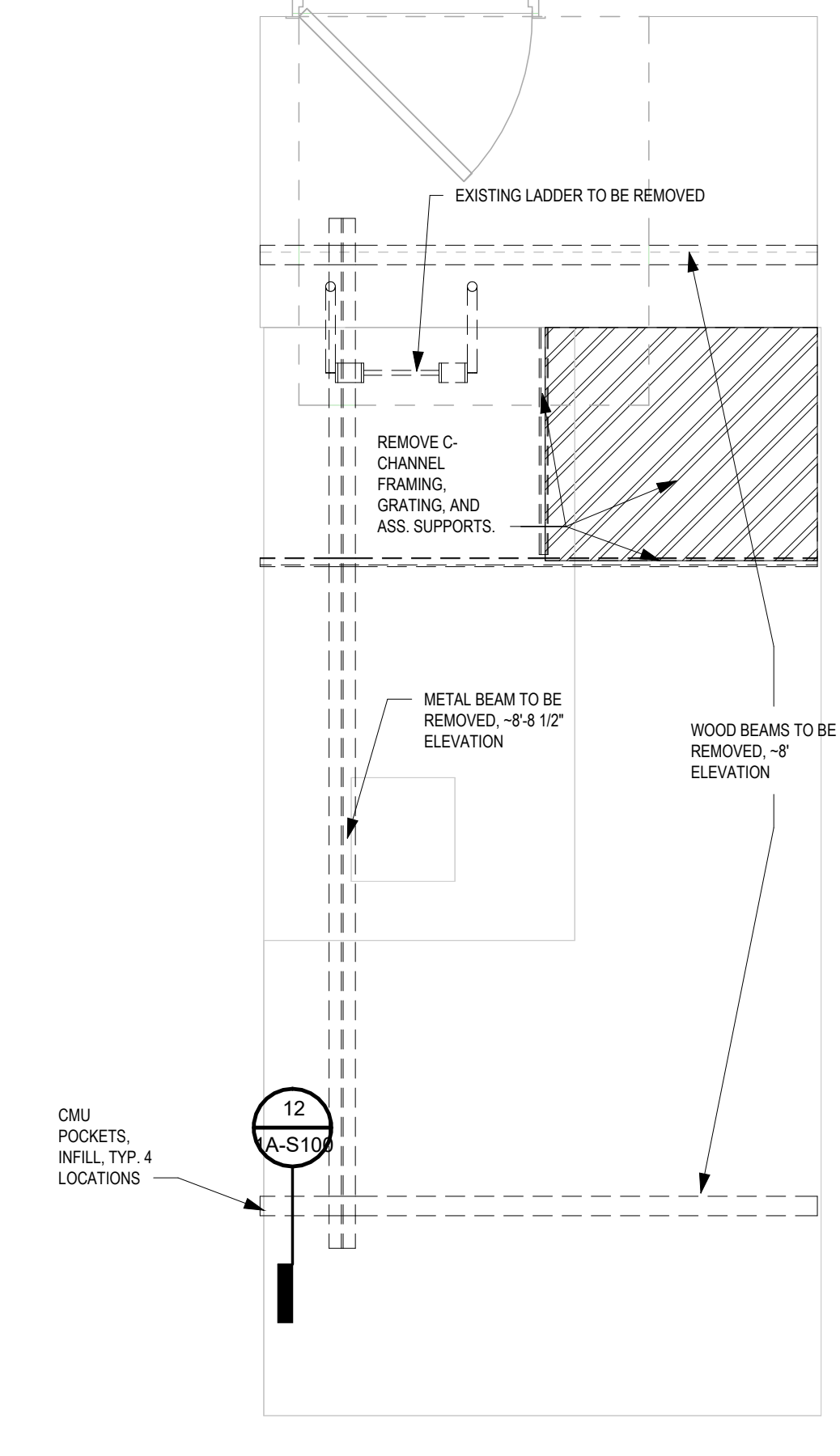
BUILDING NUMBER HS	SHEET NUMBER HM109 BID
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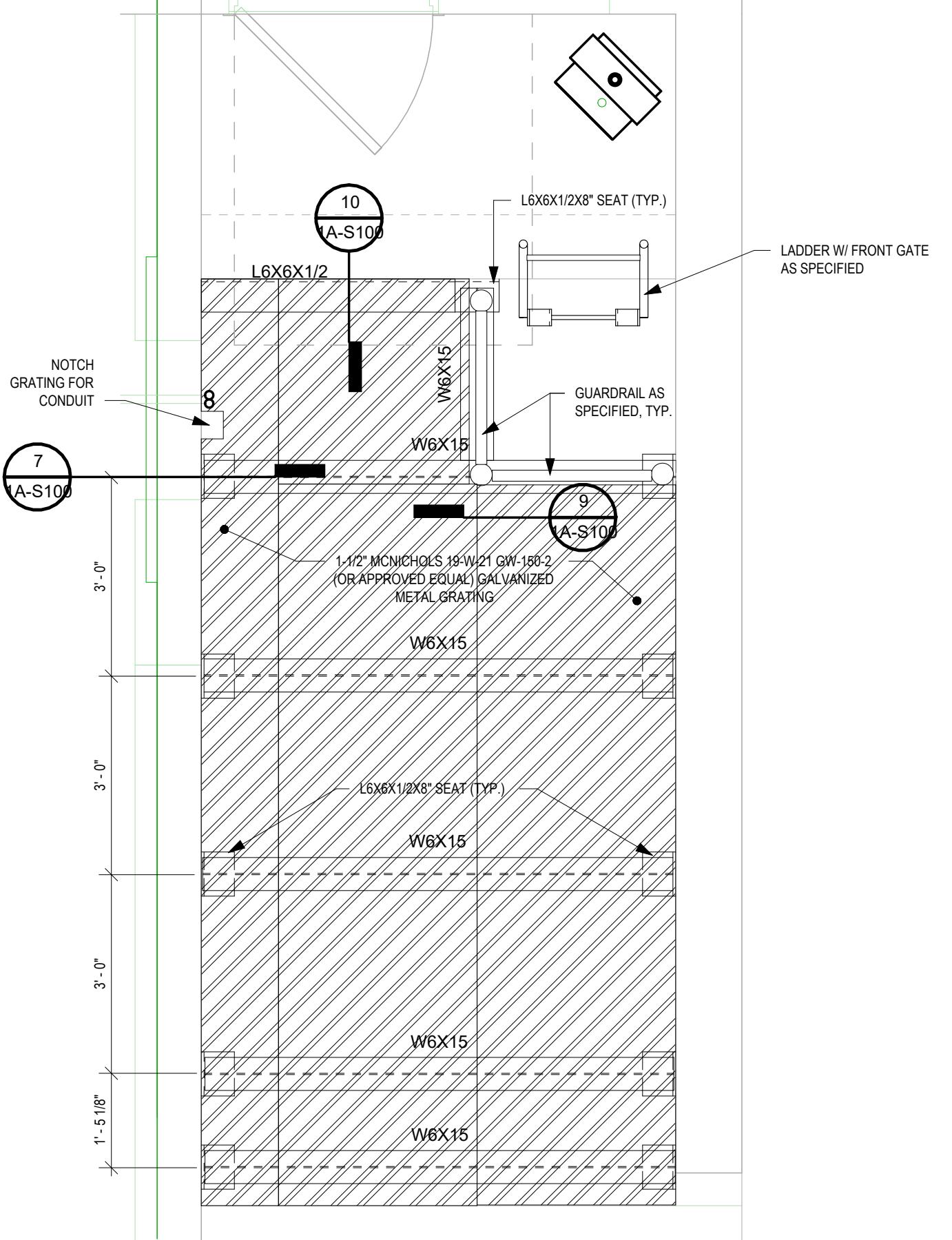
4 EXISTING LOWER LEVEL SLAB PLAN
SCALE: 1/2" = 1'-0"



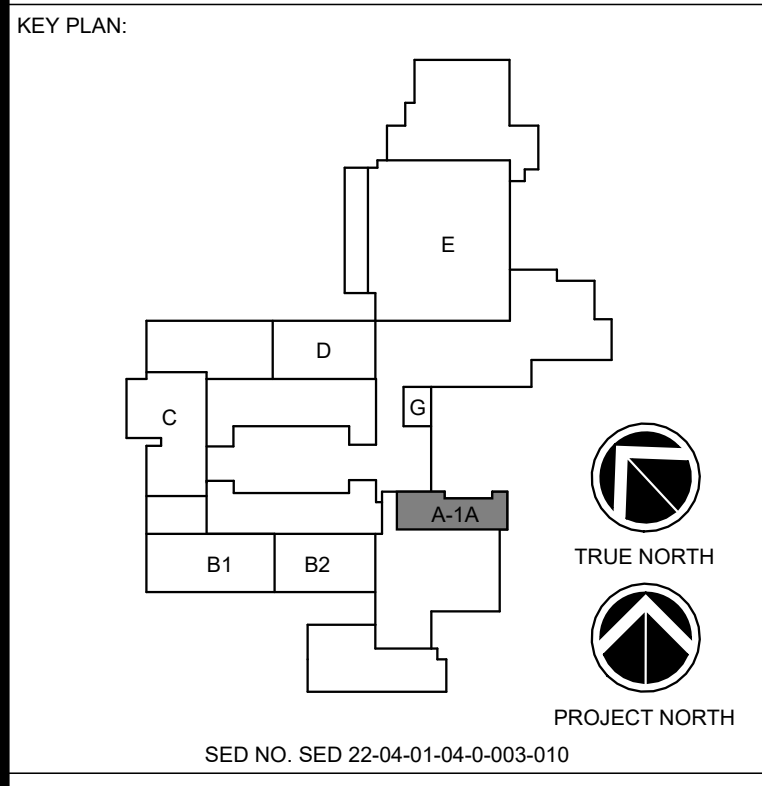
3 LOWER LEVEL SLAB PLAN
SCALE: 1/2" = 1'-0"



2 FIRST FLOOR DEMO PLAN
SCALE: 1/2" = 1'-0"



1 FIRST FLOOR FRAMING PLAN
SCALE: 1/2" = 1'-0"



KEY PLAN:
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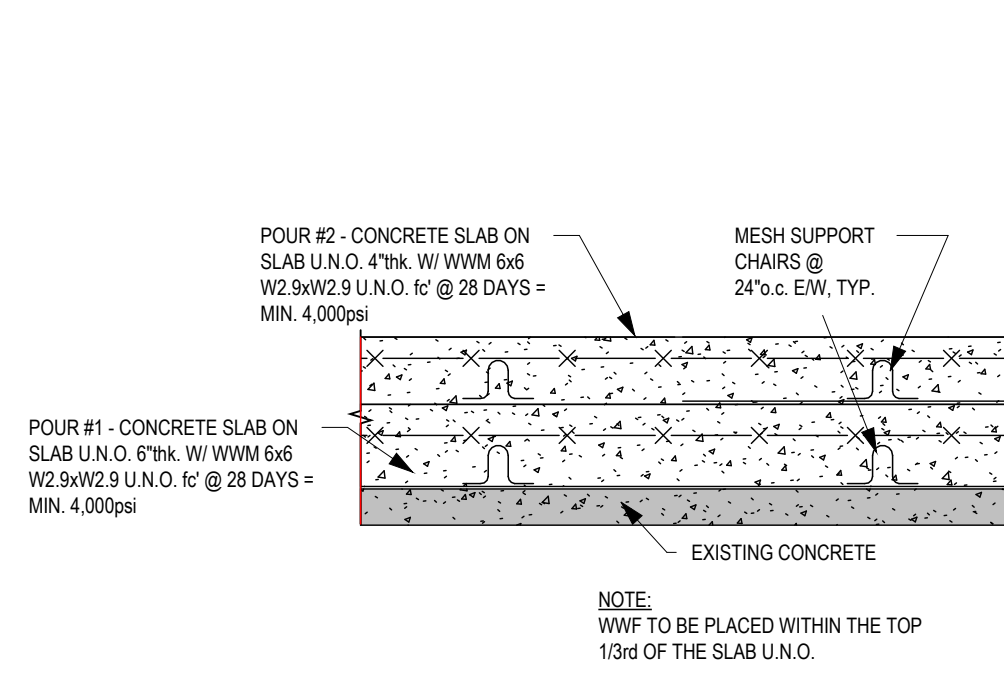


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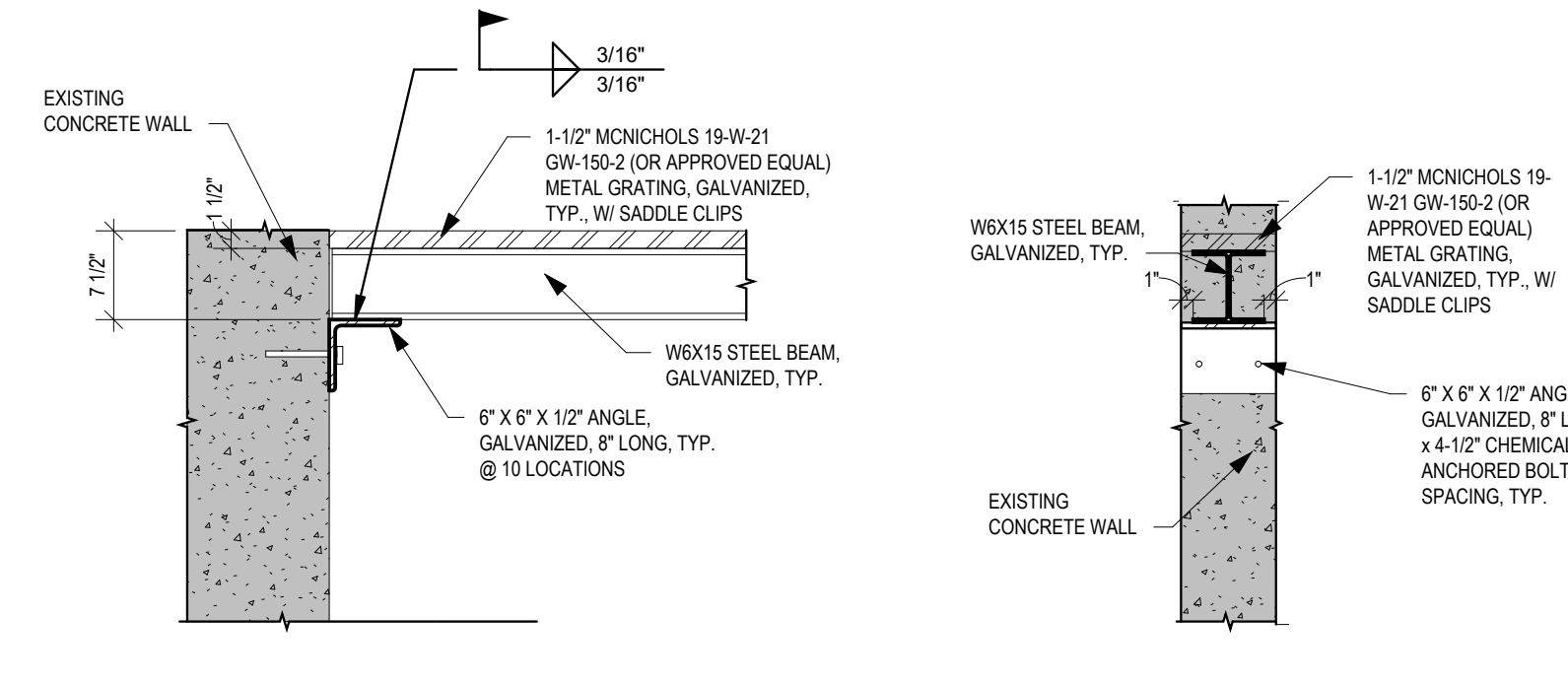
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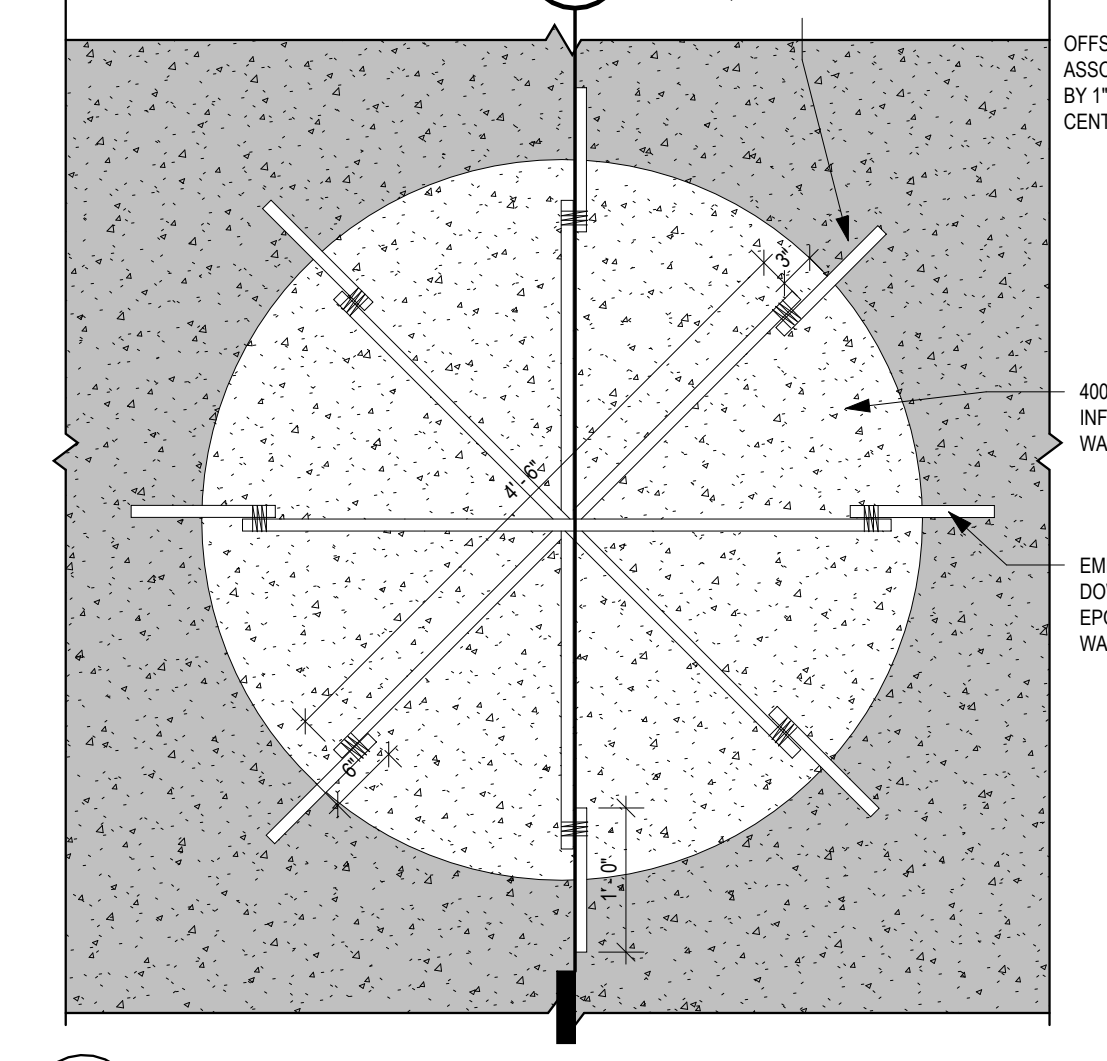
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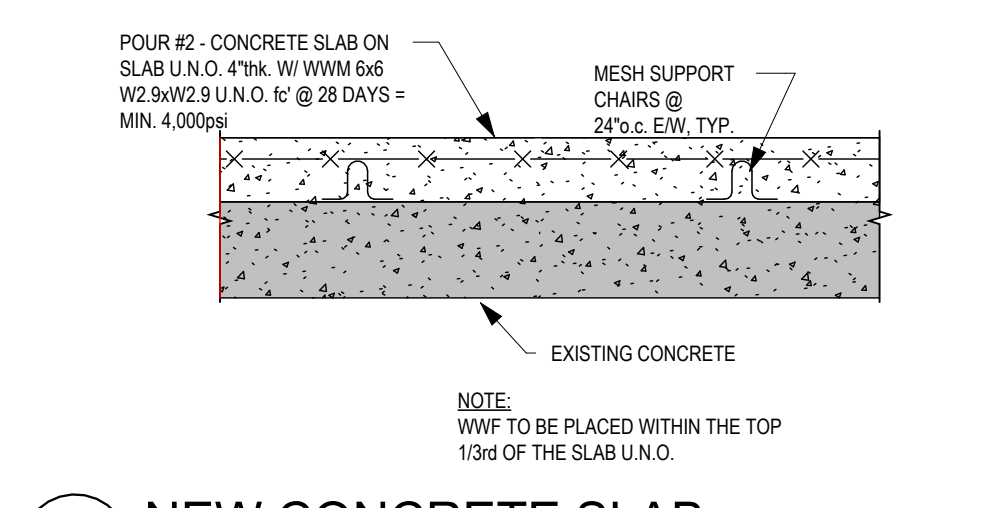
8 NEW CONCRETE SLAB
SCALE: 1" = 1'-0"



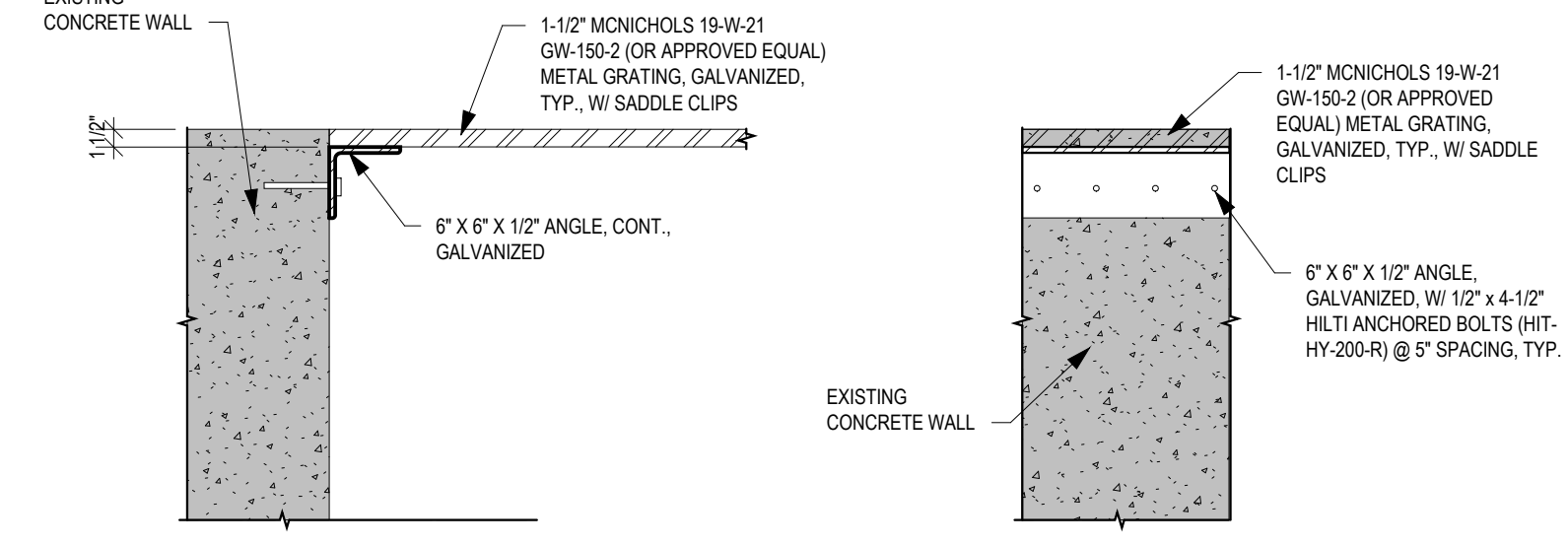
7 BEAM BEARING SEAT
SCALE: 3/4" = 1'-0"



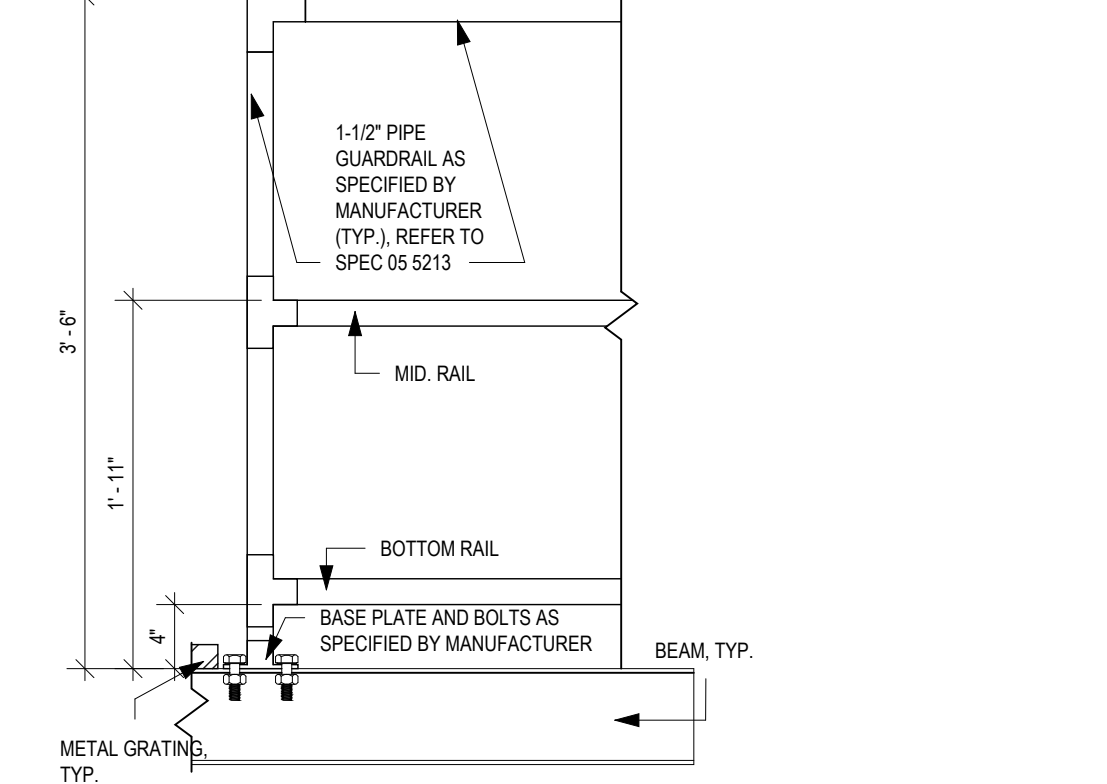
6 CONCRETE INFILL @ TANK
SCALE: 3/4" = 1'-0"



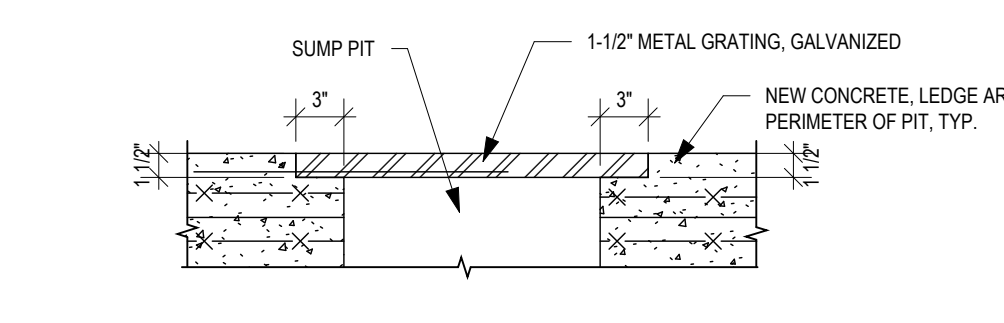
11 NEW CONCRETE SLAB
SCALE: 1" = 1'-0"



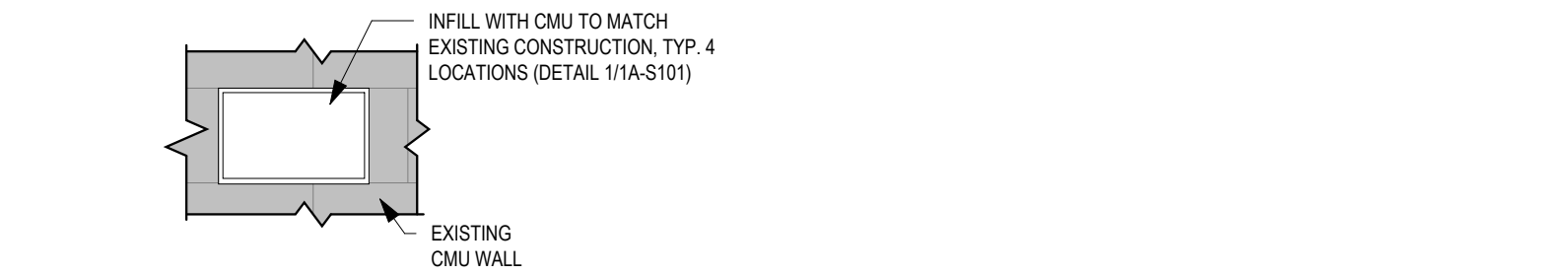
10 TYP. ANGLE CONNECTION AT CONCRETE WALL
SCALE: 3/4" = 1'-0"



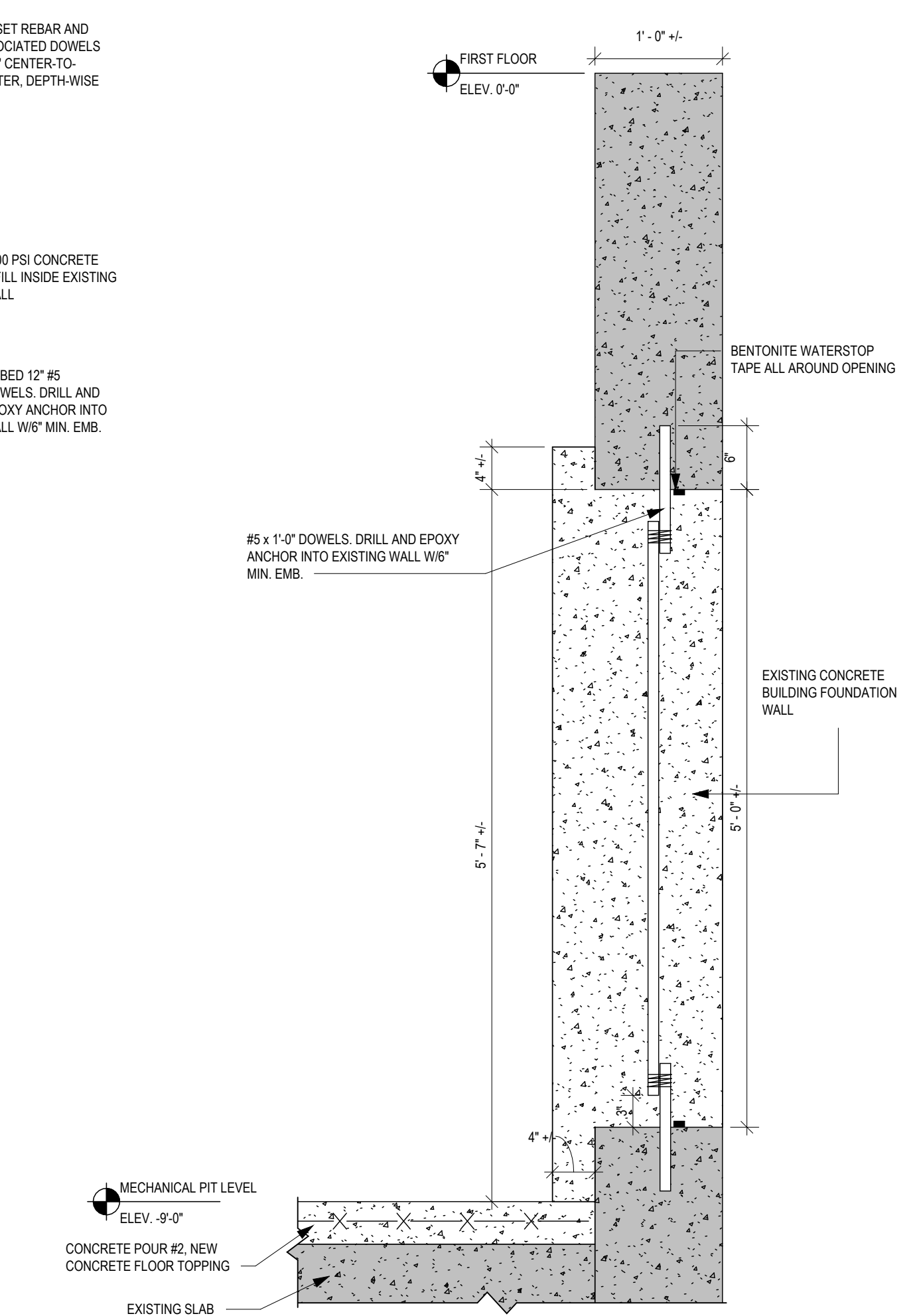
9 TYP. GUARDRAIL
SCALE: 1" = 1'-0"



13 TYP. SUMP PIT
SCALE: 1" = 1'-0"



12 TYP. WALL CMU POCKET INFILL
SCALE: 3/4" = 1'-0"

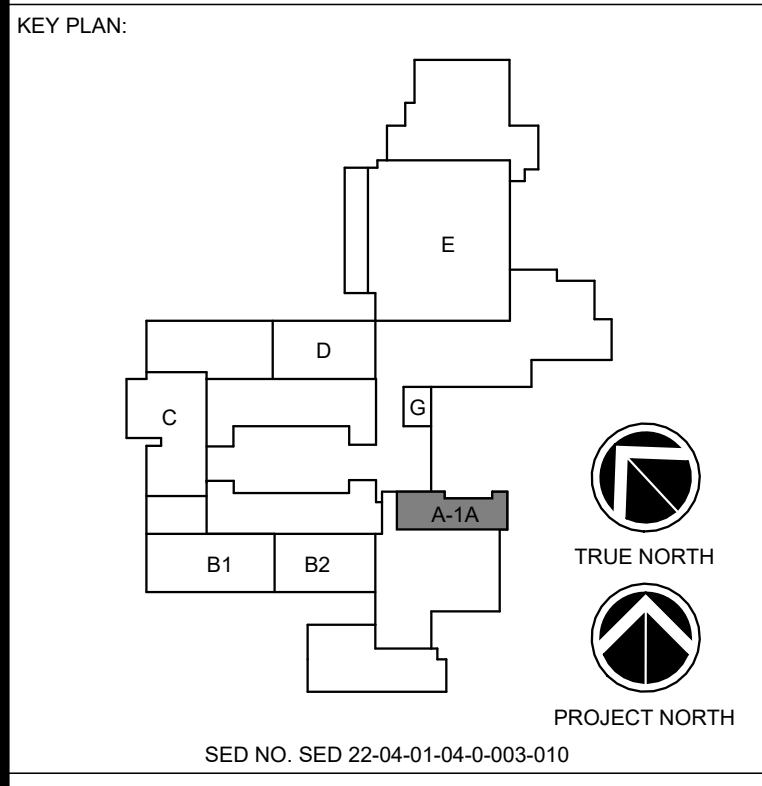


5 WALL INFILL
SCALE: 1" = 1'-0"

7/23/2024 3:14:31 PM



1 MASONRY INFILL
SCALE: NOT TO SCALE



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DRAWN BY KMD	PROJECT NUMBER 2023-105
CHECKED BY MBK	DATE 09/16/2024

MECHANICAL PIT

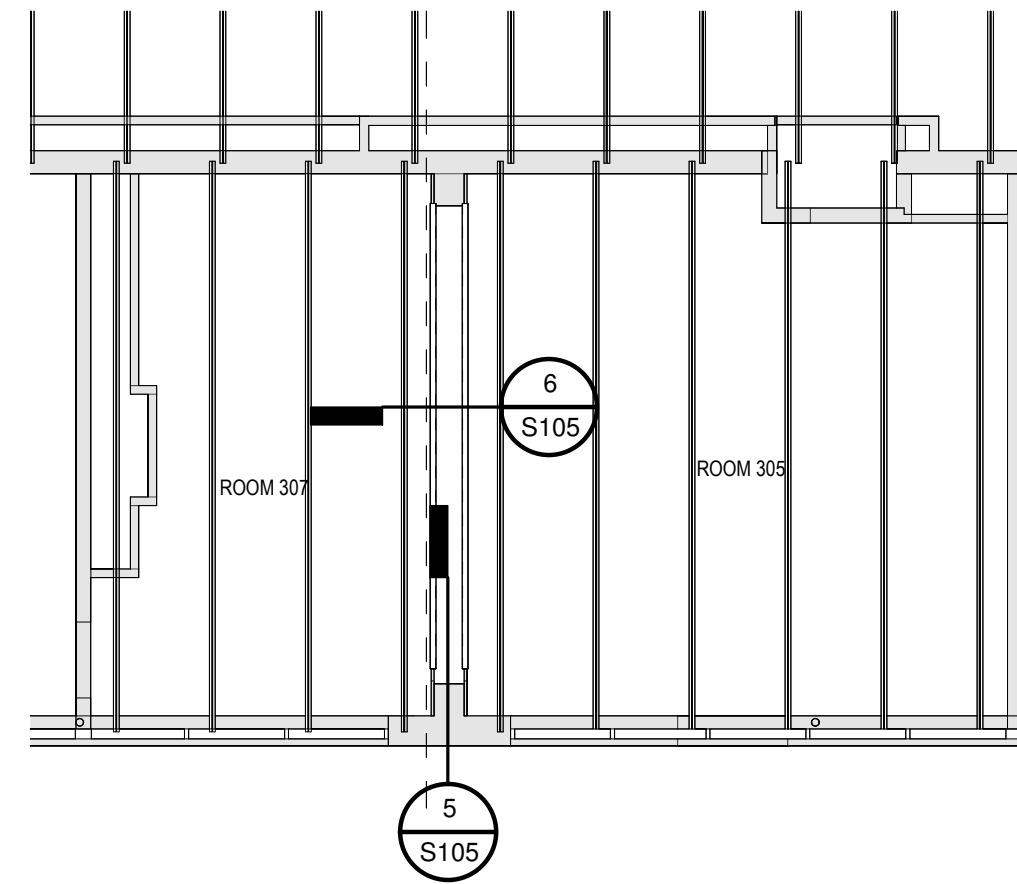
BUILDING NUMBER HS	SHEET NUMBER 1A-S101 BID
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Structural Design Criteria:

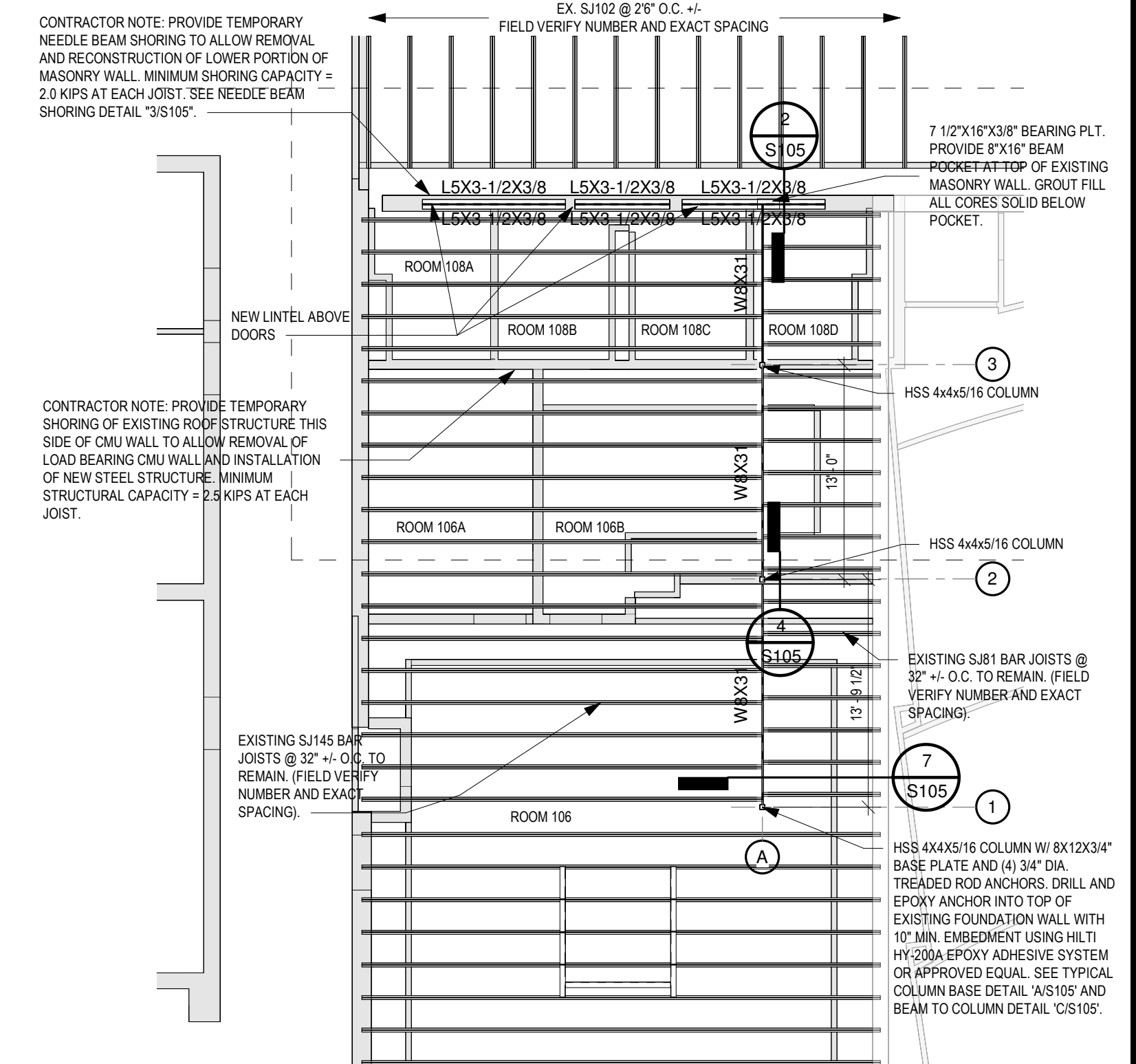
1. **Building Code:**
 - 1.1 Building Code: 2020 Building Code of New York State
 - 1.2 2020 Existing Building Code of New York State
 - 1.3 ASCE7-16
 - 1.4 Occupancy Category: III
 - 1.5 Design Basis: Allowable Stress Design
2. **Floor Live Loads:** Classrooms 40psf
3. **Snow Loads:**
 - 3.1 Ground Snow Load Pg: 60psf
 - 3.2 Flat Roof Snow Load Pf: 46psf
 - 3.3 Snow Exposure Factor Ce: 1.00
 - 3.4 Snow Importance Factor Is: 1.10
 - 3.5 Thermal Factor Ct: 1.00
4. **Wind Loads:**
 - 4.1 Basic Wind Speed Vult=115mph, Vasd=89mph
 - 4.2 Wind Exposure B
 - 4.3 Internal Pressure Coeff +/- 0.18 Enclosed Structure
5. **Earthquake Design Data:**
 - 5.1 Seismic Importance Factor Ie: 1.25
 - 5.2 Seismic Importance Factor Ip: 1.00 (Mechanical)
 - 5.3 Site Class D (Default)
 - 5.4 Mapped Spectral Response:

5.4.1 Short Term	Ss: 0.177g
5.4.2 1 Sec	S1: 0.060g
 - 5.5 Design Spectral Response:

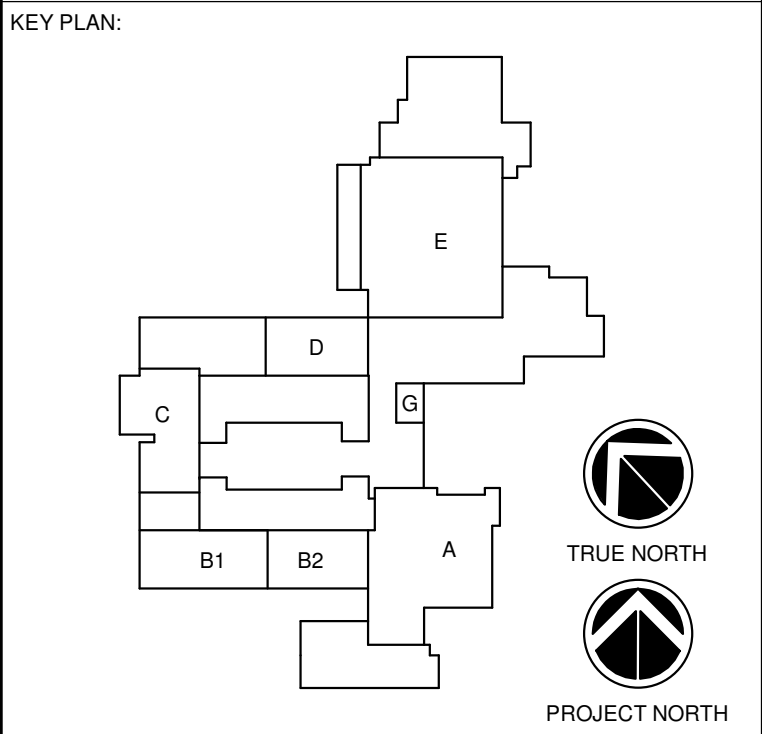
5.5.1 Short Term	SDs: 0.189g
5.5.2 1 Sec	SD1: 0.096g
 - 5.6 Response Modification Factor Rp: 6 (Mechanical Roof Top Equipment)
 - 5.7 Horizontal Equipment Force: As calculated per ASCE7 13.3-1.
 - 5.8 Seismic Design Category: B
6. **Allowable Soil Bearing Pressure:** N/A



2 MASONRY OPENING PLAN
SCALE: 1/8" = 1'-0"



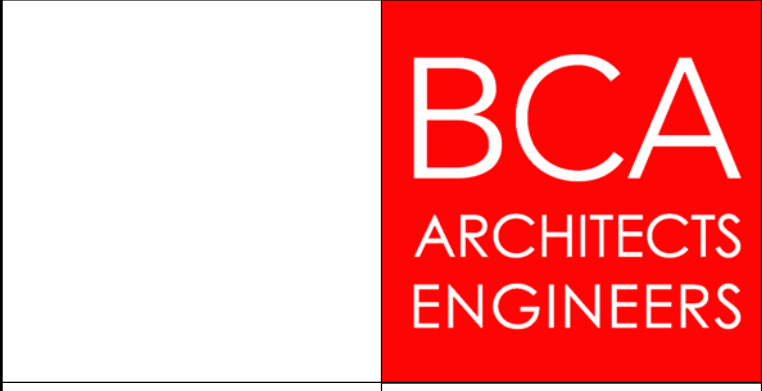
1 LOAD BEARING WALL REMOVAL PLAN - BAND ROOM
SCALE: 1/8" = 1'-0"



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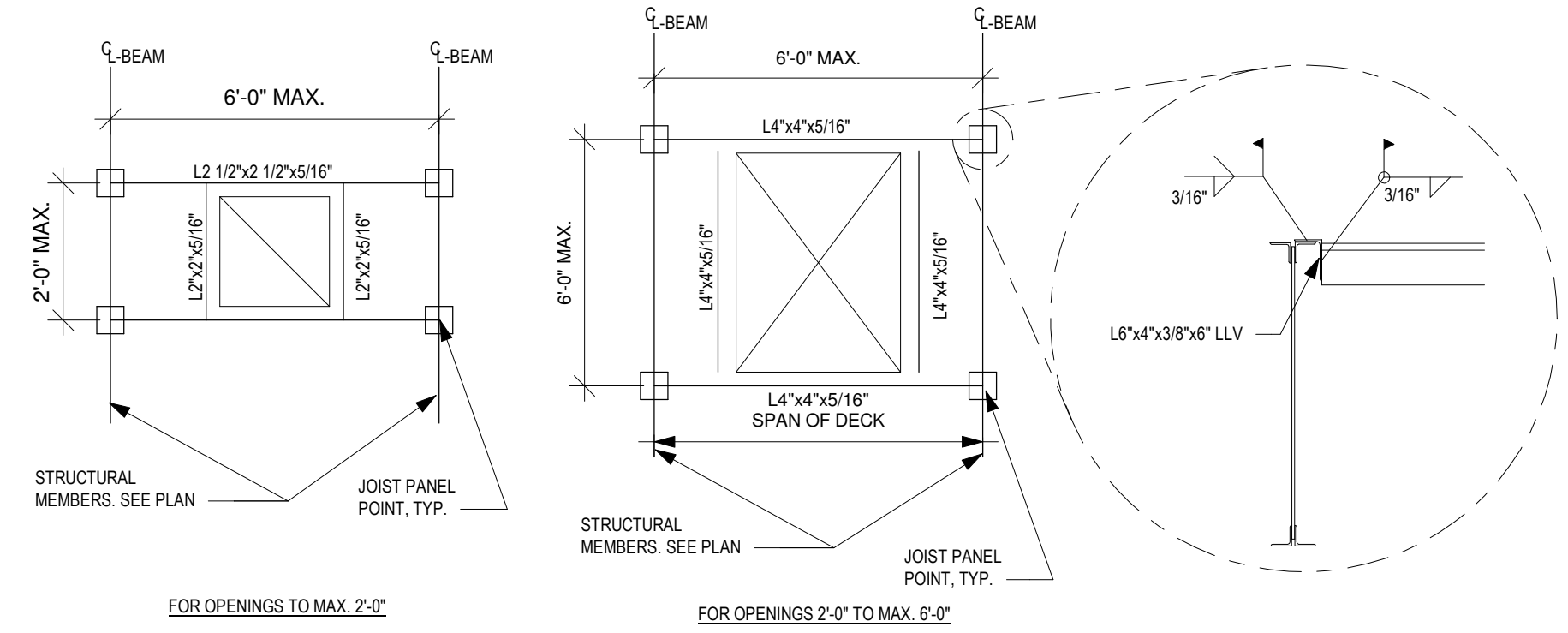
DRAWN BY KMD	PROJECT NUMBER 2023-105
CHECKED BY MBK	DATE 09/16/2024

FRAMING PLAN

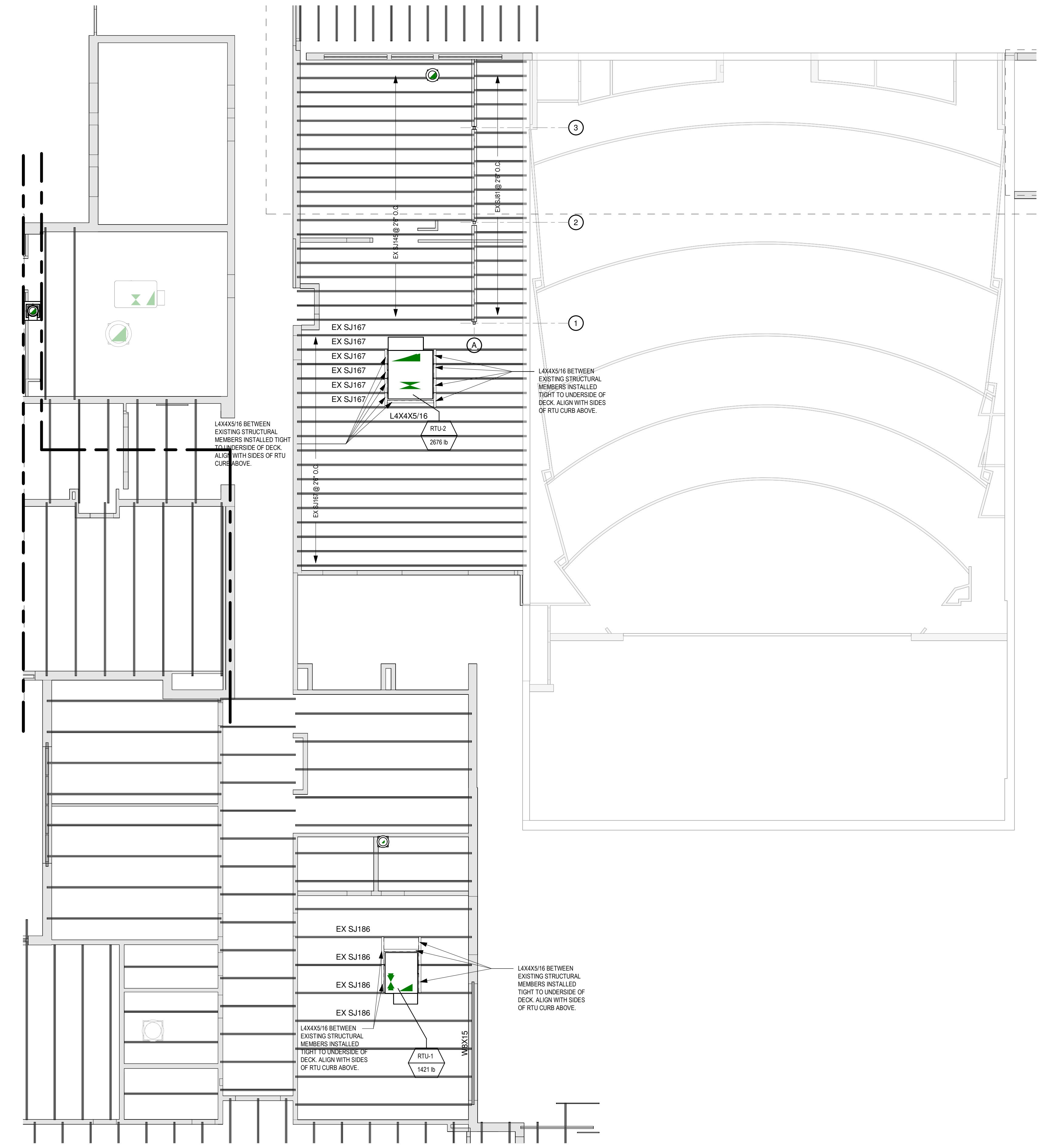
BUILDING NUMBER HS	SHEET NUMBER S100 BID
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- GENERAL NOTES FOR SUPPLEMENTAL RTU FRAMING:
- G.C. AND MECH. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURAL MEMBER SIZES AND SPACING PRIOR TO LOCATING NEW ROOF TOP MECHANICAL EQUIPMENT AND ASSOCIATED OPENINGS IN EXISTING ROOF DECK.
 - EXISTING ROOF DECK MAY BE CONCRETE PLANKS AND/OR PLANKS SUPPORTED BY BULB TEES. INSTALL NEW SUPPORT ANGLES TIGHT TO UNDERSIDE OF DECK AS INDICATED PRIOR TO CUTTING ANY OPENING. DAMAGE TO EXISTING ROOF DECK FOR FAILURE TO INSTALL SUPPORT ANGLES FIRST SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - SHOULD EXISTING JOIST BRIDGING INTERFERE WITH NEW OPENINGS IN DECK, G.C. SHALL NOTIFY A/E AND RELOCATE OR PROVIDE NEW BRIDGING TO MATCH EXISTING MATERIAL AS NECESSARY.
 - IN ADDITION TO THE ANGLES SHOWN UNDER SIDES OF ROOF TOP EQUIPMENT CURBS, PROVIDE ANGLE SUPPORT FRAMES ACCORDING TO THE STANDARD ROOF PENETRATION DETAILS SHOWN ON THIS SHEET AROUND ALL (6) SIDES OF ANY NEW ROOF PENETRATION ASSOCIATED WITH RTU INSTALLATION.
 - G.C. PLEASE BE ADVISED THAT ROOF TOP MECHANICAL EQUIPMENT IS BEING BID UNDER MULTIPLE "BID ALTERNATES" STRUCTURAL WORK ASSOCIATED WITH SAID EQUIPMENT IS ALSO PART OF THOSE RESPECTIVE ALTERNATIVES.



NOTE:
1. COORDINATE EXACT SIZE AND LOCATION W/ ACTUAL EQUIPMENT USED AND W/ ARCH, MECH AND ELECTRICAL DRAWINGS



1 ROOF FRAMING PLAN AREA A
SCALE: 1/8" = 1'-0"

KEY PLAN:

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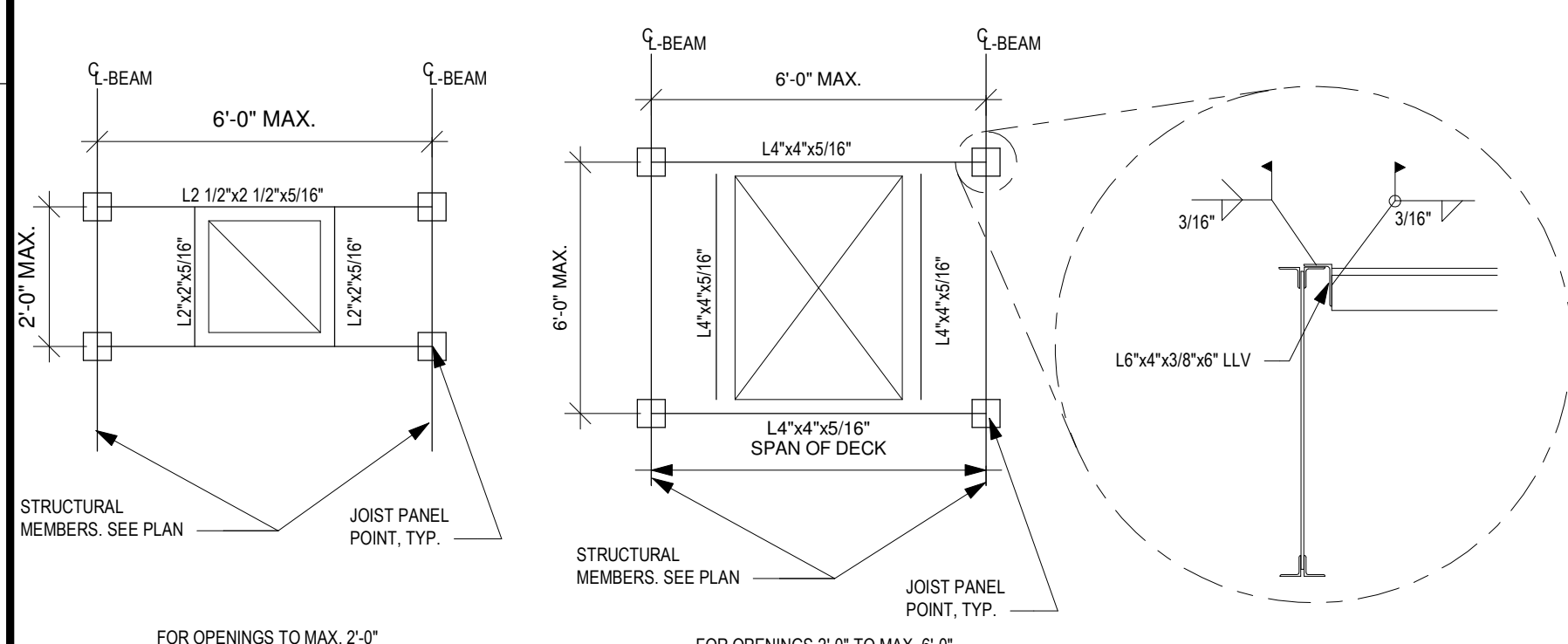
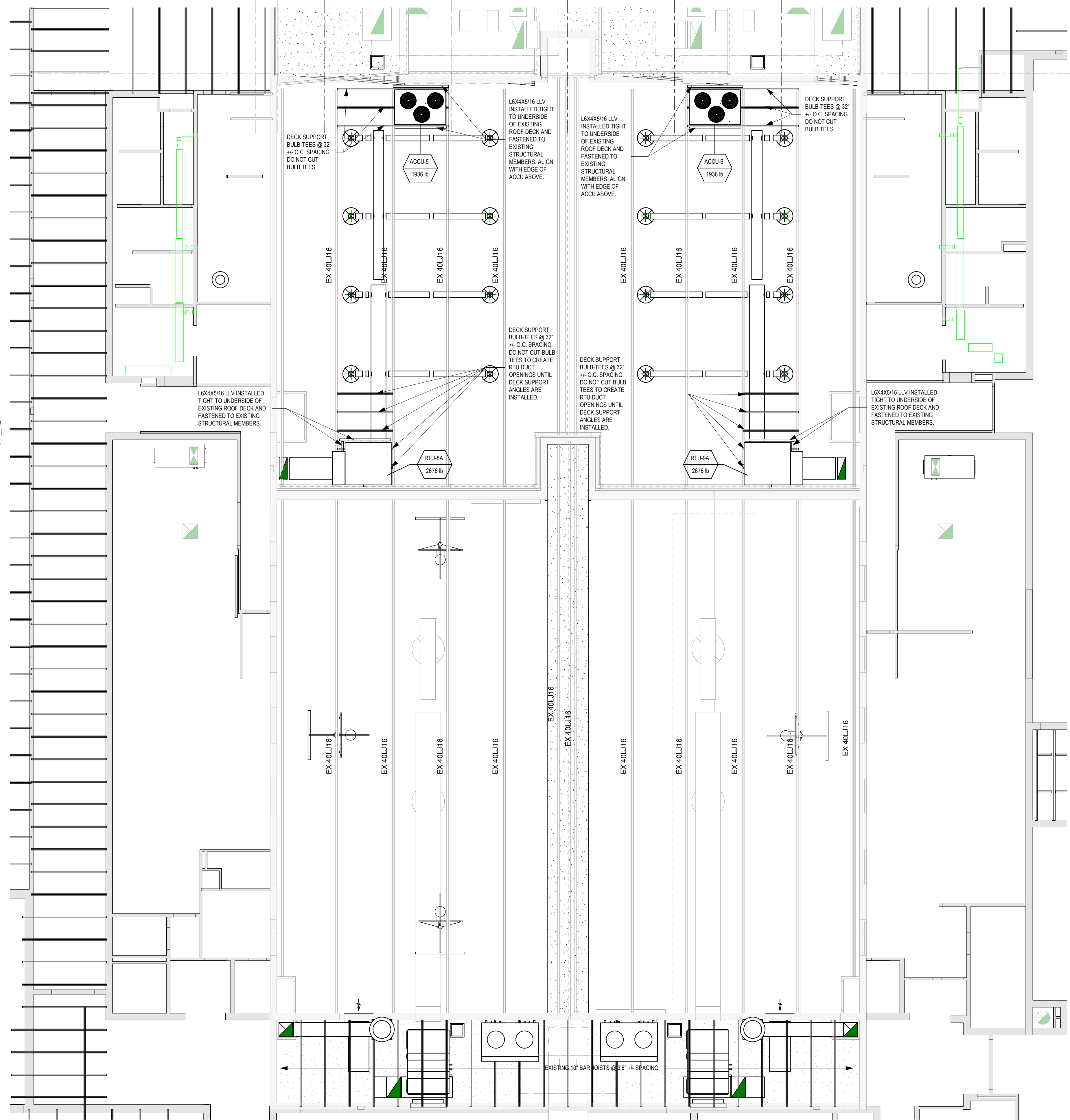
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REV	DATE	DESCRIPTION
DRAWN BY	KMD	PROJECT NUMBER
CHECKED BY	MBK	DATE
FRAMING PLAN		
BUILDING NUMBER	HS	SHEET NUMBER
		S101
		BID

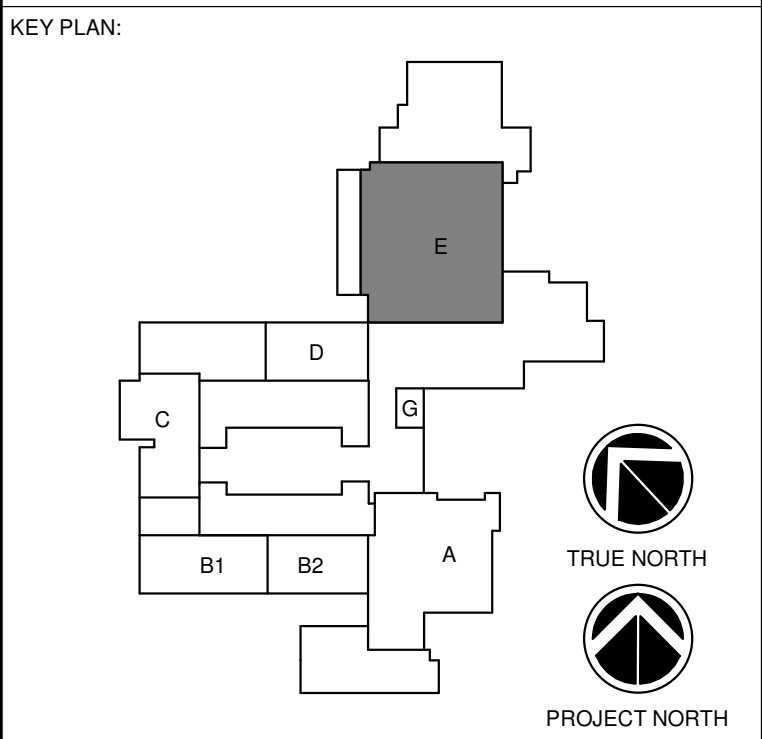
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GENERAL NOTES FOR SUPPLEMENTAL RTU FRAMING:

1. G.C. AND MECH. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING STRUCTURAL MEMBER SIZES AND SPACING PRIOR TO LOCATING NEW ROOF TOP MECHANICAL EQUIPMENT AND ASSOCIATED OPENINGS IN EXISTING ROOF DECK.
2. EXISTING ROOF DECK MAY BE CONCRETE PLANKS AND/OR PLANKS SUPPORTED BY BULB TEES. INSTALL NEW SUPPORT ANGLES TIGHT TO UNDERSIDE OF DECK AS INDICATED PRIOR TO CUTTING ANY OPENING. DAMAGE TO EXISTING ROOF DECK FOR FAILURE TO INSTALL SUPPORT ANGLES FIRST SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
3. SHOULD EXISTING JOIST BRIDGING INTERFERE WITH NEW OPENINGS IN DECK, G.C. SHALL NOTIFY A/E AND RELOCATE OR PROVIDE NEW BRIDGING TO MATCH EXISTING MATERIAL AS NECESSARY.
4. IN ADDITION TO THE ANGLES SHOWN UNDER SIDES OF ROOF TOP EQUIPMENT CURBS, PROVIDE ANGLE SUPPORT FRAMES ACCORDING TO THE STANDARD ROOF PENETRATION DETAILS SHOWN ON THIS SHEET AROUND ALL (6) SIDES OF ANY NEW ROOF PENETRATION ASSOCIATED WITH RTU INSTALLATION.
5. G.C. PLEASE BE ADVISED THAT ROOF TOP MECHANICAL EQUIPMENT IS BEING BID UNDER MULTIPLE "BID ALTERNATES" STRUCTURAL WORK ASSOCIATED WITH SAID EQUIPMENT IS ALSO PART OF THOSE RESPECTIVE ALTERNATIVES.



NOTE:
1. COORDINATE EXACT SIZE AND LOCATION W/ ACTUAL EQUIPMENT USED AND W/ ARCH, MECH AND ELECTRICAL DRAWINGS



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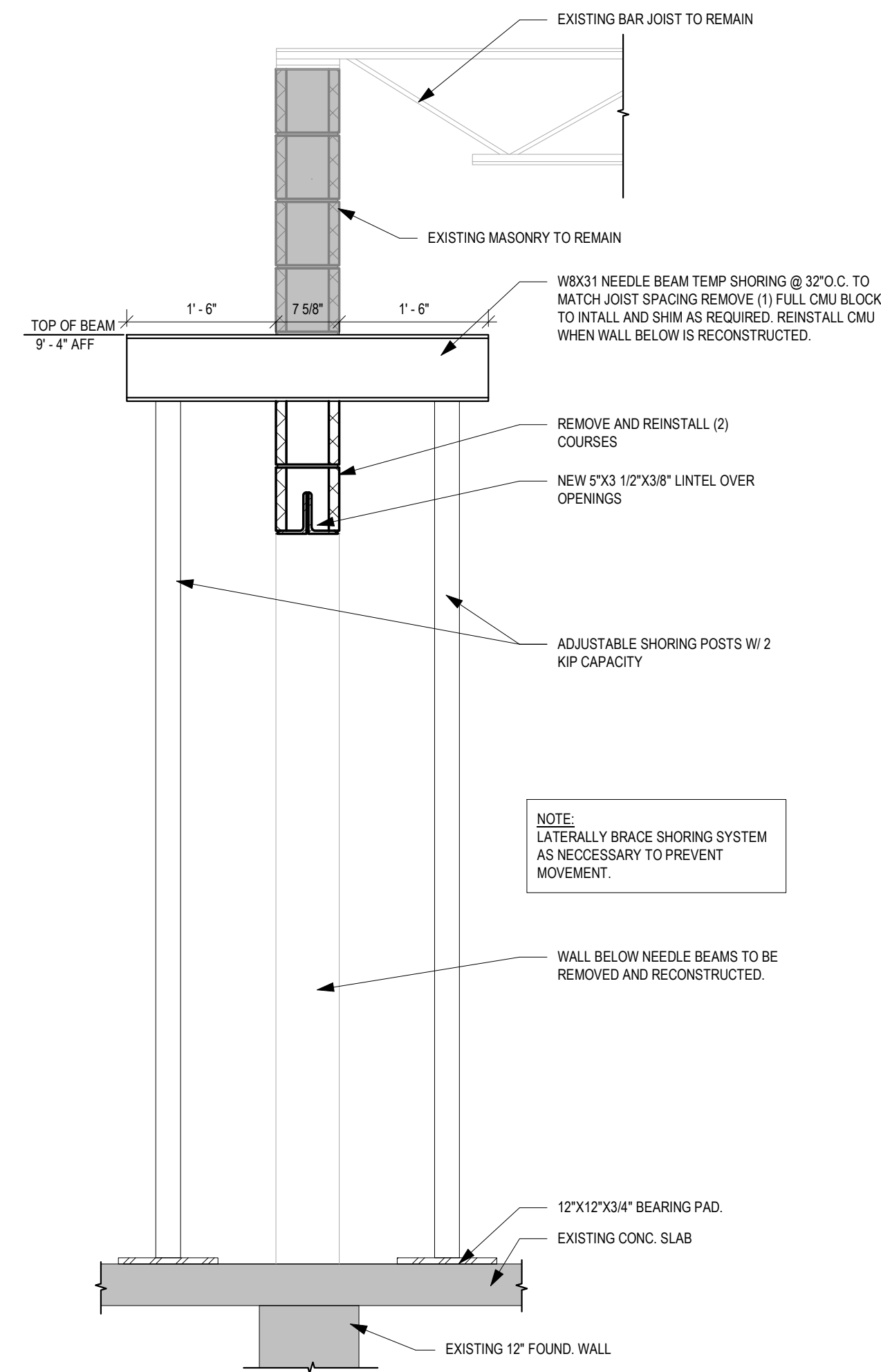
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CHECKED BY MBK	DATE 09/16/2024

FRAMING PLAN

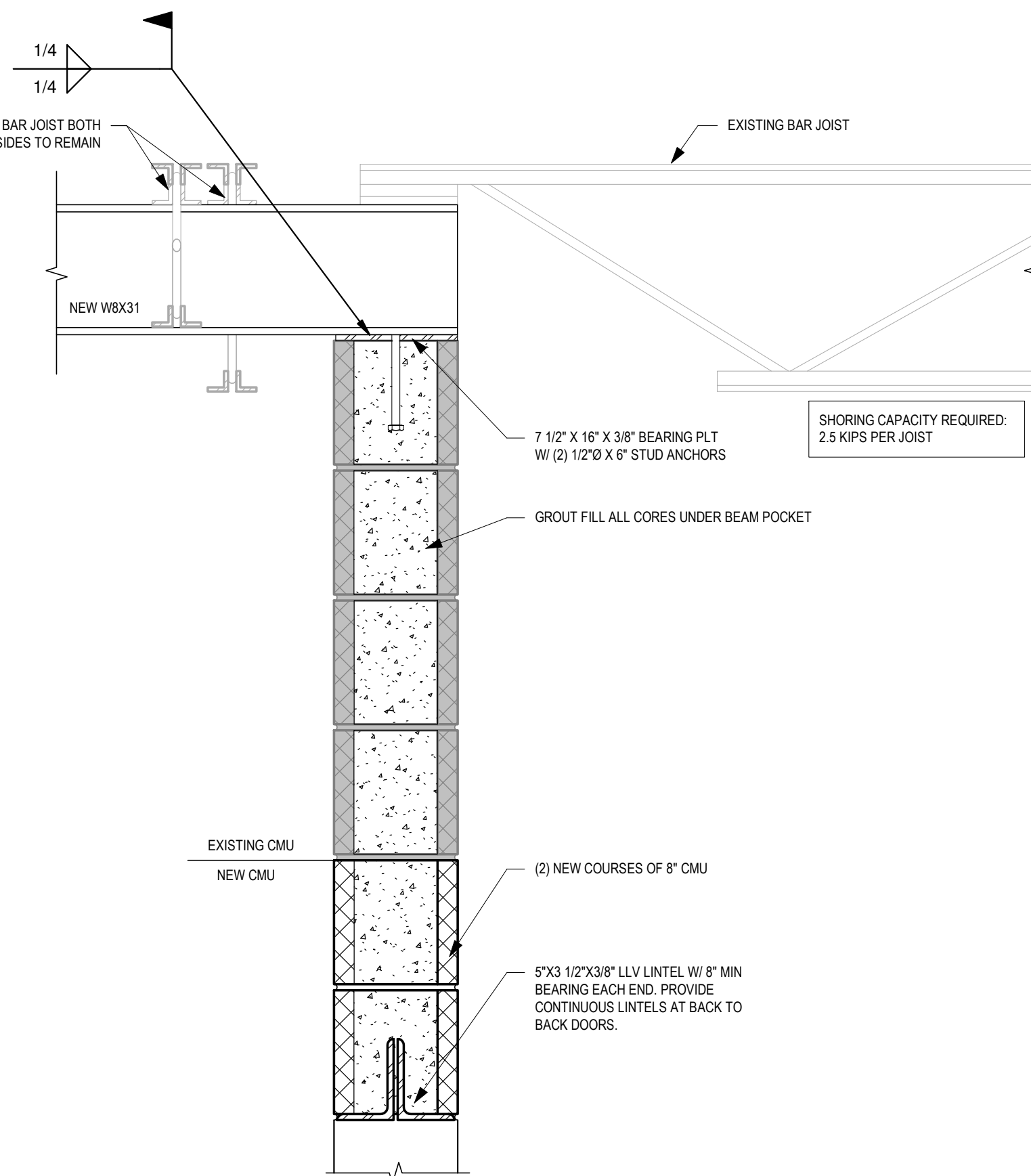
BUILDING NUMBER HS	SHEET NUMBER S104 BID
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1 ROOF FRAMING PLAN AREA E
SCALE: 1/8" = 1'-0"

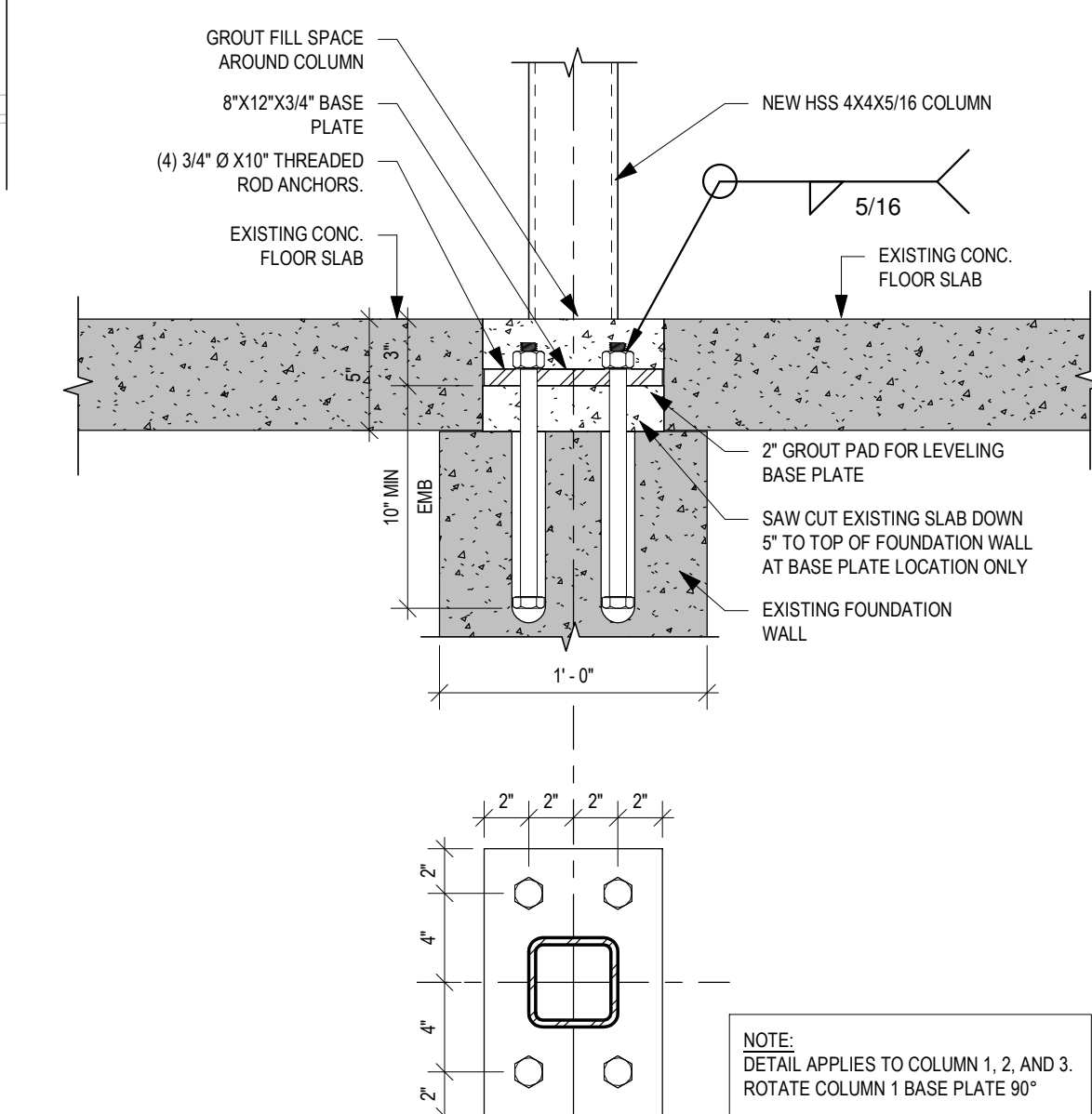
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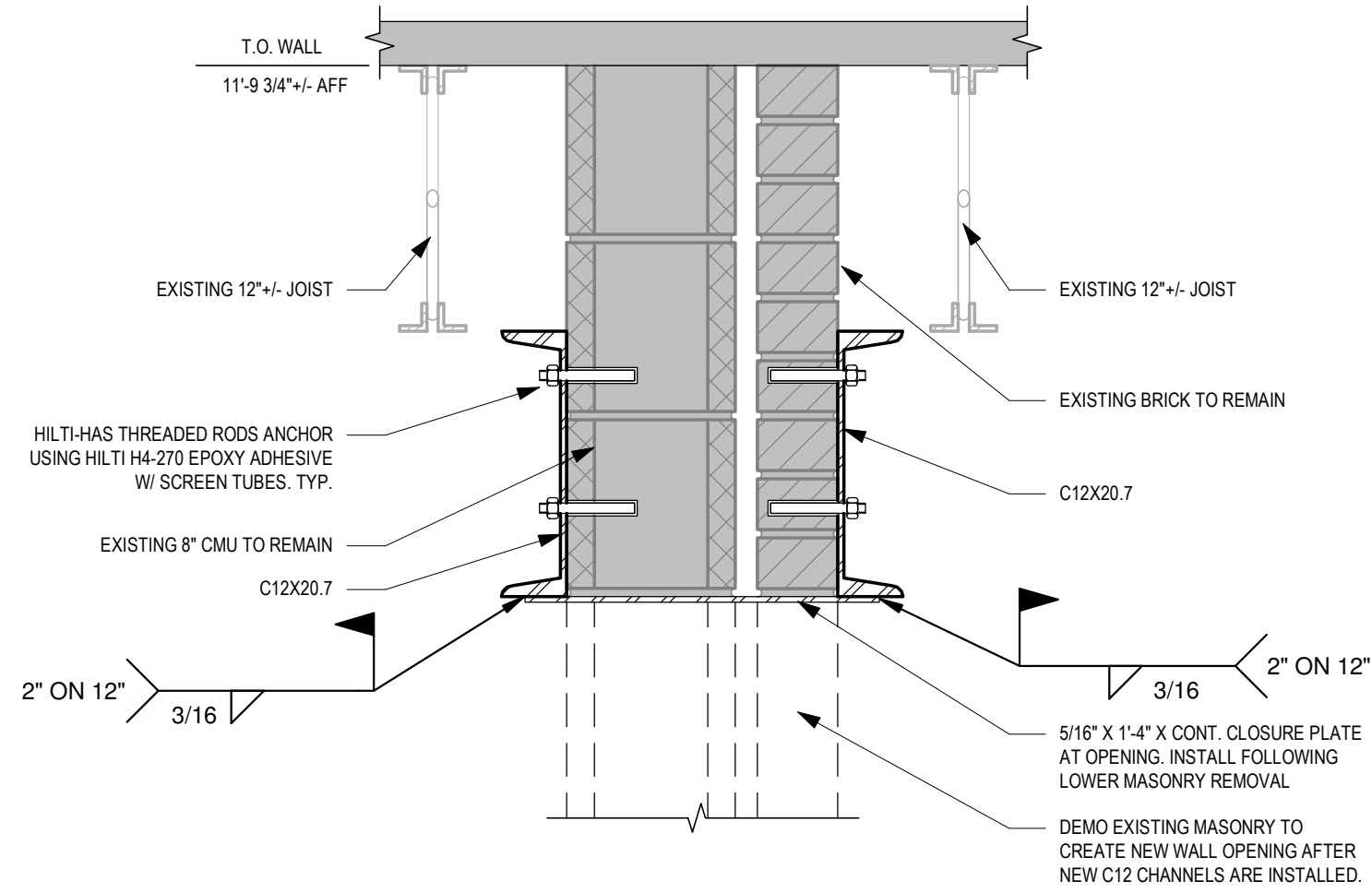
3 NEEDLE BEAM SHORING DETAIL
SCALE: 3/4" = 1'-0" (USED AT WALL BETWEEN CORRIDOR AND BATHROOMS)



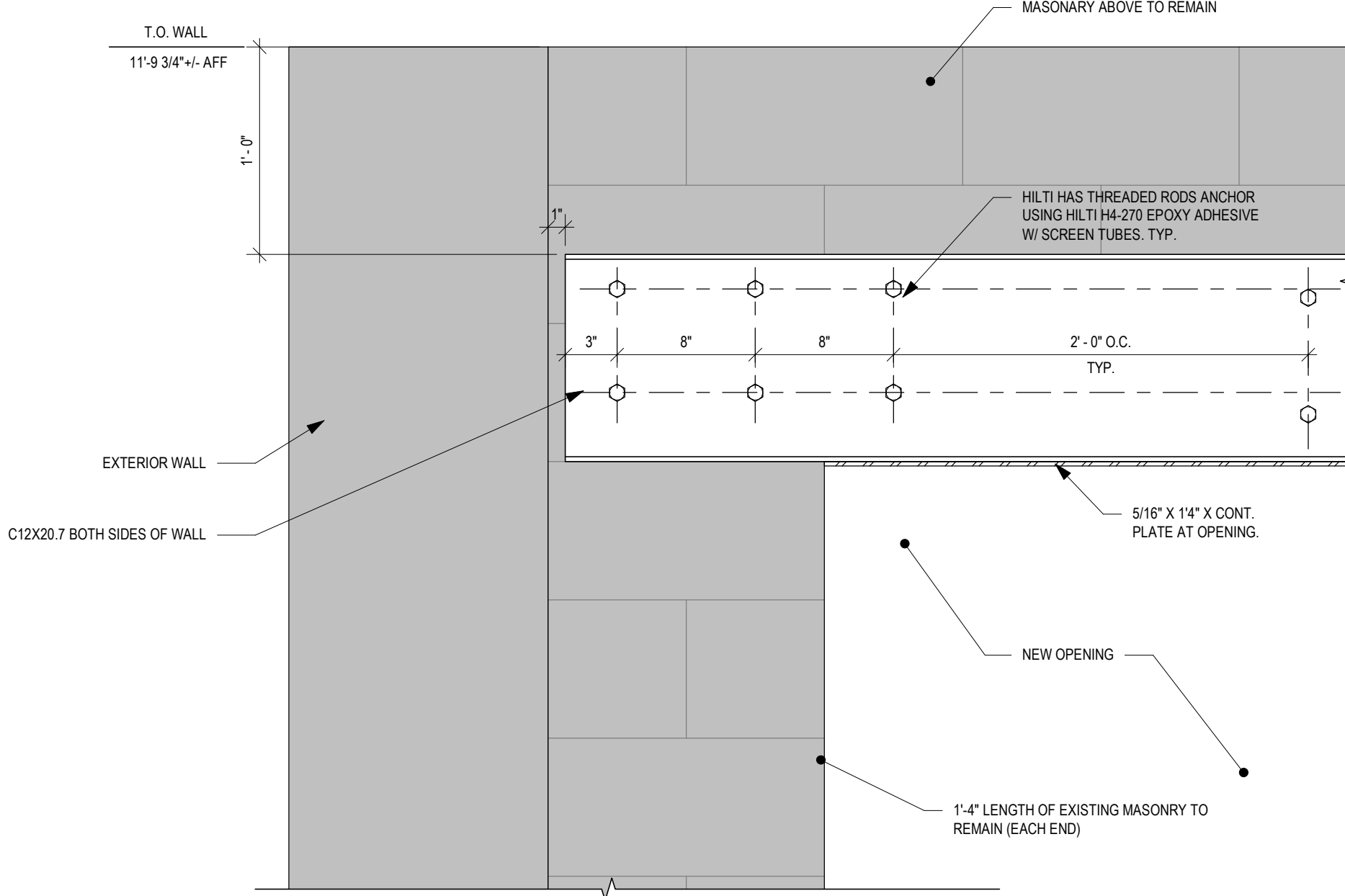
2 BEAM POCKET DETAIL
SCALE: 1 1/2" = 1'-0"



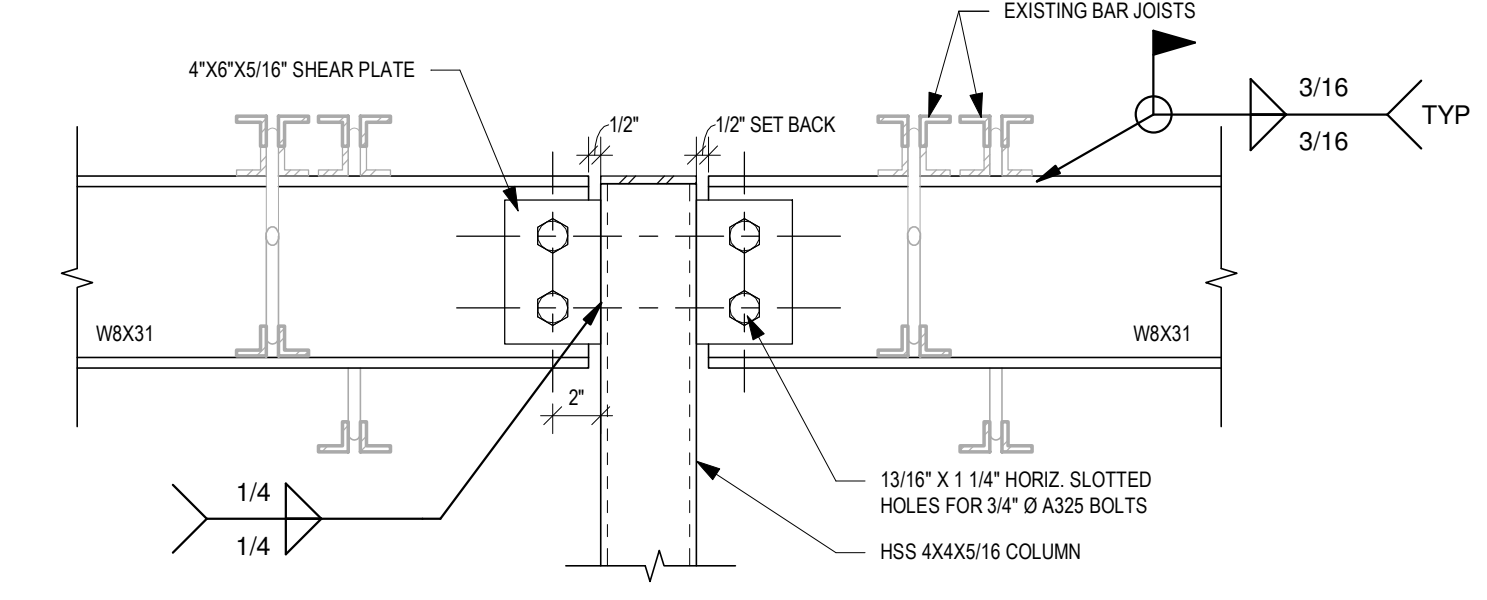
1 TYPICAL COLUMN BASE DETAIL
SCALE: 1 1/2" = 1'-0"



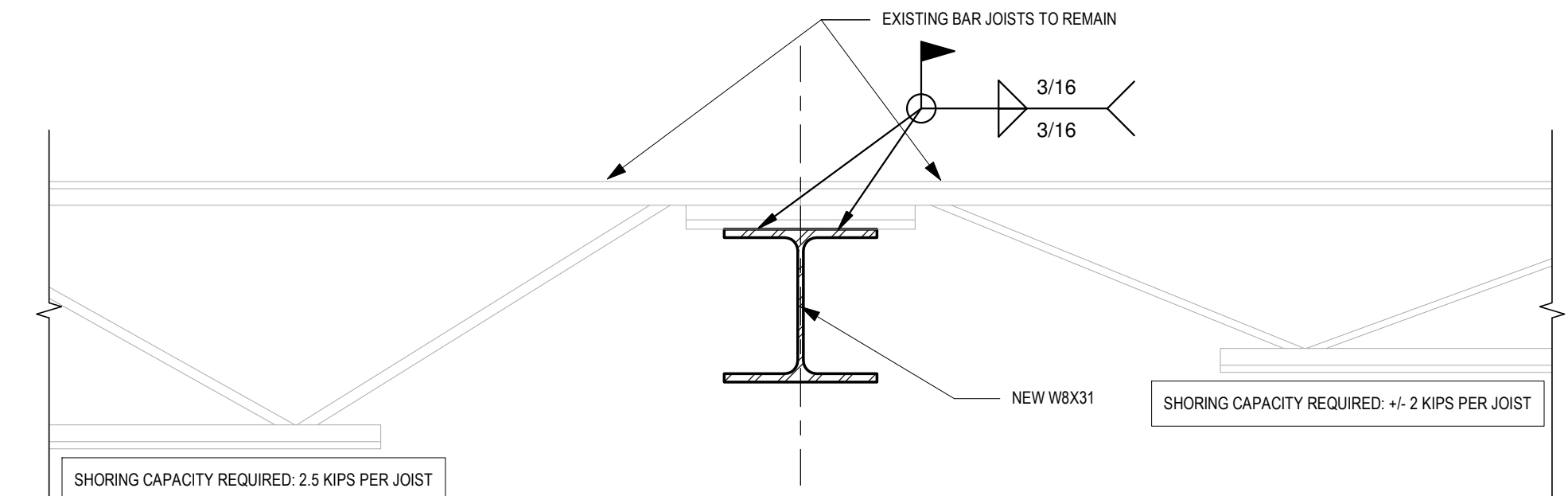
6 STRUCTURAL HEADER END DETAIL
SCALE: 1 1/2" = 1'-0"



5 STRUCTURAL HEADER END DETAIL
SCALE: 1 1/2" = 1'-0"



4 STEEL CONNECTION DETAIL
SCALE: 1 1/2" = 1'-0"

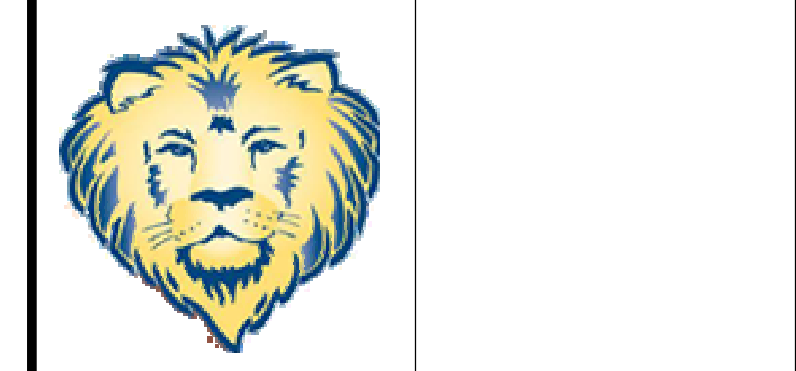


7 EXISTING BAR JOIST TO NEW W8 CONNECTION
SCALE: 1 1/2" = 1'-0"

NOTES:
1. CONTRACTOR SHALL PROVIDE TEMPORARY ROOF STRUCTURE SHORING TO ALLOW REMOVAL OF EXISTING CMU BEARING WALL AND INSTALLATION OF NEW W8X31 SUPPORT BEAMS.
2. REMOVE EXISTING JOIST BEARING PLATES AS NECESSARY TO ALLOW DIRECT WELD TO NEW BEAM. (TYP ALL JOISTS).

KEY PLAN:
TRUE NORTH
PROJECT NORTH
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STRUCTURAL DETAILS

BUILDING NUMBER
HS

SHEET NUMBER
S105
BID

11/1/2024 9:42:39 AM

MARK	THICKNESS		STC	UL	FIRE RATING	ACOUSTICAL INSULATION	DESCRIPTION
	OVERALL	CMU SIZE					
6	5 5/8"	6"					8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.
6a*	7 3/8"	6"			1 HOUR		(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF CMU. - SCREW ATTACHED @ 12" O.C. 8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.
6b*	6 1/2"	6"			1 HOUR		(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON ONE SIDE OF CMU. - SCREW ATTACHED @ 12" O.C. 8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.
8*	7 5/8"	8"			1 HOUR		8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.
8a	8 1/4"	8"					(1) LAYER OF 5/8" GYPSUM BOARD ON ONE SIDE OF CMU. - SCREW ATTACHED @ 12" O.C. 8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.
8b*	9 3/8"	8"			1 HOUR		(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF CMU. - SCREW ATTACHED @ 12" O.C. 8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.

MARK	THICKNESS		STC	UL	FIRE RATING	ACOUSTICAL INSULATION	DESCRIPTION
	OVERALL	STUD					
1a	1 1/2"						(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 7/8" HAT CHANNEL @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - PERIMETER CAULKED.
1b	7/8"						(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 8" CMU. SEE SPECIFICATION FOR MASONRY REQUIREMENTS. - PERIMETER CAULKED.
1c	2 5/8"						(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 7/8" HAT CHANNEL @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - PERIMETER CAULKED.
4	4 7/8"	3 5/8"	39			Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4*	4 7/8"	3 5/8"	39	U465	1 HOUR	Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4b	4 1/4"	3 5/8"				Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4c	5 3/8"	3 5/8"				Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4c*	5 3/8"	3 5/8"			1 HOUR	Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4d	4 1/2"	3 5/8"				Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4e	5 1/8"	3 5/8"				Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
4e*	5 1/8"	3 5/8"			1 HOUR	Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 3 5/8" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6	7 1/4"	6"				Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6*	7 1/4"	6"			1 HR	Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6a	7 3/4"	6"				Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6a*	7 3/4"	6"			1 HR	Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6b	6 5/8"	6"				Yes	(1) LAYER OF 5/8" TYPE-X GYPSUM BOARD ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6c*	7 1/2"	6"			1 HOUR	Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON EACH SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6d*	8"	6"			1 HOUR	Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.
6e*	7 1/4"	6"			1 HOUR	Yes	(1) LAYER OF 5/8" BACKERBOARD AND 1/4" PORCELAIN TILE ON ONE SIDE OF STUD. - SCREW ATTACHED @ 12" O.C. 6" METAL STUDS @ 16" O.C. SEE SPECIFICATION FOR METAL STUD REQUIREMENTS. - 3 1/2" SOUND ATTENUATION BATT INSULATION. - PERIMETER CAULKED.

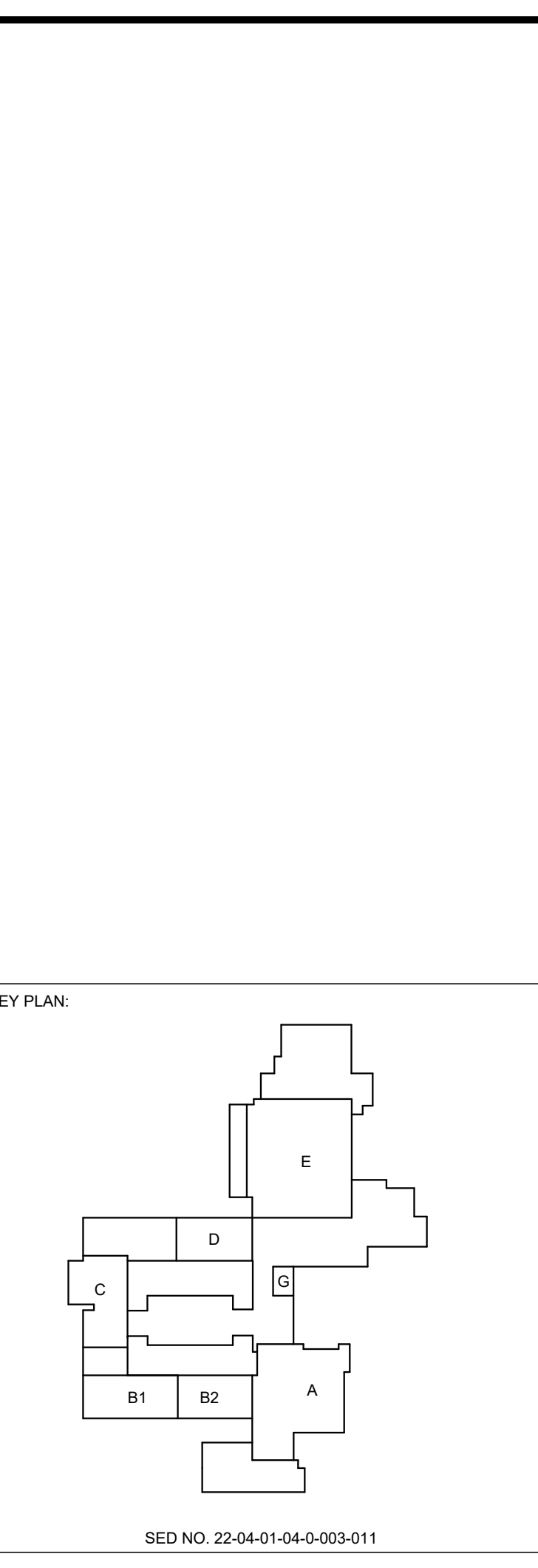
LIST OF ABBREVIATIONS	
ACM	ASBESTOS CONTAINING MATERIAL
ACT	ACOUSTIC CEILING TILE
ADA	AMERICAN WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
AHU	AIR HANDLING UNIT
CJ	CONTROL JOINT
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET TILE
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
DMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DN	DOWN
EFEC	EXISTING FIRE EXTINGUISHER CABINET
EFS	EXTERIOR FINISH & INSULATION SYSTEM
EJ	EXPANSION JOINT
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)
EPX-PT	EPOXY PAINT
EPX-T	EPOXY TERRAZZO
EQ	EQUAL, EQUALLY
ETR	EXISTING TO REMAIN
FB	FIRE BARRIER
FF&E	FIXTURES, FURNISHINGS & EQUIPMENT
GA	GAUGE
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
HP	HIGH POINT
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
ID	INSIDE DIAMETER
IMP	INSULATED METAL PANEL
IN	INCHES
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
LAV	LAVATORY
LP	LOW POINT
LVT	LUXURY VINYL TILE
MAX	MAXIMUM
MFR	MANUFACTURER
MO	MANUALLY OPERING
MIN	MINIMUM
MROGB	MOISTURE-RESISTANT GYPSUM WALL BOARD
NFEC	NEW FIRE EXTINGUISHER CABINET
NA	NOT APPLICABLE
NIC	NOT IN CONTRACT
NR	NON-RATED
NTS	NOT TO SCALE
OC	ON CENTER
OD	OUTSIDE DIAMETER
OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
OFOI	OWNER FURNISHED OWNER INSTALLED
PACM	PRESUMED ASBESTOS CONTAINING MATERIAL
PNT	PAINT
PRT	PORCELAIN TILE
PT	PRESSURE TREATED
PVC	POLYVINYL CHLORIDE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REBAR	REINFORCING BAR
REV	REVISION(S), REVISED
RO	ROUGH OPENING
RTU	ROOF TOP UNIT
SB	SMOKE BARRIER
SF	SQUARE FOOT (FEET)
SM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SS	SOLID SURFACE
STC	SOUND TRANSMISSION CLASS
T&G	TONGUE AND GROOVE
TBD	TO BE DETERMINED
TOS	TOP OF STEEL
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITION TILE
VIF	VERIFY IN FIELD
W/	WITH

MATERIAL INDICATORS	
	STEEL
	BRICK
	UNEXCAVATED EARTH
	CONCRETE
	GYPSUM WALL BOARD
	PLYWOOD
	CONCRETE BLOCK
	CONCRETE BLOCK (SECTION)
	BATT INSULATION
	RIGID WALL INSULATION
	ROOF INSULATION
	SPRAY FOAM INSULATION
	WOOD BLOCKING

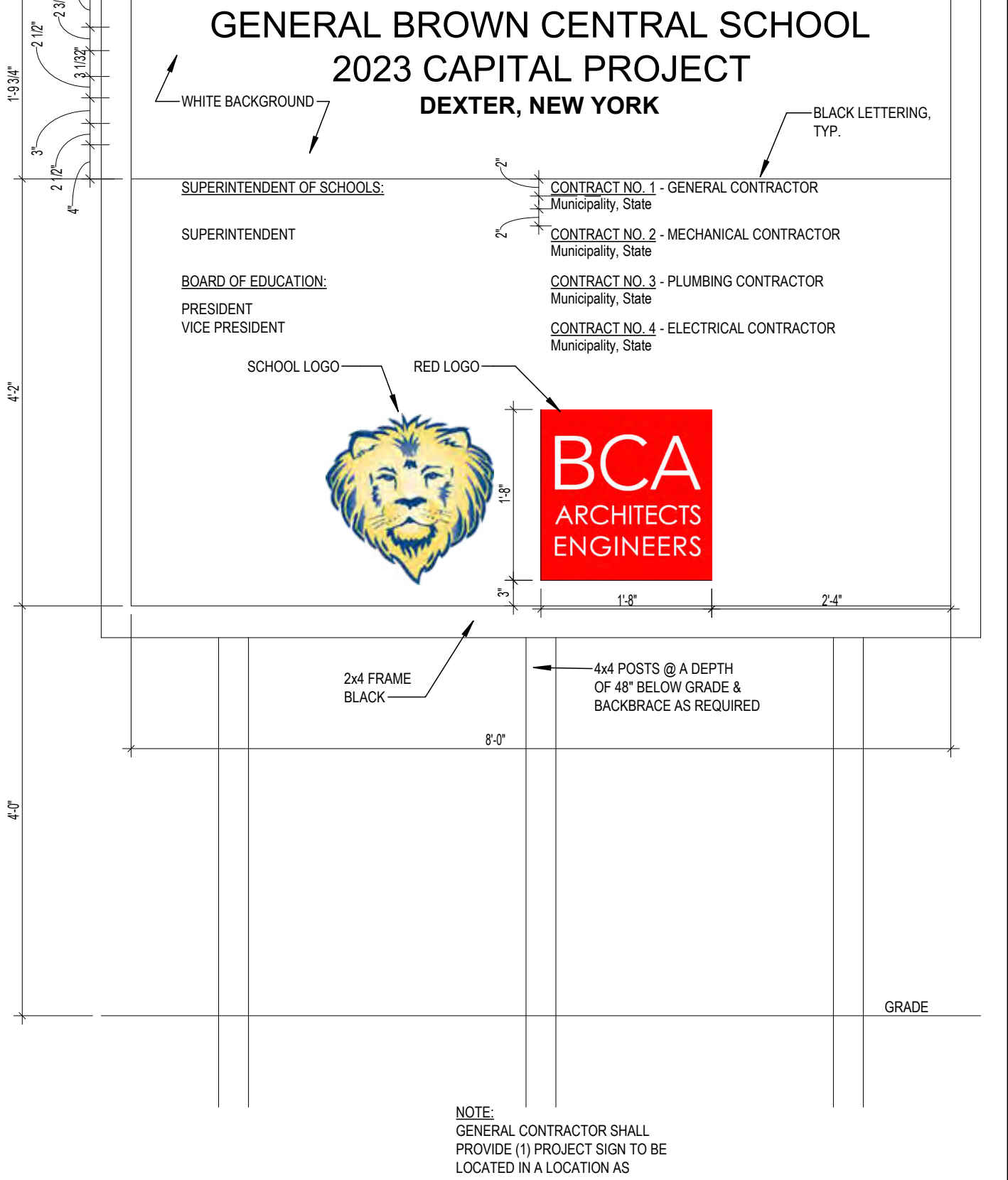
SYMBOLS LEGEND	
ROOM NAME & NUMBER	NAME ROOM NAME ROOM NUMBER
EXISTING CONSTRUCTION	
DEMOLISHED CONSTRUCTION	
NEW CONSTRUCTION	
REVISION TAG	
DEMO TAG	
KEYNOTE TAG	
EQUIPMENT TAG	
DOOR TAG	
WINDOW TAG	
BORROWED LITE TAG	
STOREFRONT CURTAIN WALL	
PARTITION TAG	
CASEWORK TAG	
INTERIOR ELEVATIONS	
EXTERIOR ELEVATIONS	
DETAIL MARK	
WALL SECTION MARK	
BUILDING SECTION MARK	
REFERENCE ELEVATION	

GENERAL RENOVATION NOTES

- DEFINITIONS GENERAL
A. GENERAL RENOVATION NOTES: RENOVATION NOTES AS FOUND ON THIS SHEET SHALL APPLY TO ALL PRIME CONTRACTORS AND TO ALL AREAS THROUGHOUT THE EXISTING FACILITY.
B. SPECIFIC RENOVATION NOTES: RENOVATION NOTES ARE FOUND THROUGHOUT THE CONTRACT DRAWINGS AND APPLY TO THE RESPONSIBLE PRIME CONTRACTOR. THESE NOTES ARE SPECIFIC TO THE AREA OR ITEM INDICATED AND FOR ALL SIMILAR (TYPICAL) CONDITIONS.
- PRIOR TO THE COMMENCEMENT OF WORK IN EACH AREA THE OWNER SHALL REMOVE ALL MOVABLE ITEMS INCLUDING SHELVING, FURNITURE, EQUIPMENT AND SUPPLIES. ALL FIXED ITEMS DESIGNATED FOR REMOVAL INCLUDING BUT NOT LIMITED TO CASEWORK, CHALK AND TACKBOARDS, PROJECTION SCREENS, ETC. SHALL BE REMOVED, DISPOSED OF OR SAFELY STORED (IF SCHEDULED FOR REUSE) BY THE GENERAL CONTRACTOR OR, IF SCHEDULED AS PART OF HAZ MAT REMOVAL IN DEMO DRAWINGS, THE OWNER SHALL RESERVE THE RIGHT TO MAINTAIN OWNERSHIP OF ANY AND ALL EXISTING ITEMS SCHEDULED FOR REMOVAL.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONDITION OF DEMOLITION, REMOVAL AND PROPER DISPOSAL OF ALL EXISTING STRUCTURAL COMPONENTS, FLOORS, WALLS, CEILINGS, DOORS AND FRAMES, CASEWORK, CONCRETE, FOUNDATIONS AND SLABS, AND ALL ATTACHED OR RELATED MATERIALS AND SYSTEMS AS DESIGNATED IN THE CONTRACT DOCUMENTS AND AS NEEDED FOR A COMPLETE AND PROPER RENOVATION PROJECT. UNLESS OTHERWISE NOTED, THE REMAINING FLOOR, WALL OR CEILING SYSTEM AFFECTED BY CUTTING OR DEMOLITION SHALL BE PATCHED TO THE EXTENT REQUIRED TO MATCH ADJACENT CONSTRUCTION MATERIALS AND FINISHES AS NOTED ON ALL A-SERIES SHEETS. SEE SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL REQUIREMENTS OF EACH PRIME CONTRACTOR.
- PRIOR TO DEMOLITION, DISCONNECTION OF ALL RELATED POWER, WIRING, ELECTRICAL FIXTURES AND LIGHTING SHALL BE PERFORMED BY THE PRIME ELECTRICAL CONTRACTOR. THE DISCONNECTION OF ALL RELATED DRAIN PIPING, WATER SUPPLY PIPING, VENT PIPING AND RELATED PLUMBING FIXTURES SHALL BE PROVIDED BY THE PRIME PLUMBING CONTRACTOR. ALL DISCONNECTS OF HEATING SUPPLY, RETURN PIPING, DUCT WORK, FANS, RELATED MOTORS, PIPING & CONTROLS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
- ALL CUTTING AND PATCHING FOR WALLS, FLOORS, CEILINGS, AND ROOF SYSTEM SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR, EXCEPT DRILLED OPENINGS OF 6" OR LESS IN DIAMETER OR CUT OPENINGS LESS THAN 100 SQUARE INCHES WHICH SHALL BE BY EACH RESPECTIVE PRIME CONTRACTOR AS PER SPECIFICATION SECTION 01-720 UNLESS OTHERWISE NOTED.
- ALL EXISTING FLOOR, WALL, CEILING AND MISCELLANEOUS SURFACES SCHEDULED IN THE CONTRACT DOCUMENTS TO RECEIVE NEW FINISHES SHALL BE PROPERLY REPAIRED, PATCHED AND PREPARED TO RECEIVE NEW SPECIFIED FINISHES ALL IN ACCORDANCE WITH THE NEW FINISH MANUFACTURER'S WRITTEN RECOMMENDATIONS. PREPARATION OF WALLS, FLOORS, AND CEILINGS TO RECEIVE NEW FINISHES SHALL INCLUDE THE INFILL OF ALL EXISTING HOLES, CRACKS, AND IMPERFECTIONS FOR A SMOOTH APPEARANCE TO MATCH ADJACENT SURFACES. PREPARATION OF EXISTING FLOORS SHALL INCLUDE THE INSTALLATION OF CEMENTITIOUS SELF-LEVELING FLOOR UNDERLAYMENT AS REQUIRED TO PROVIDE A LEVEL SURFACE IN WHICH NEW FLOOR FINISHES APPEAR AS SMOOTH SURFACES WITH NO TELEGRAPHING DETECTABLE FOR A FINISHED PRODUCT.
- ALL PRIME CONTRACTORS SHALL BE RESPONSIBLE FOR THE TIMELY REMOVAL AND OFF SITE DISPOSAL OF ALL DEBRIS RESULTING FROM THEIR WORK. ABSOLUTELY NO DEBRIS (I.E. PLASTER, MORTAR, CONCRETE, PAINT, ETC.) EITHER DIRECTLY OR BY CLEANING OF TOOLS, SHALL BE DISPOSED OF THROUGH PLUMBING FIXTURES AND EXISTING SANITARY WASTE PIPING SYSTEMS. IF THE PROPER CLEAN UP IS NOT PROVIDED TO THE SATISFACTION OF THE OWNER AND THE ENGINEER, ANY INDEPENDENT COSTS INCURRED BY THE OWNER TO OBTAIN CLEAN UP SERVICES SHALL BE BILLED DIRECTLY TO THE PRIME CONTRACTORS AS DIRECTED BY THE ARCHITECT. INDEPENDENT PRIME CONTRACTORS CLEAN UP THROUGHOUT THE DURATION OF THIS PROJECT WILL NOT BE TOLERATED.



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1 PROJECT SIGN DETAIL
SCALE: 3/4" = 1'-0"

NOT FOR CONSTRUCTION

BCA ARCHITECTS ENGINEERS

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JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK**

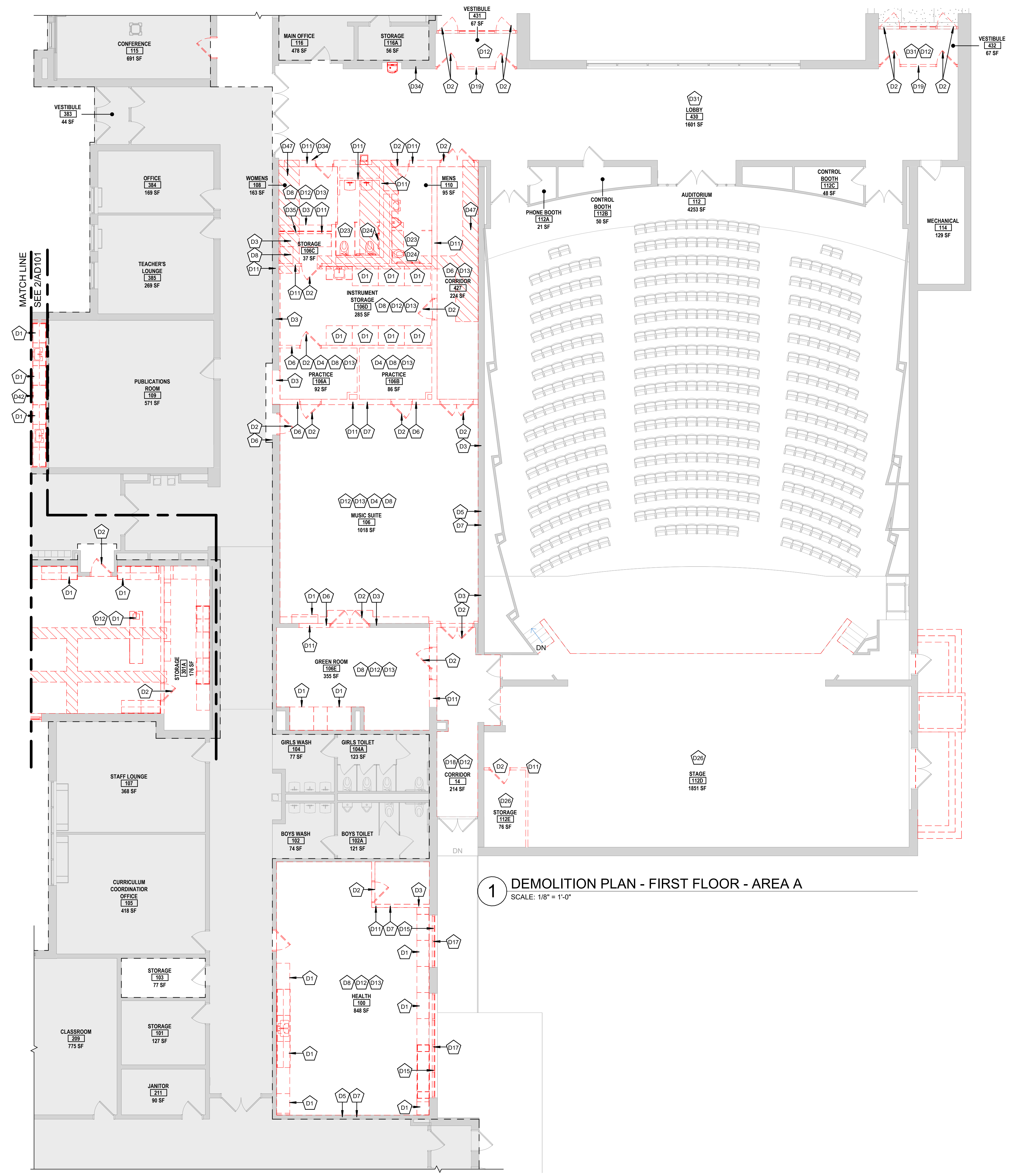
REV	DATE	DESCRIPTION

DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

**ARCHITECTURAL GENERAL NOTES,
ABBREVIATIONS AND LEGENDS**

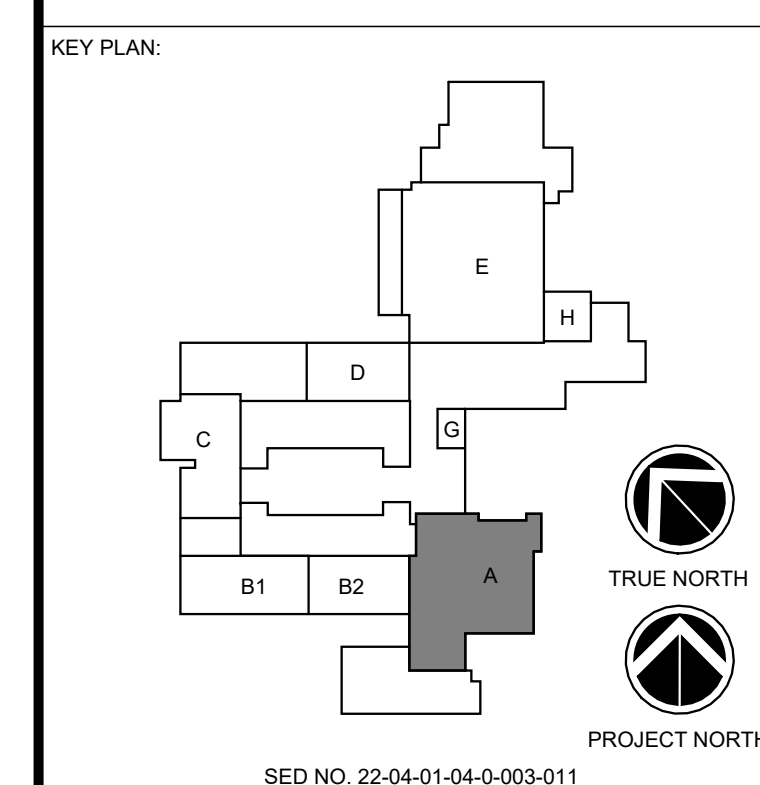
BUILDING NUMBER HS	SHEET NUMBER AS000 BID
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DEMOLITION KEYNOTES	
D1	REMOVE CASEWORK AND COUNTERTOPS IN THEIR ENTIRETY. PATCH AND REPAIR WALL AND FLOOR AS REQUIRED. COORDINATE WITH PC FOR SINK REMOVAL AND REQUIRED PIPING REMOVALS.
D2	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE.
D3	REMOVE ALL WALL SHELVING, PATCH AND MATCH ALL DISTURBED SURFACES.
D4	REMOVE ACOUSTICAL SPLINE WALL AND CEILING MATERIAL.
D5	REMOVE SMARTBOARD AND TURN OVER TO OWNER.
D6	REMOVE SIGNAGE AND ASSOCIATED MOUNTING HARDWARE.
D7	REMOVE WHITEBOARDS, BLACKBOARDS OR TACKBOARDS AND TURN OVER TO OWNER.
D8	REMOVE EXISTING VCT AND ADHESIVES DOWN TO EXISTING SLAB AND PREPARE TO RECEIVE NEW FLOOR FINISH AS SPECIFIED.
D11	REMOVE PORTION OF WALL AS REQUIRED FOR NEW OPENING. SHORE STRUCTURAL BEARING WALL AS REQUIRED PRIOR TO INSTALLATION OF NEW WALL.
D12	REMOVE ALL LAYERS OF CEILINGS IN AREA OF PROPOSED WORK.
D13	REMOVE ALL WALL BASE AND ASSOCIATED ADHESIVES OR FASTENERS. COMPLETELY REMOVE ALL EXISTING EXTERIOR WINDOW TREATMENTS (SHADES/BLINDS), ASSOCIATED MOUNTING HARDWARE, AND SUPPORT HEADERS IN THEIR ENTIRETY. PROPERLY PREPARE OPENINGS TO ACCEPT NEW AS INDICATED ON THE ARCHITECTURAL DRAWINGS.
D15	PATCH AND MATCH ALL DISTURBED SURFACES. SALVAGE AND TURN OVER BLINDS AND HARDWARE TO OWNER TAHT ARE IN WORKING ORDER.
D17	COMPLETELY REMOVE EXISTING EXTERIOR WINDOW SYSTEM IN ITS ENTIRETY. PATCH AND MATCH ALL DISTURBED SURFACES. EXISTING SILLS ARE TO REMAIN. PROTECT FROM DAMAGE DURING WINDOW REMOVALS.
D18	REMOVE FLOOR TILE SUBSTRATE AND ASSOCIATED ADHESIVES.
D19	REMOVE WOOD CURTAIN SYSTEM IN ITS ENTIRETY.
D23	REMOVE TOILET PARTITIONS AND ASSOCIATED MOUNTING HARDWARE.
D24	REMOVE ADA GRAB BARS AND ASSOCIATED MOUNTING HARDWARE.
D26	REMOVE EXISTING WOOD FLOORING AND ADHESIVES DOWN TO EXISTING SUBSTRATE.
D31	REMOVE FLAGSTONE AND PREPARE SLAB FOR INSTALLATION OF PROPOSED FINISH.
D34	REMOVE PLAQUE AND TURN OVER TO OWNER FOR REINSTALLATION.
D35	REMOVE MIRROR.
D42	REMOVE EMERGENCY SHOWER AND EYEWASH, COORDINATE WITH PC FOR ALL PLUMBING WORK REQUIRED.
D47	REMOVE PORTION OF EXISTING CONCRETE SLAB & DIRT/FILL TO ACCOMMODATE PIPING. COORDINATE W/ PLUMBING CONTRACTOR FOR SIZE AND LOCATION OF FLOORING CUTS. SEE DETAIL 6 ON SHEET A702.



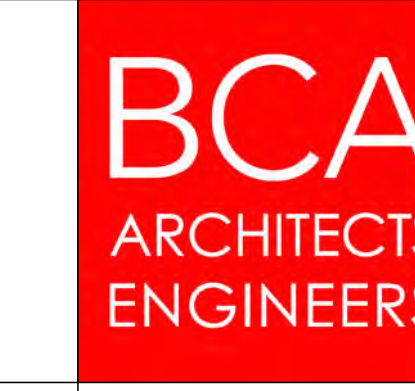
1 DEMOLITION PLAN - FIRST FLOOR - AREA A
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT



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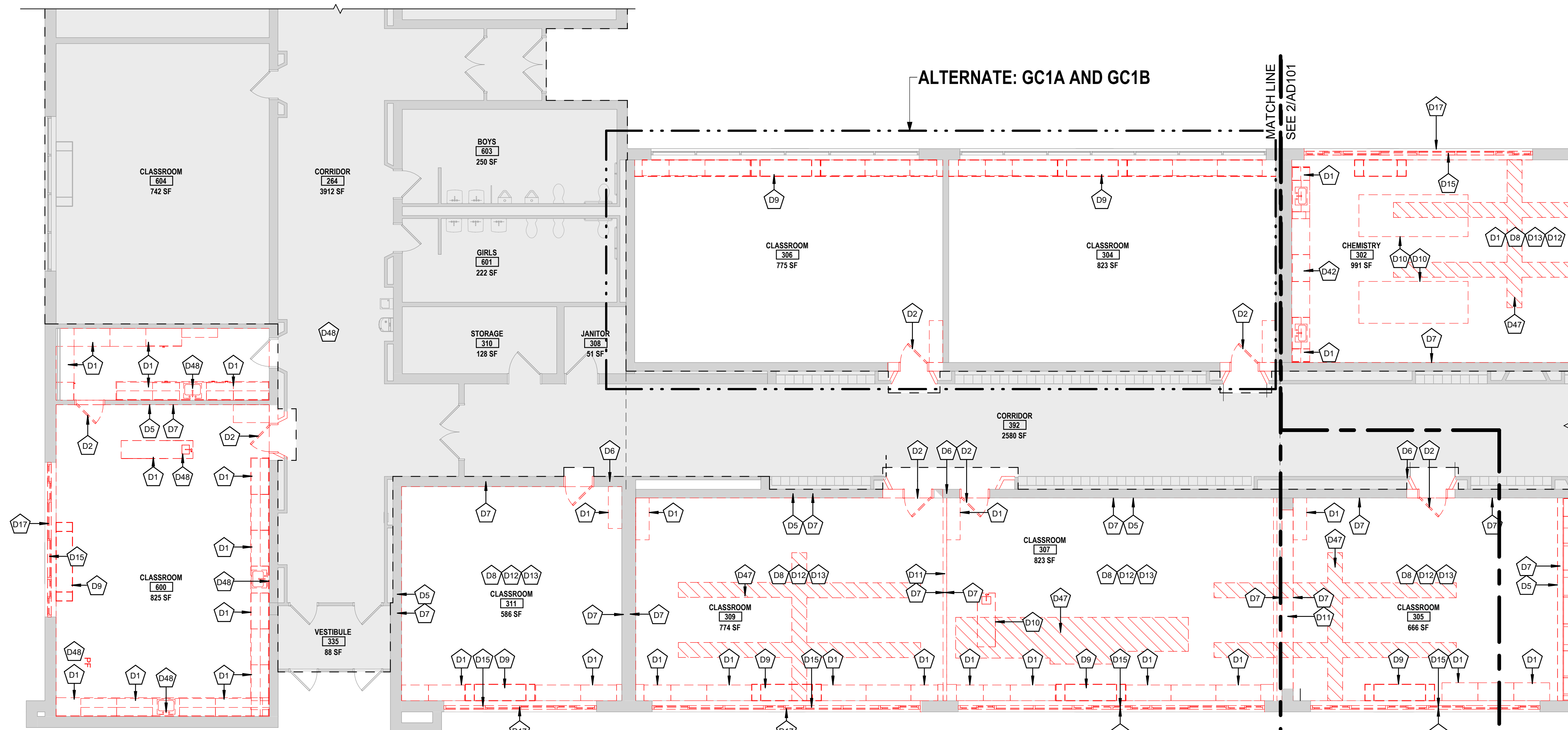


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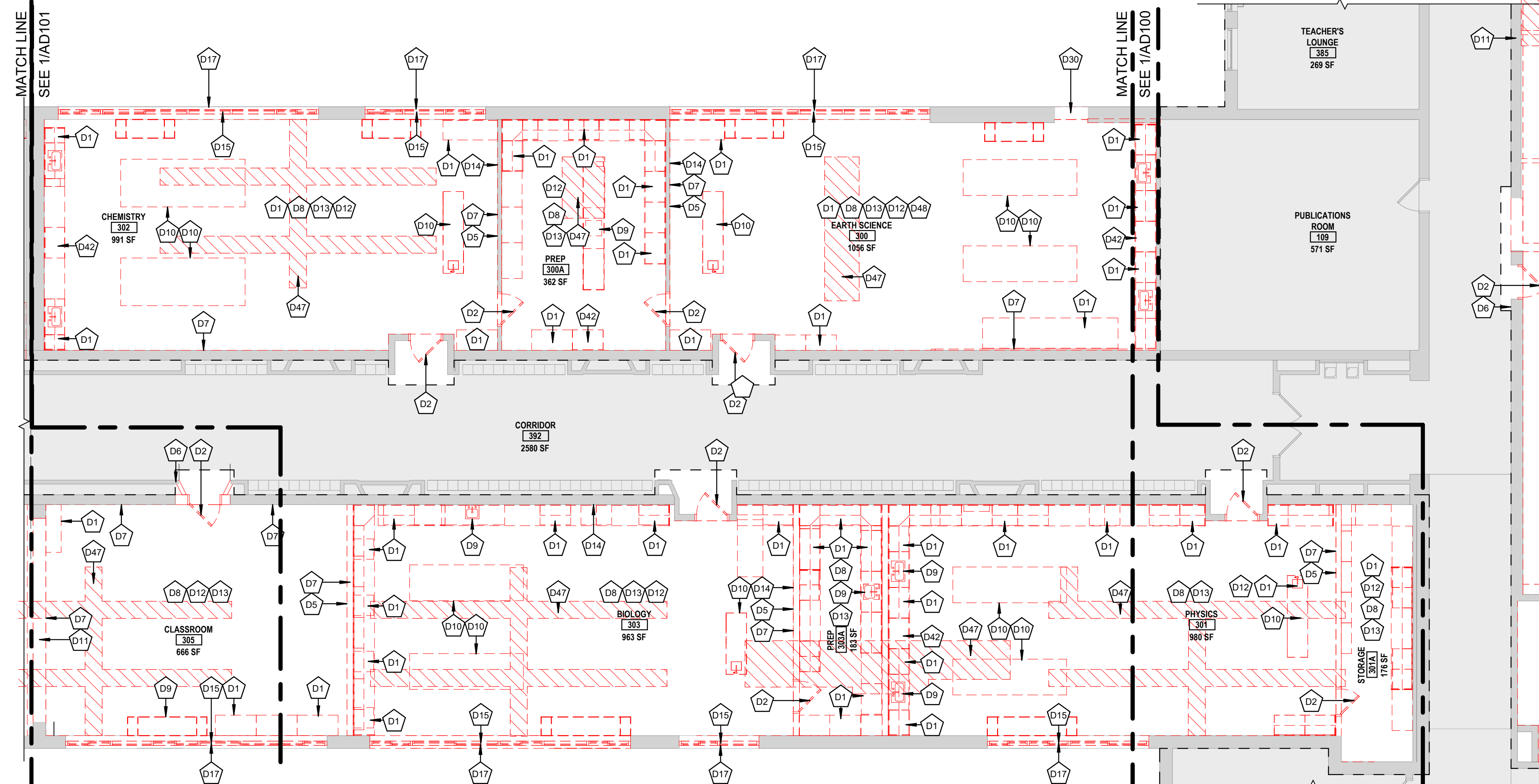
REV	DATE	DESCRIPTION

DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024
DEMOLITION PLAN - FIRST FLOOR - AREA A	
BUILDING NUMBER HS	SHEET NUMBER AD100 BID

DEMOLITION KEYNOTES	
D1	REMOVE CASEWORK AND COUNTERTOPS IN THEIR ENTIRETY. PATCH AND REPAIR WALL AND FLOOR AS REQUIRED. COORDINATE WITH PC FOR SINK REMOVAL AND REQUIRED PIPING REMOVALS.
D2	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE
D5	REMOVE SMARTBOARD AND TURN OVER TO OWNER
D6	REMOVE SIGNAGE AND ASSOCIATED MOUNTING HARDWARE
D7	REMOVE WHITEBOARDS, BLACKBOARDS OR TACKBOARDS AND TURN OVER TO OWNER.
D8	REMOVE EXISTING VCT AND ADHESIVES DOWN TO EXISTING SLAB AND PREPARE TO RECEIVE NEW FLOOR FINISH AS SPECIFIED
D9	COORDINATE WITH MC FOR REMOVAL OF CABINET UNIT VENTILATORS AND ASSOCIATED METAL CABINETRY.
D10	REMOVE LAB TABLE. COORDINATE WITH PC FOR ALL PLUMBING WORK REQUIRED.
D11	REMOVE PORTION OF WALL AS REQUIRED FOR NEW OPENING. SHORE STRUCTURAL BEARING WALL AS REQUIRED PRIOR TO INSTALLATION OF NEW WALL.
D12	REMOVE ALL LAYERS OF CEILING IN AREA OF PROPOSED WORK.
D13	REMOVE ALL WALL BASE AND ASSOCIATED ADHESIVES OR FASTENERS.
D14	REMOVE PROJECTOR SCREEN AND TURN OVER TO OWNER.
D15	COMPLETELY REMOVE ALL EXISTING EXTERIOR WINDOW TREATMENTS (SHADES/BLINDS), ASSOCIATED MOUNTING HARDWARE, AND SUPPORT HEADERS IN THEIR ENTIRETY. PROPERLY PREPARE OPENINGS TO ACCEPT NEW AS INDICATED ON THE ARCHITECTURAL DRAWINGS. PATCH AND MATCH ALL DISTURBED SURFACES. SALVAGE AND TURN OVER BLINDS AND HARDWARE TO OWNER THAT ARE IN WORKING ORDER.
D17	COMPLETELY REMOVE EXISTING EXTERIOR WINDOW SYSTEM IN ITS ENTIRETY. PATCH AND MATCH ALL DISTURBED SURFACES. EXISTING SILLS ARE TO REMAIN. PROTECT FROM DAMAGE DURING WINDOW REMOVALS.
D30	REMOVE PORTION OF EXTERIOR WALL.
D42	REMOVE EMERGENCY SHOWER AND EYEWASH. COORDINATE WITH PC FOR ALL PLUMBING WORK REQUIRED.
D47	REMOVE PORTION OF EXISTING CONCRETE SLAB & DIRT/FILL TO ACCOMMODATE PIPING. COORDINATE WITH PLUMBING CONTRACTOR FOR SIZE AND LOCATION OF FLOORING CUTS. SEE DETAIL 6 ON SHEET A702.
D48	UPON REMOVAL OF PLUMBING FIXTURES BY PC, GC TO PATCH AND MATCH ALL DISTURBED SURFACES.

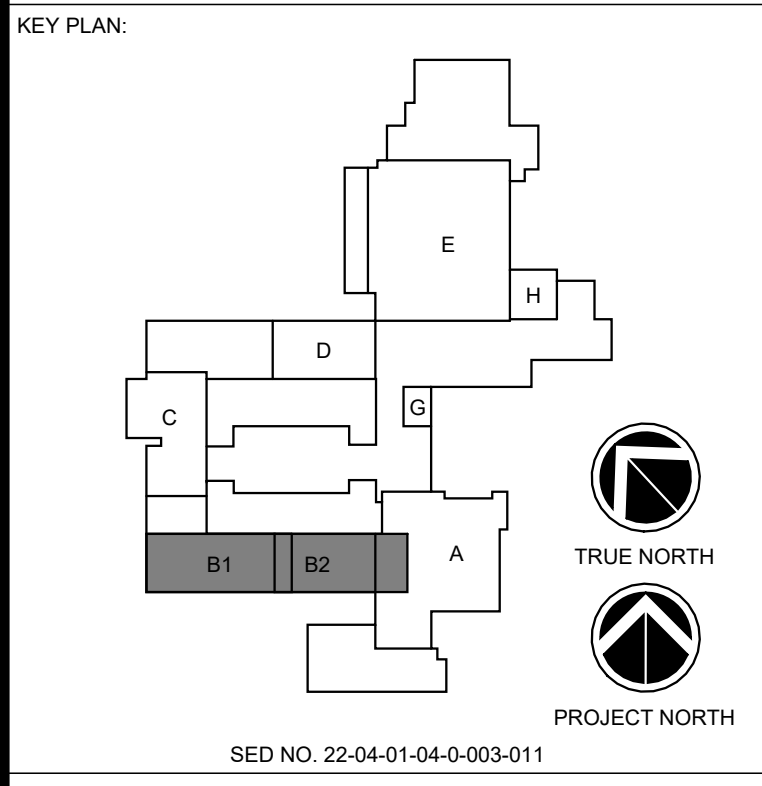


1 DEMOLITION PLAN - FIRST FLOOR - AREA B1
SCALE: 1/8" = 1'-0"



2 DEMOLITION PLAN - FIRST FLOOR - AREA B2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT



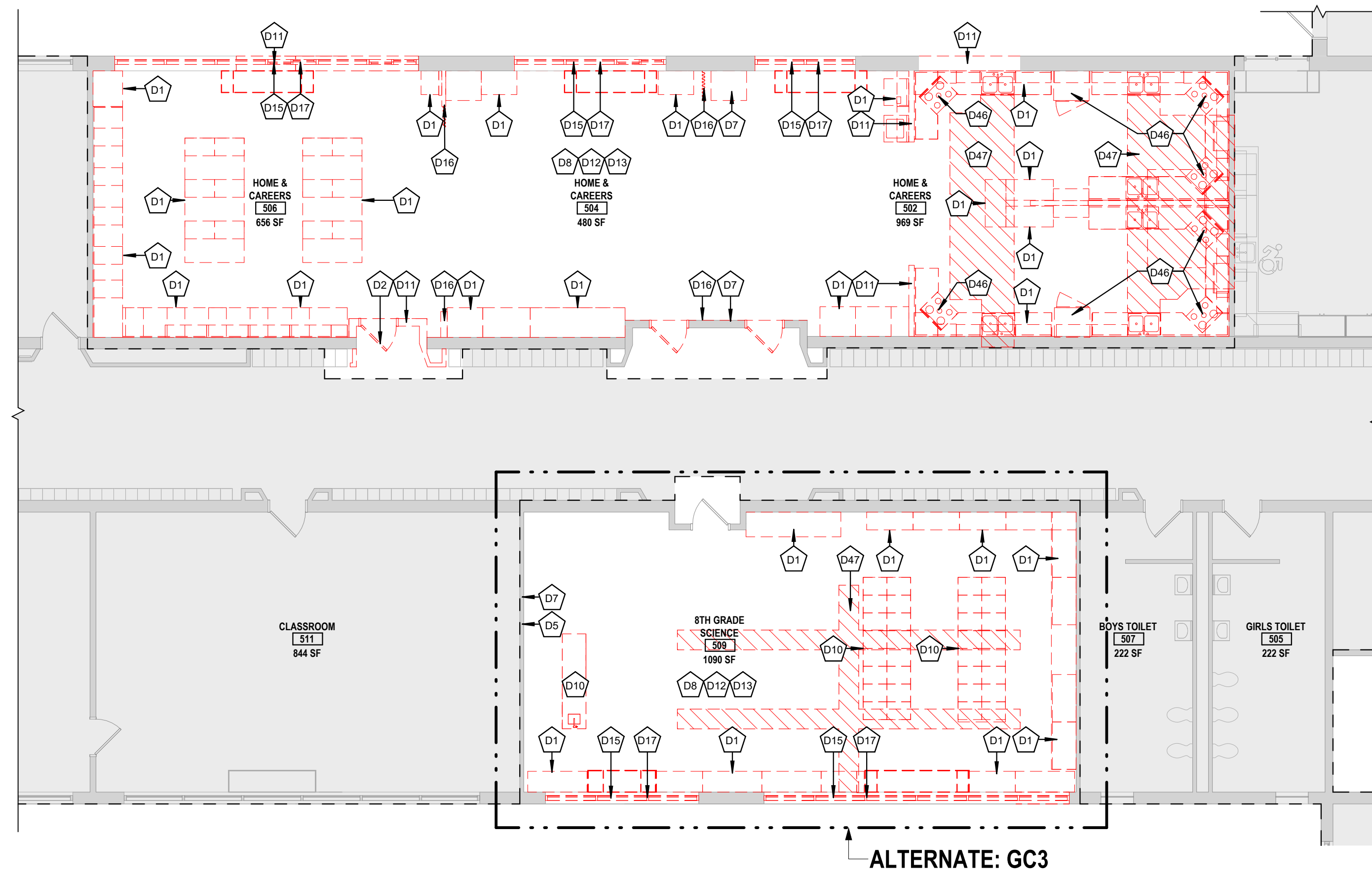
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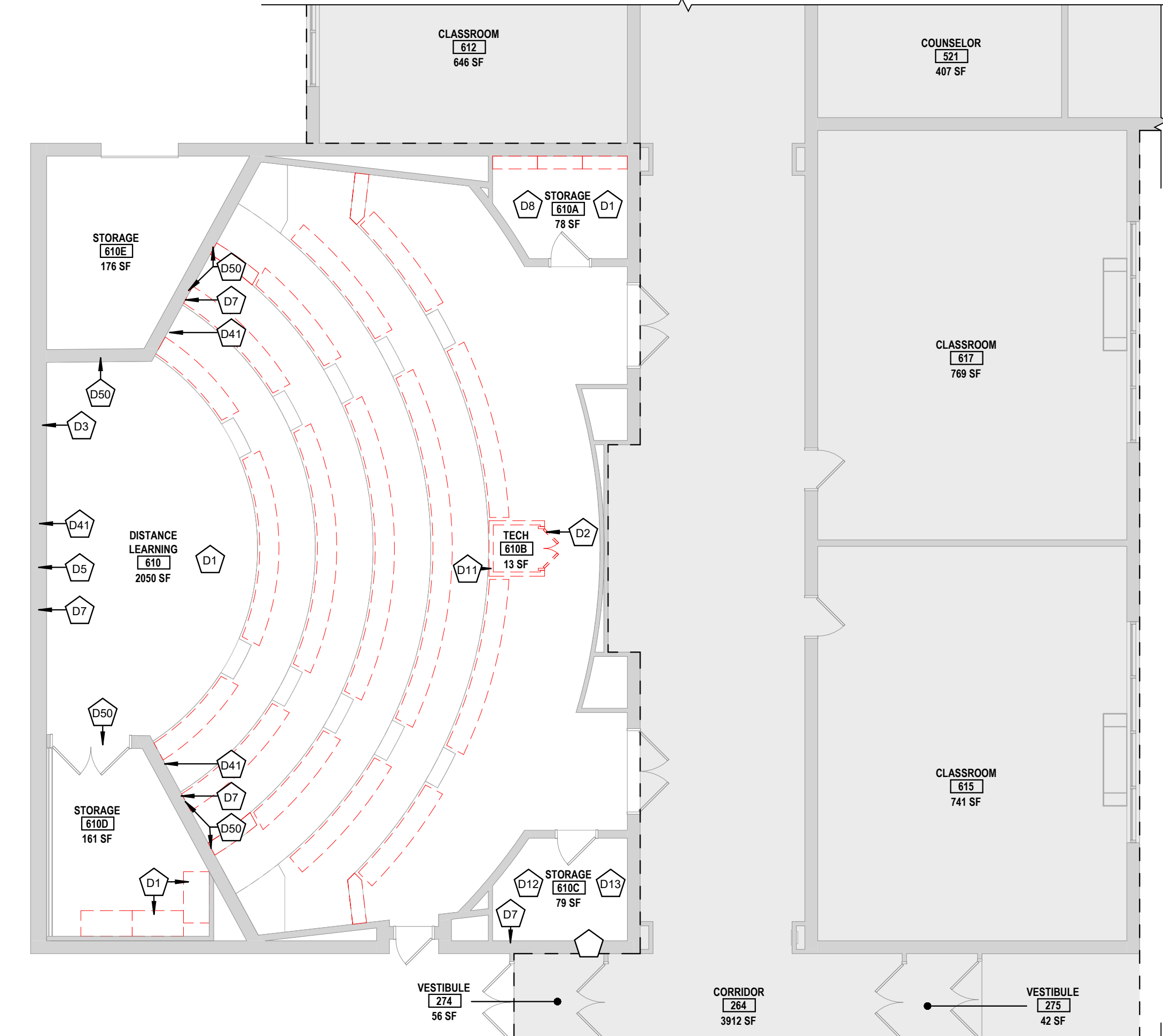
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REV	DATE	DESCRIPTION
DRAWN BY	MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY	MLC	DATE 12/16/2024
DEMOLITION PLAN - FIRST FLOOR - AREA B1 AND B2		
BUILDING NUMBER	HS	SHEET NUMBER AD101 BID

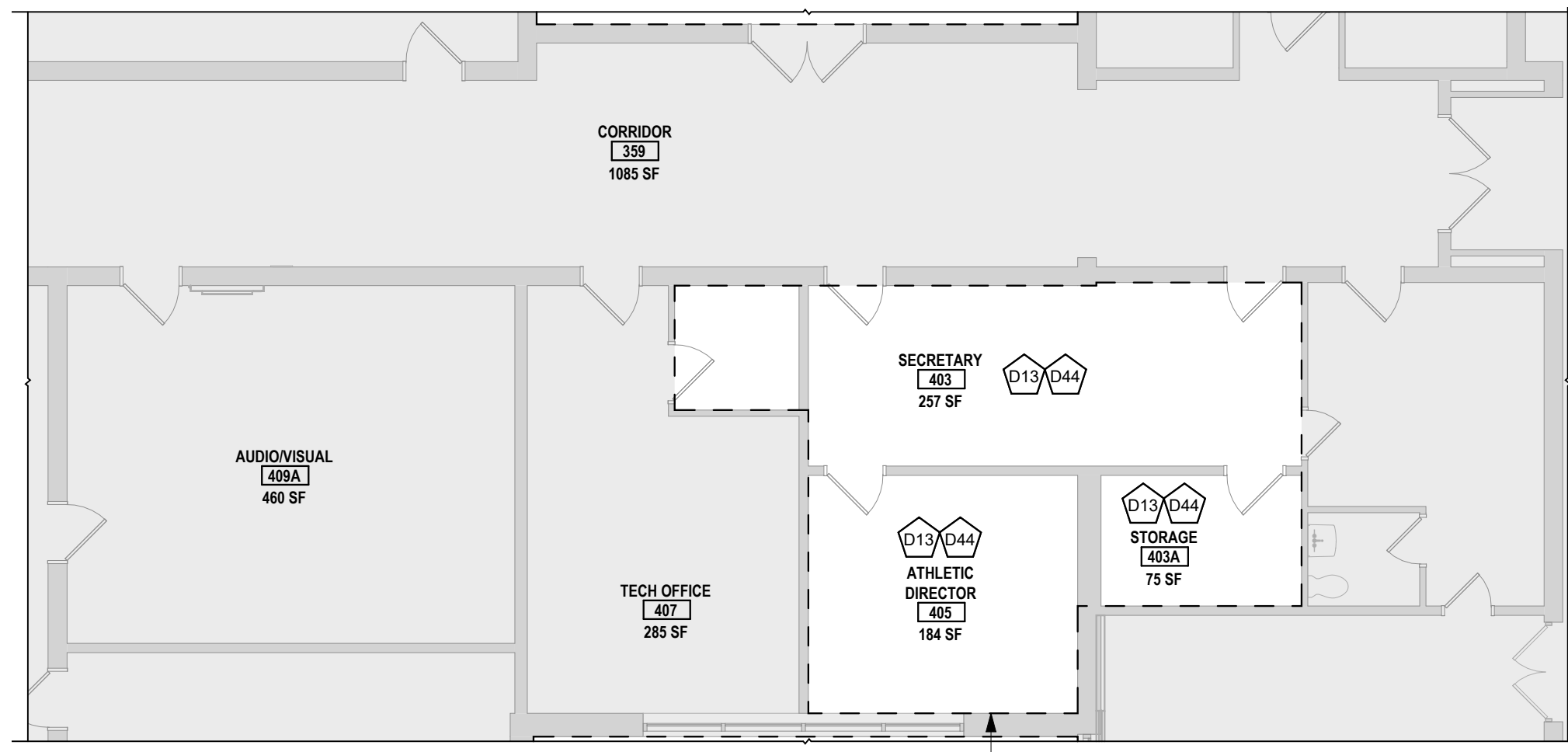
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2 DEMOLITION PLAN - FIRST FLOOR - AREA D
SCALE: 1/8" = 1'-0"



1 DEMOLITION PLAN - FIRST FLOOR - AREA C
SCALE: 1/8" = 1'-0"

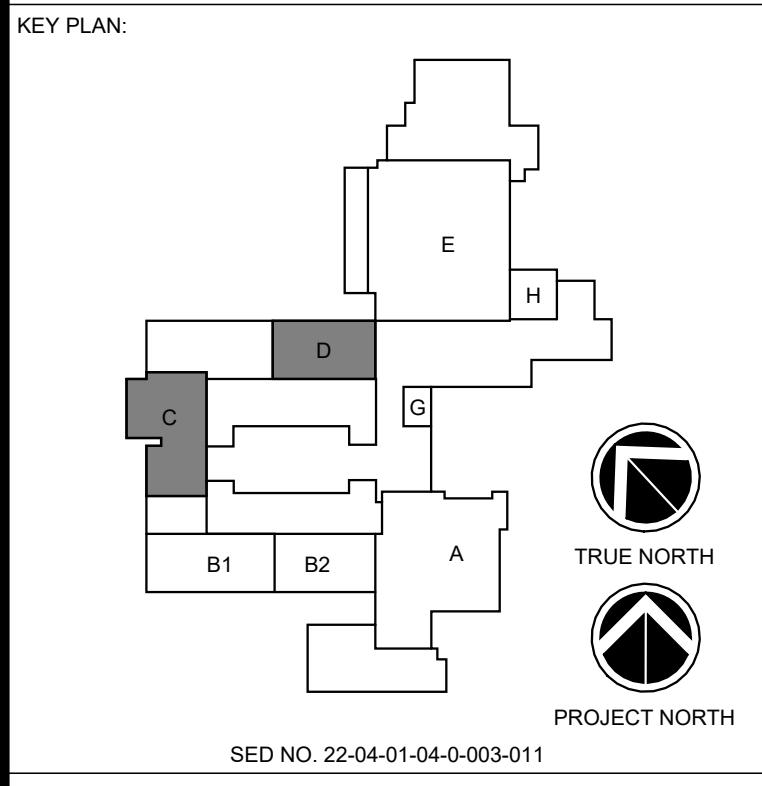


3 DEMOLITION PLAN - FIRST FLOOR - ATHLETIC DIRECTOR SUITE
SCALE: 1/8" = 1'-0"

DEMOLITION KEYNOTES	
D1	REMOVE CASEWORK AND COUNTERTOPS IN THEIR ENTIRETY. PATCH AND REPAIR WALL AND FLOOR AS REQUIRED. COORDINATE WITH PC FOR SINK REMOVAL AND REQUIRED PIPING REMOVALS.
D2	REMOVE DOOR, FRAME AND ASSOCIATED HARDWARE.
D3	REMOVE ALL WALL SHELVING, PATCH AND MATCH ALL DISTURBED SURFACES.
D5	REMOVE SMARTBOARD AND TURN OVER TO OWNER.
D7	REMOVE WHITEBOARDS, BLACKBOARDS OR TACKBOARDS AND TURN OVER TO OWNER.
D8	REMOVE EXISTING VCT AND ADHESIVES DOWN TO EXISTING SLAB AND PREPARE TO RECEIVE NEW FLOOR FINISH AS SPECIFIED.
D9	COORDINATE WITH MC FOR REMOVAL OF CABINET UNIT VENTILATORS AND ASSOCIATED METAL CABINETRY.
D10	REMOVE LAB TABLE. COORDINATE WITH PC FOR ALL PLUMBING WORK REQUIRED.
D11	REMOVE PORTION OF WALL AS REQUIRED FOR NEW OPENING. SHORE STRUCTURAL BEARING WALL AS REQUIRED PRIOR TO INSTALLATION OF NEW WALL.
D12	REMOVE ALL LAYERS OF CEILING IN AREA OF PROPOSED WORK.
D13	REMOVE ALL WALL BASE AND ASSOCIATED ADHESIVES OR FASTENERS.
D15	COMPLETELY REMOVE ALL EXISTING EXTERIOR WINDOW TREATMENTS (SHADES/BLINDS), ASSOCIATED MOUNTING HARDWARE, AND SUPPORT HEADERS IN THEIR ENTIRETY. PROPERLY PREPARE OPENINGS TO ACCEPT NEW AS INDICATED ON THE ARCHITECTURAL DRAWINGS. PATCH AND MATCH ALL DISTURBED SURFACES. SALVAGE AND TURN OVER BLINDS AND HARDWARE TO OWNER. TANK USE IN WORKING ORDER.
D16	REMOVE MOVEABLE PARTITION AND ALL ASSOCIATED FRAMING AND COMPONENTS.
D17	COMPLETELY REMOVE EXISTING EXTERIOR WINDOW SYSTEM IN ITS ENTIRETY. PATCH AND MATCH ALL DISTURBED SURFACES. EXISTING SILLS ARE TO REMAIN. PROTECT FROM DAMAGE DURING WINDOW REMOVALS.
D30	REMOVE PORTION OF EXTERIOR WALL.
D41	REMOVE ACOUSTIC WOOD PANEL SYSTEM. PATCH AND REPAIR WALL AS REQUIRED FOR PROPOSED FINISH.
D44	REMOVE EXISTING FLOORING.
D46	REMOVE ALL APPLIANCES. COORDINATE WITH PC FOR TERMINATING AND CAPPING GAS LINES PRIOR TO STOVE REMOVAL.
D47	REMOVE PORTION OF EXISTING CONCRETE SLAB & DIRT/FILL TO ACCOMMODATE PIPING. COORDINATE W/ PLUMBING CONTRACTOR FOR SIZE AND LOCATION OF FLOORING CUTS. SEE DETAIL 6 ON SHEET A702.
D48	UPON REMOVAL OF PLUMBING FIXTURES BY PC, GC TO PATCH AND MATCH ALL DISTURBED SURFACES.
D50	UPON REMOVAL OF HVAC GRILLES AND LOUVERS BY MC, GC TO INFILL, PATCH AND MATCH ALL DISTURBED SURFACES.

GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT



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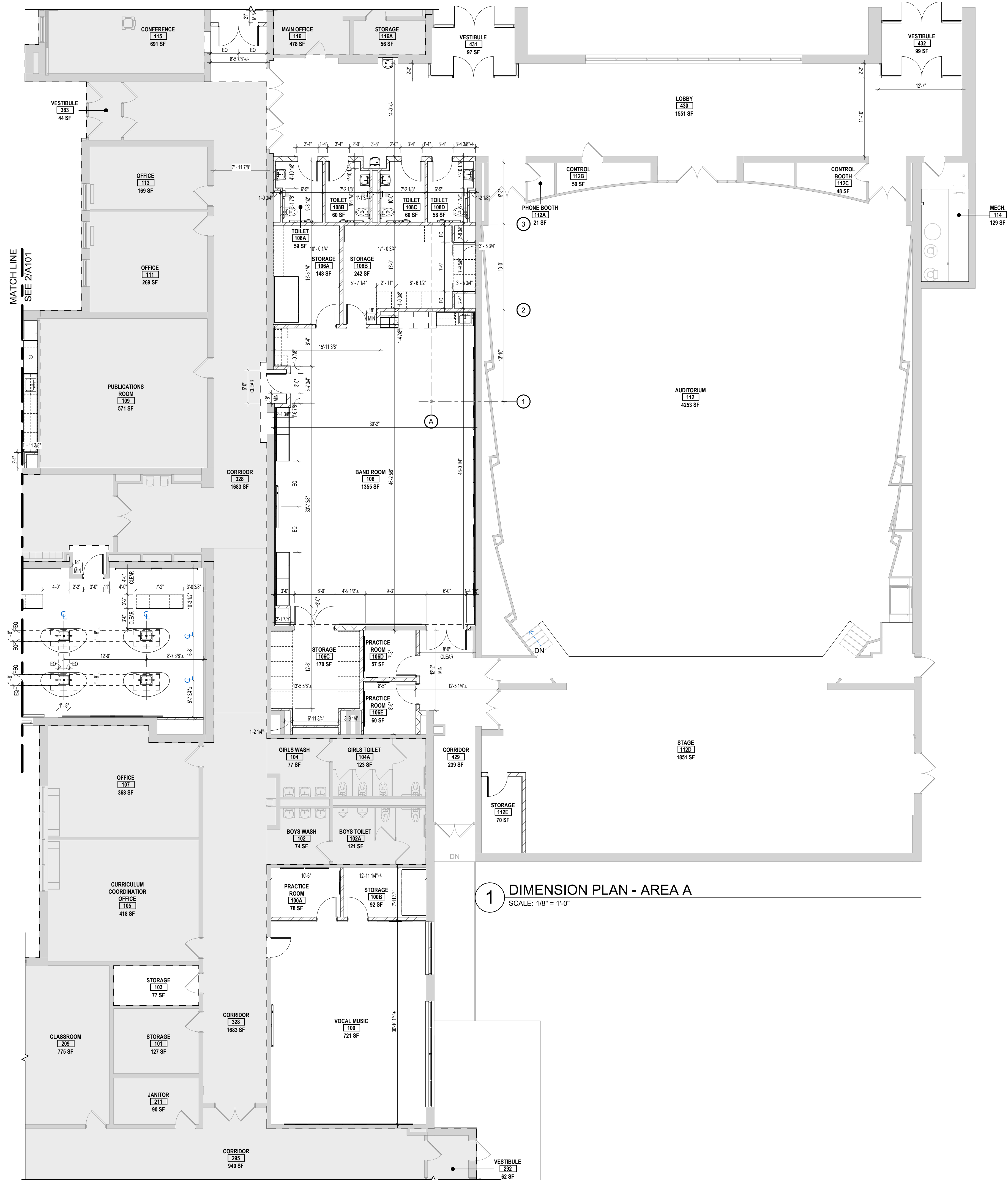
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DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY: MJK/ALS PROJECT NUMBER: 2023-105
CHECKED BY: MLC DATE: 12/16/2024

DEMOLITION PLAN - FIRST FLOOR - AREA C & D
BUILDING NUMBER: HS SHEET NUMBER: AD102 BID

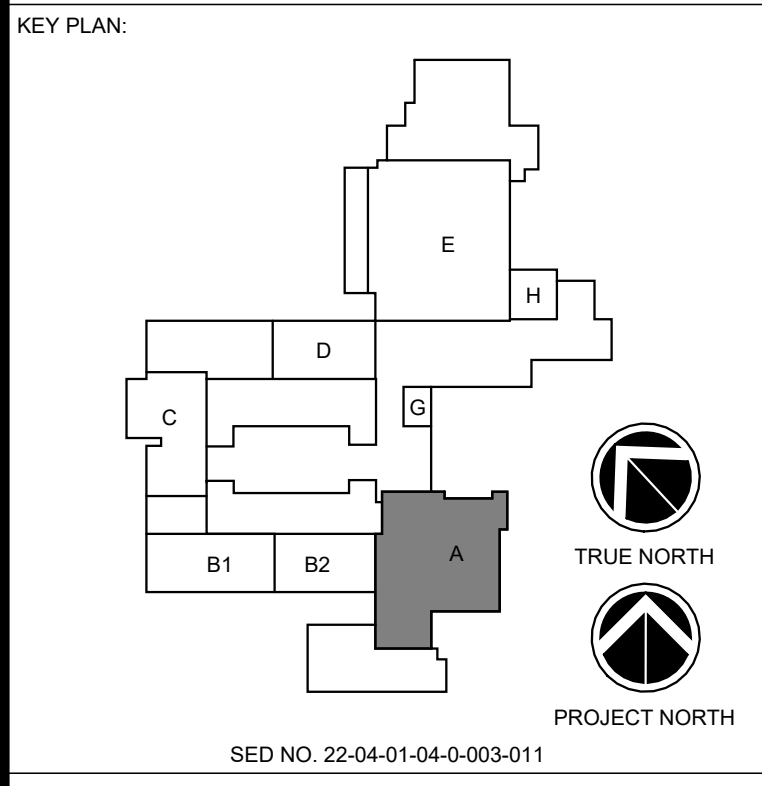
12/17/2024 5:10:19 PM



1 DIMENSION PLAN - AREA A
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT



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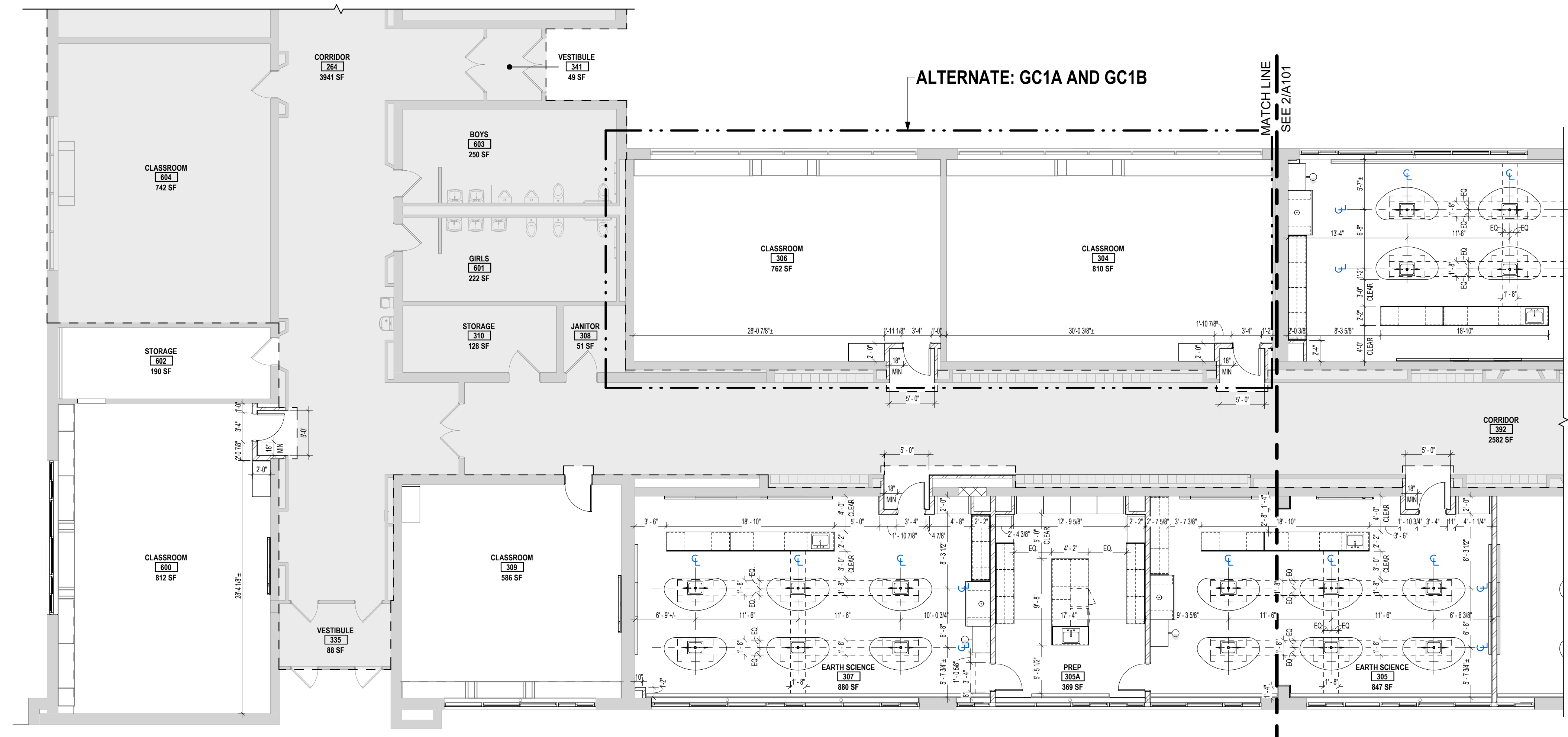
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REV	DATE	DESCRIPTION

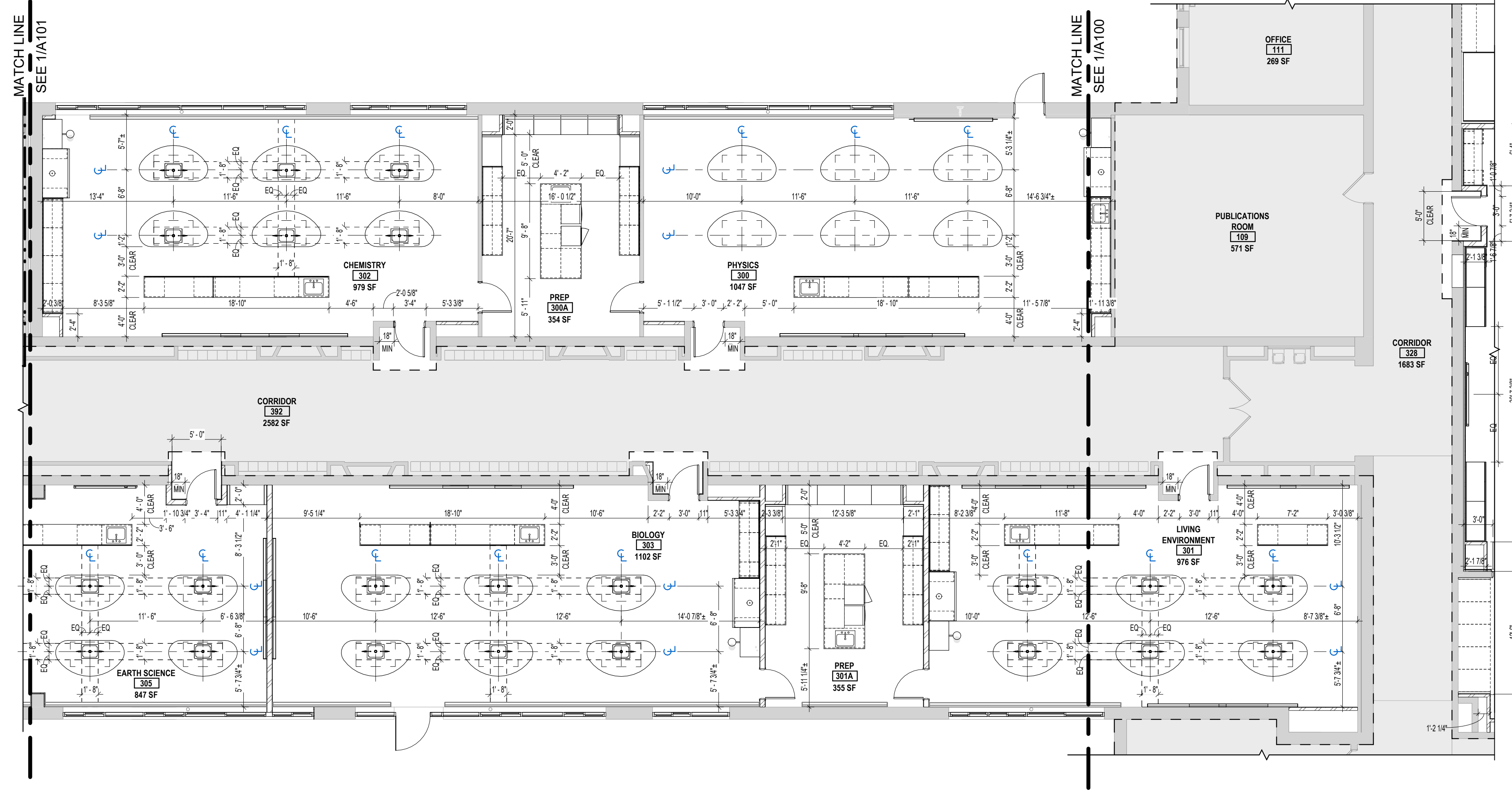
DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

DIMENSION PLAN - AREA A

BUILDING NUMBER HS	SHEET NUMBER A100 BID
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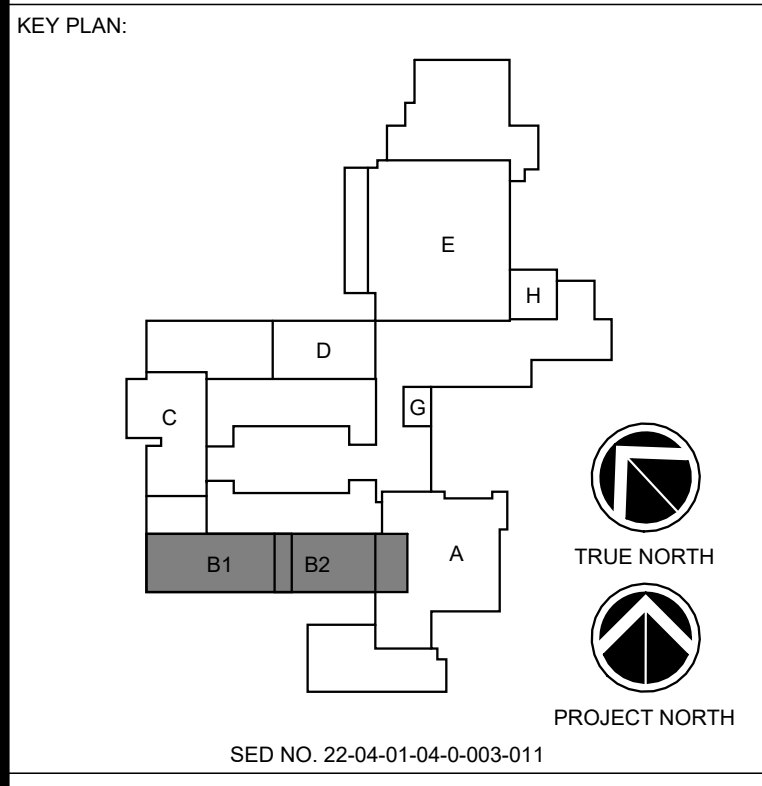
1 DIMENSION PLAN - AREA B1
SCALE: 1/8" = 1'-0"

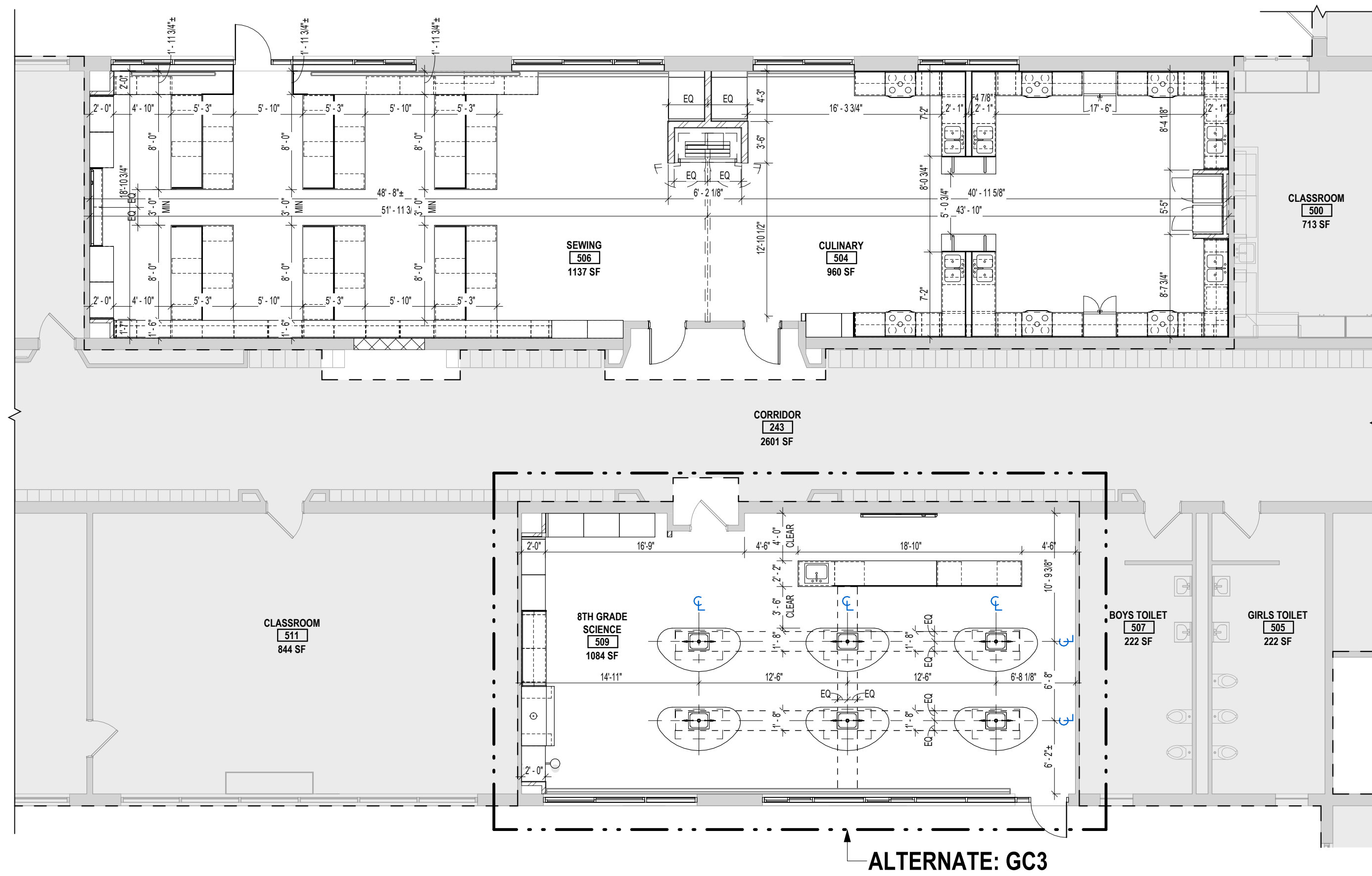


2 DIMENSION PLAN - AREA B2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

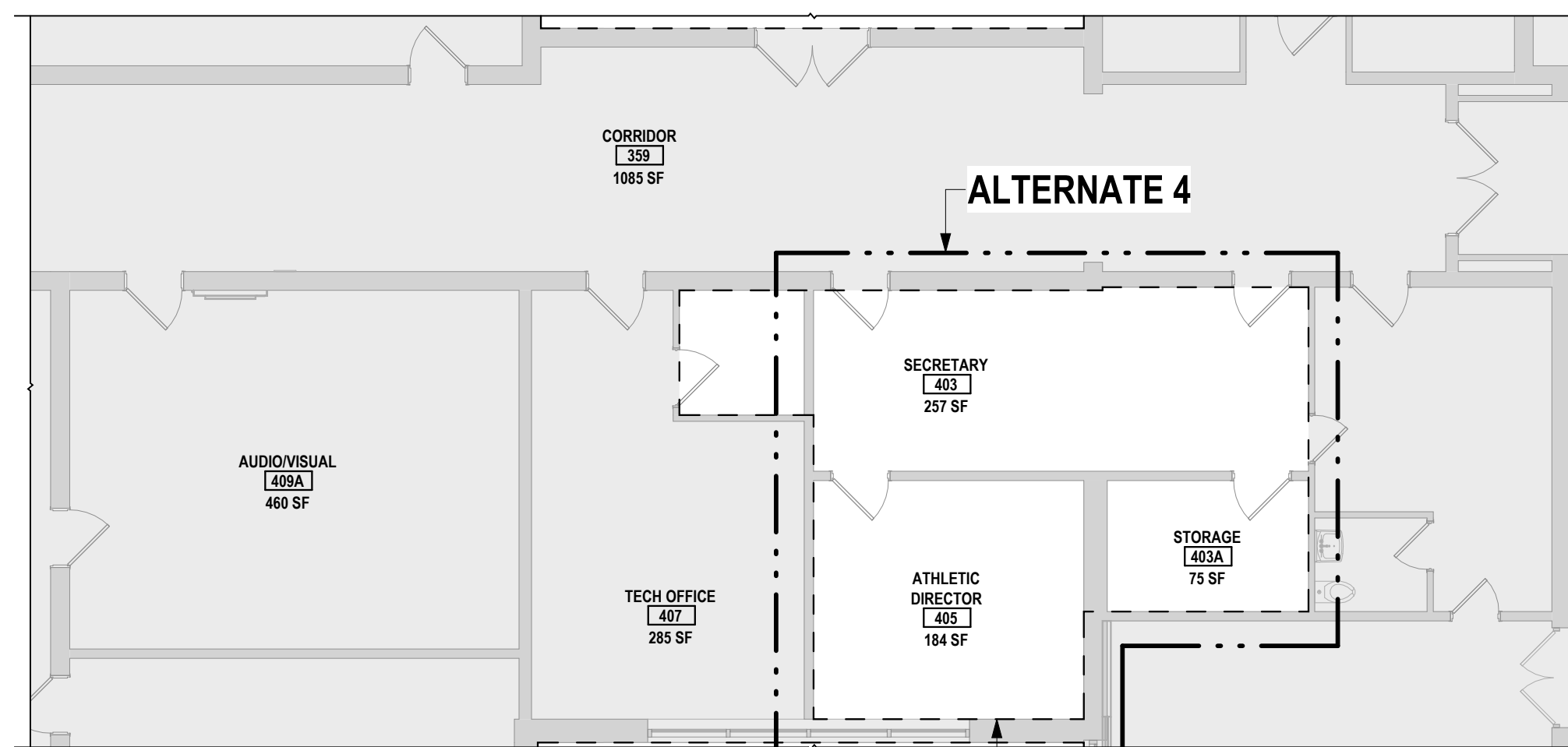
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	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT





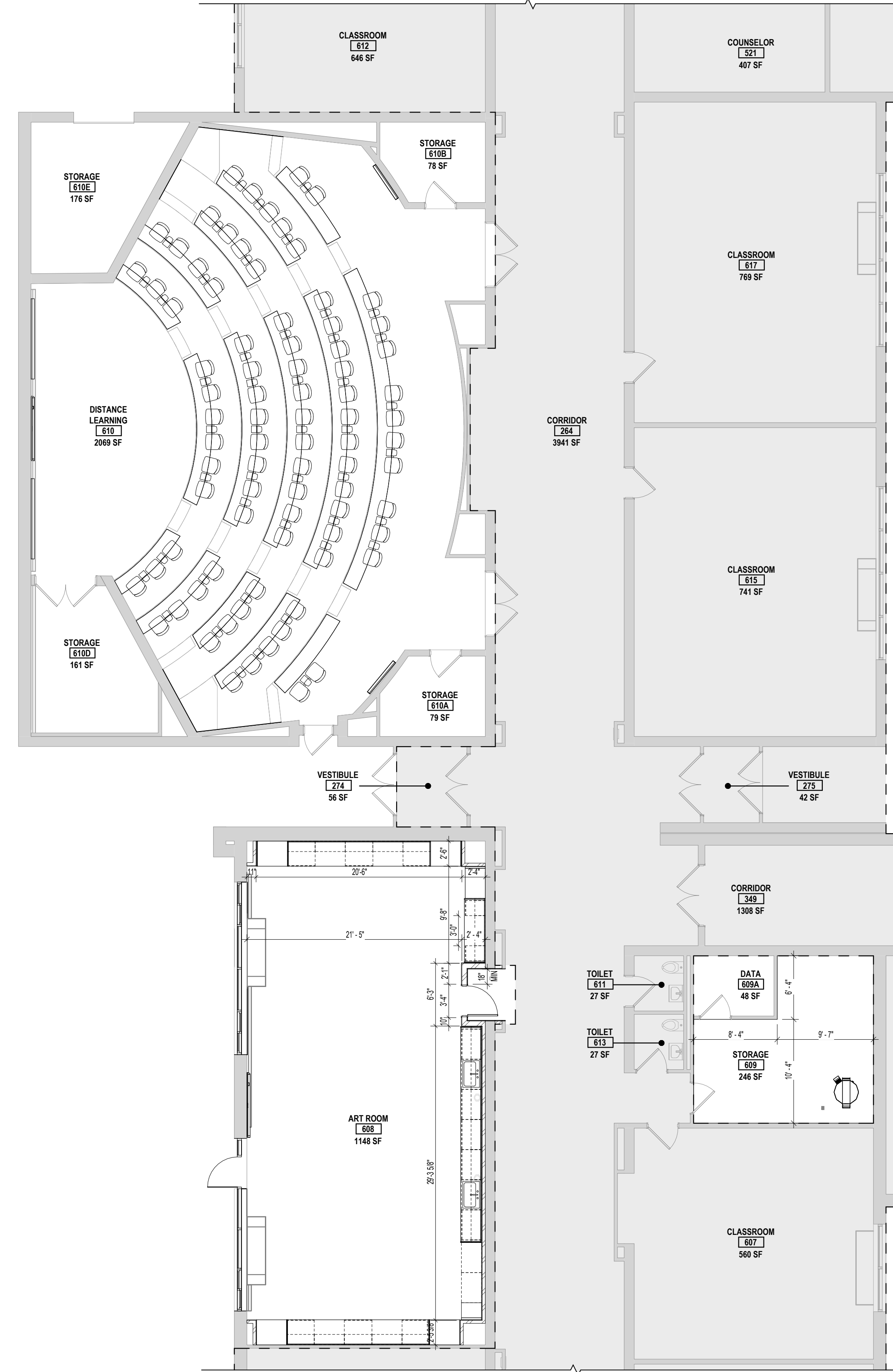
ALTERNATE: GC3

2 DIMENSION PLAN - AREA D
 SCALE: 1/8" = 1'-0"



ALTERNATE: GC4

3 DIMENSION PLAN - ATHLETIC DIRECTOR SUITE
 SCALE: 1/8" = 1'-0"

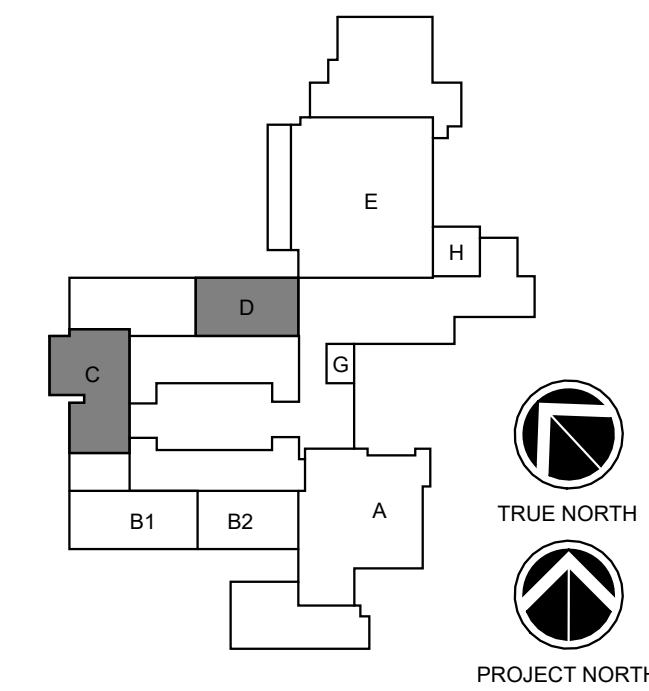


1 DIMENSION PLAN - AREA C
 SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

KEY PLAN:



SED NO. 22-04-01-04-0-003-011

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REV	DATE	DESCRIPTION

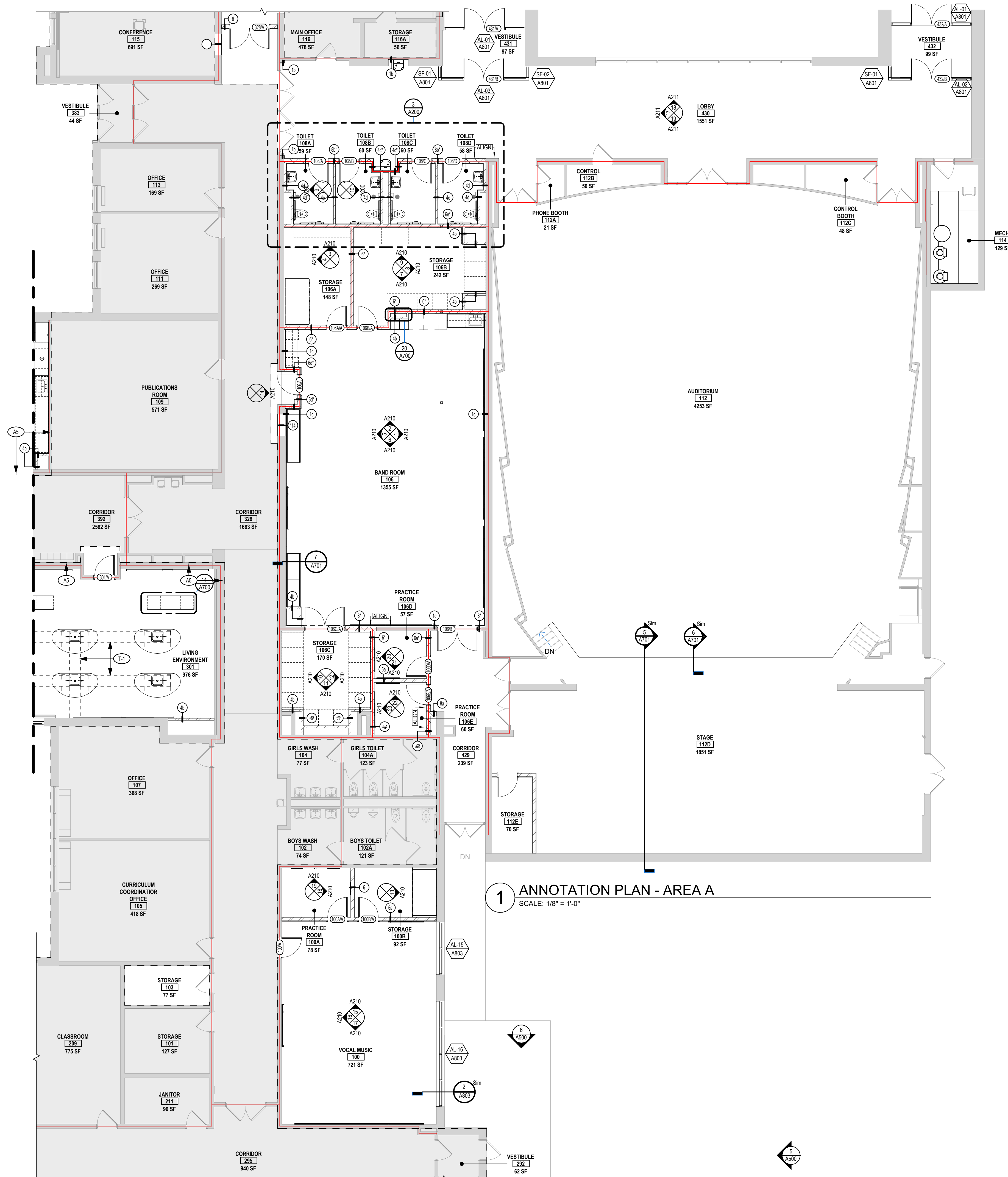
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CHECKED BY MLC	DATE 12/16/2024

DIMENSION PLAN - AREA C AND D

BUILDING NUMBER
HS

SHEET NUMBER
A102
 BID

12/17/2024 5:10:43 PM



1 ANNOTATION PLAN - AREA A
SCALE: 1/8" = 1'-0"

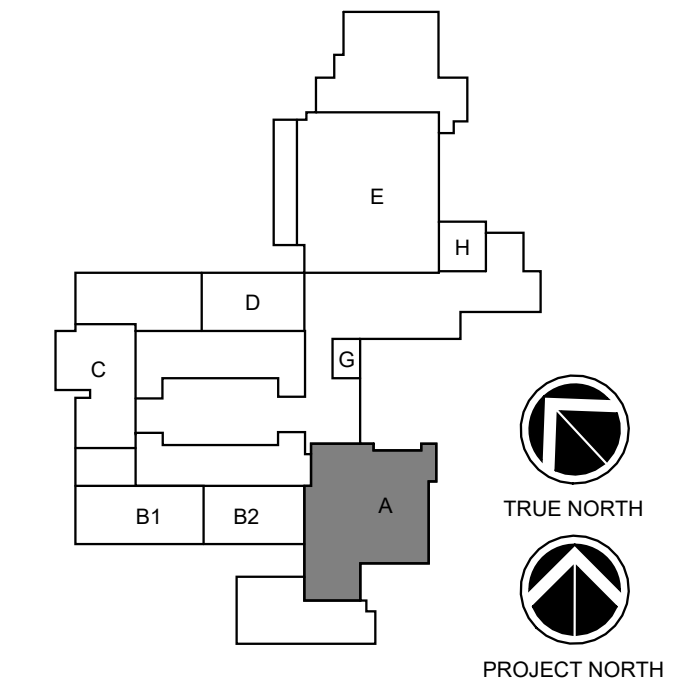
GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

KEYNOTES

- AS ALL PENETRATIONS IN EXISTING FIRE RATED ASSEMBLIES SHALL BE PROPERLY SEALED IN ACCORDANCE WITH SECTION 07 8400 FIRE STOPPING. SEE CODE COMPLIANCE PLANS FOR LOCATIONS OF FIRE RESISTANT RATINGS. TOP OF PARTITION AND EXISTING WALLS SHALL ALSO BE PROPERLY SEALED IN ACCORDANCE WITH SECTION 07 8400 FIRE STOPPING.
- T-1 TRENCH COVER

KEY PLAN:



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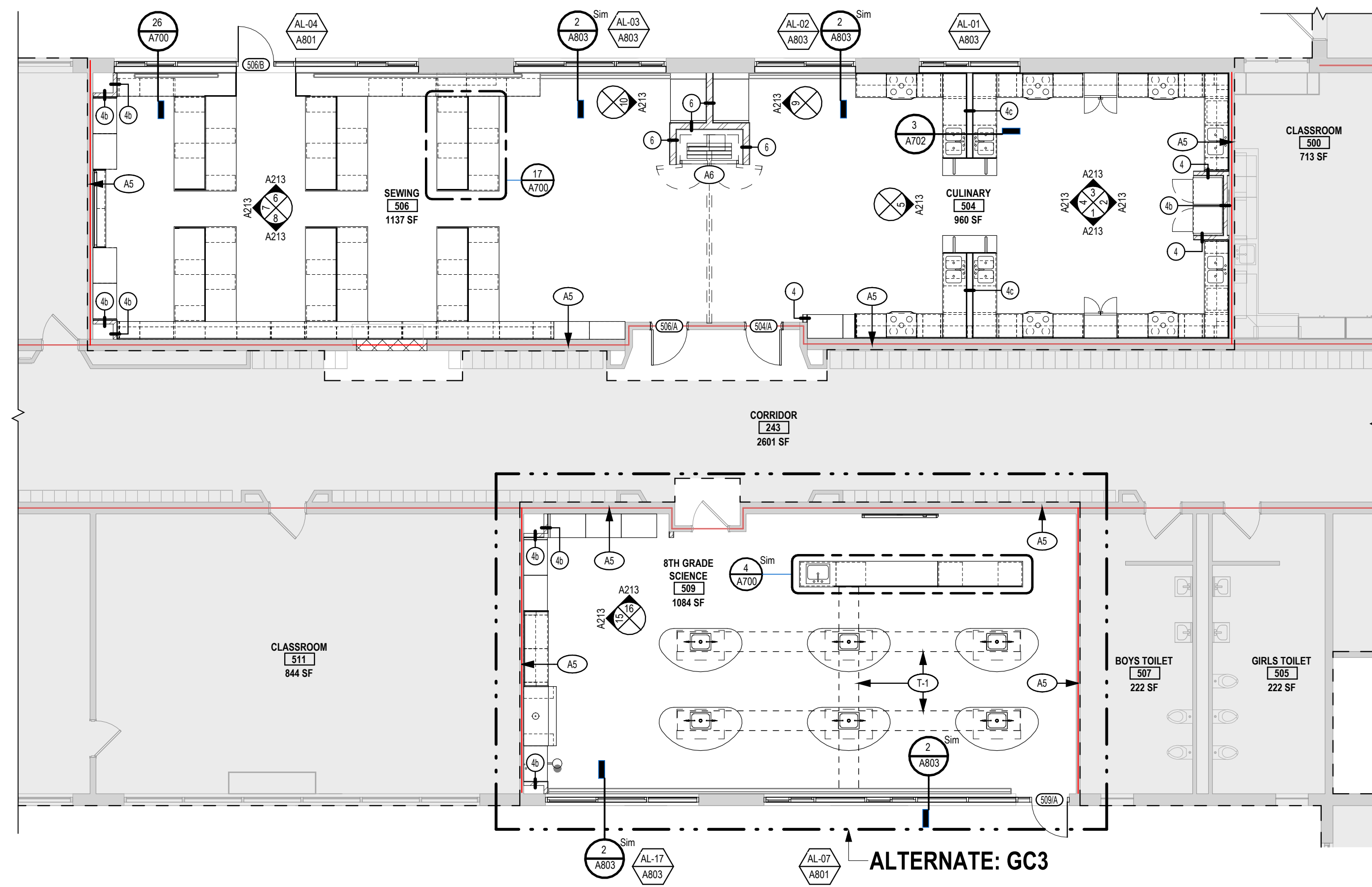
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REV	DATE	DESCRIPTION

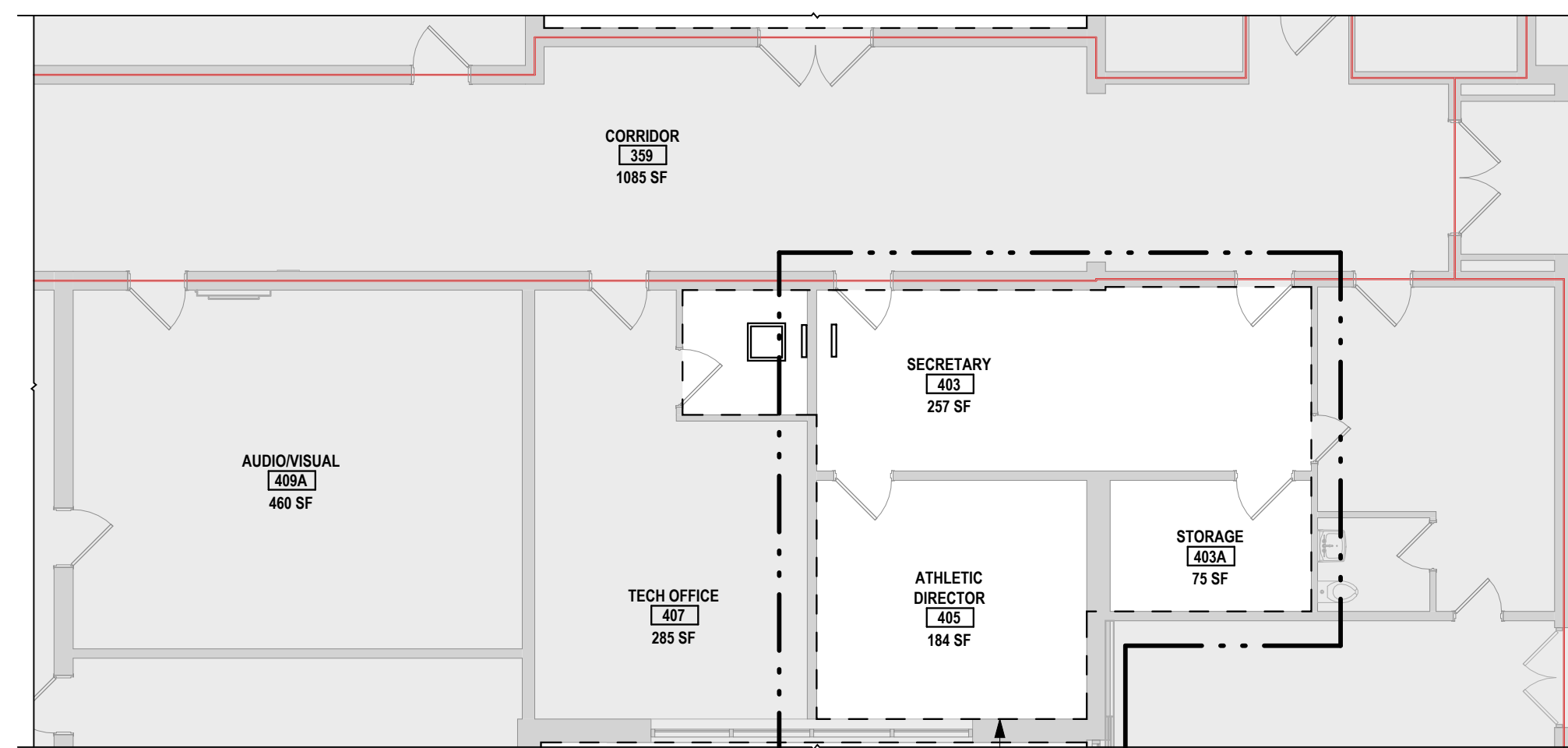
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CHECKED BY MLC	DATE 12/16/2024

ANNOTATION PLAN - AREA A

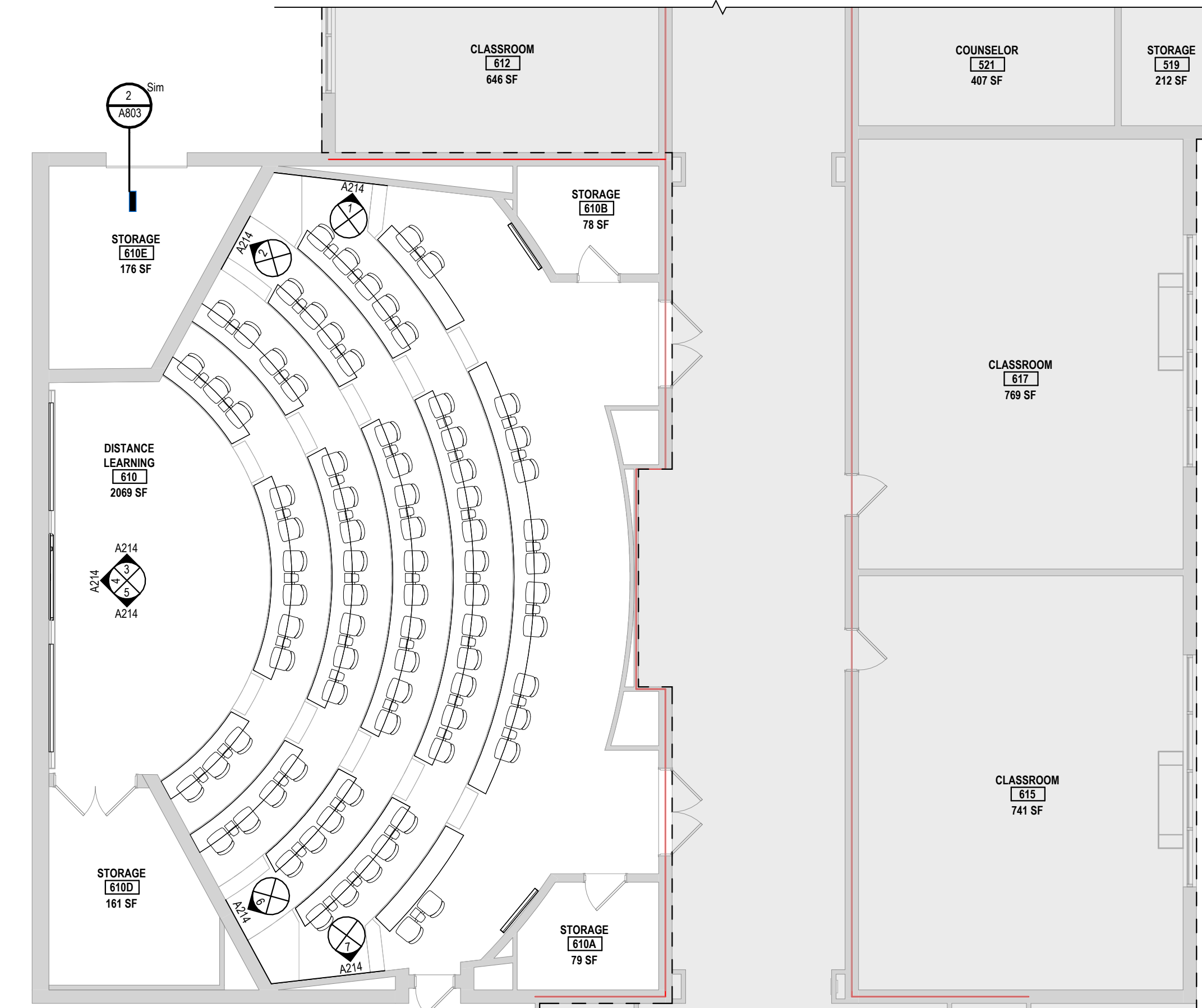
BUILDING NUMBER HS	SHEET NUMBER A110 BID
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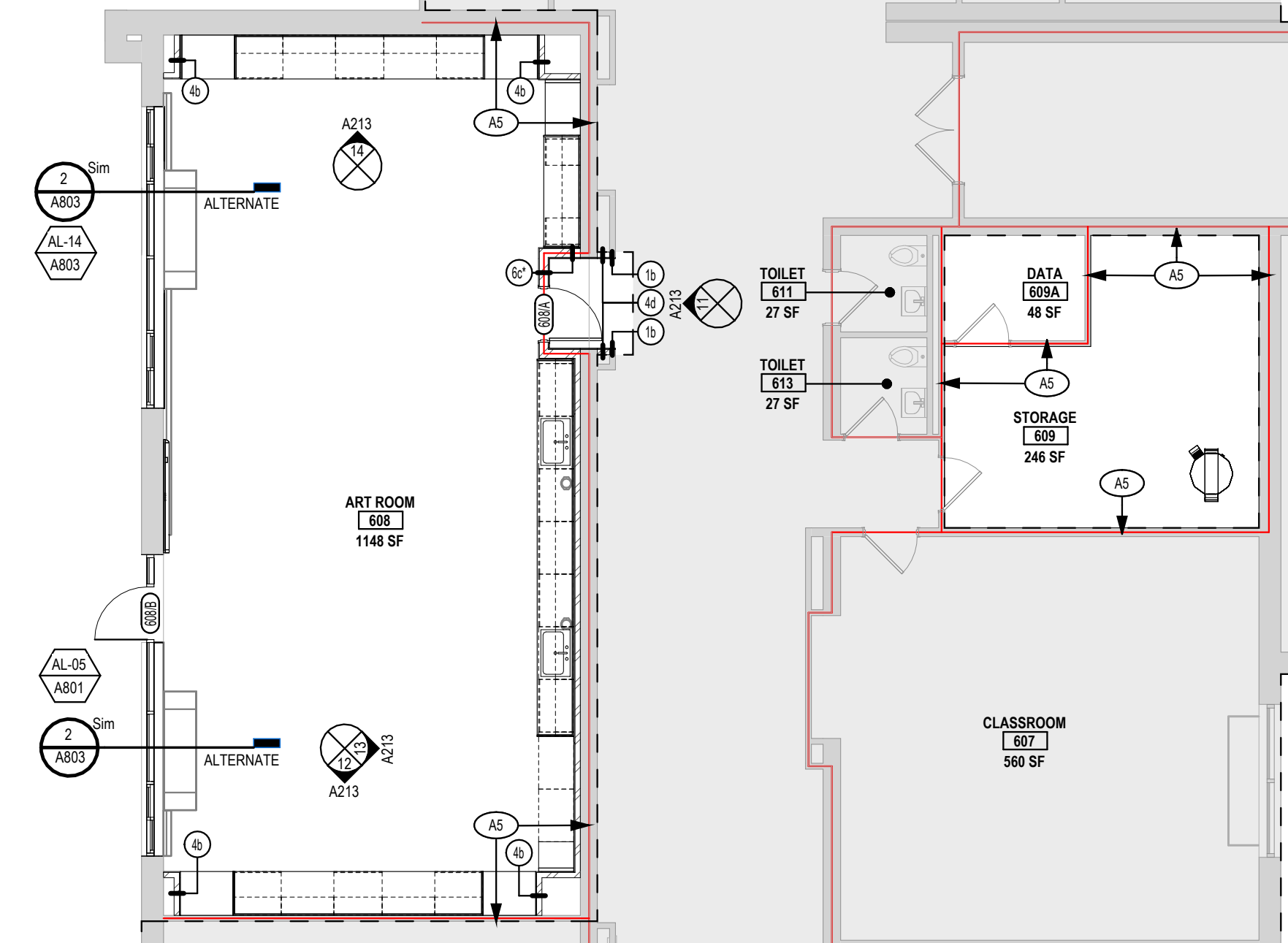
2 ANNOTATION PLAN - AREA D
 SCALE: 1/8" = 1'-0"



3 ANNOTATION PLAN - FIRST FLOOR - ATHLETIC DIRECTOR SUITE
 SCALE: 1/8" = 1'-0"



1 ANNOTATION PLAN - AREA C
 SCALE: 1/8" = 1'-0"

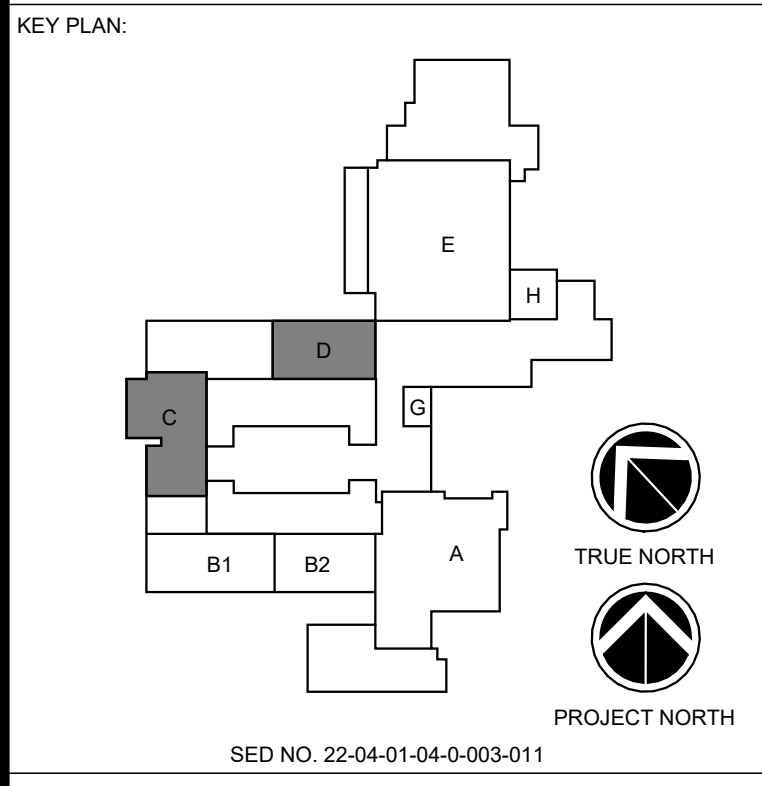


GENERAL PROJECT LEGEND

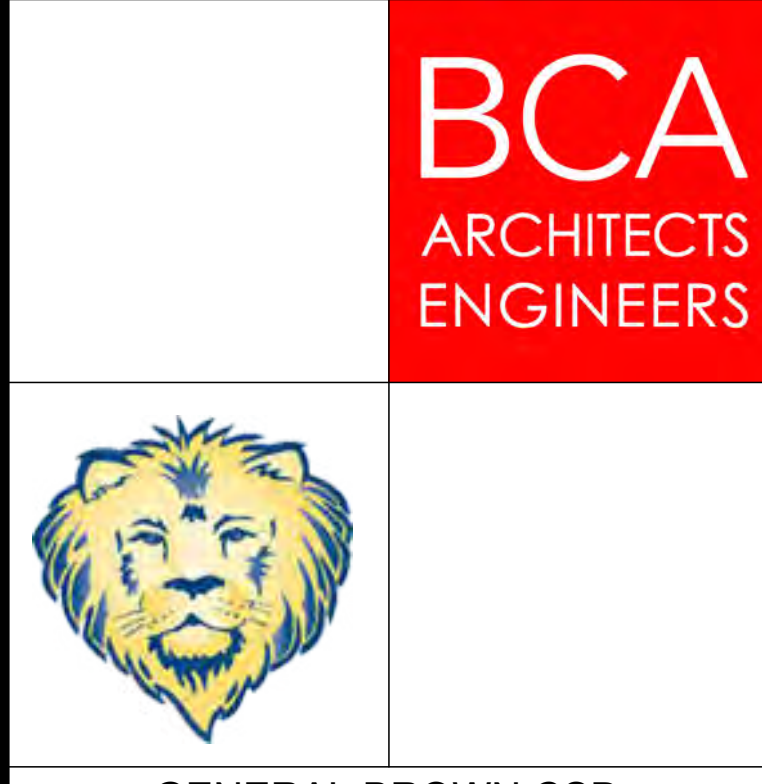
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

KEYNOTES

A5	ALL PENETRATIONS IN EXISTING FIRE RATED ASSEMBLIES SHALL BE PROPERLY SEALED IN ACCORDANCE WITH SECTION 07 8400 FIRE STOPPING. SEE CODE COMPLIANCE PLANS FOR LOCATIONS OF FIRE RESISTANT RATINGS. TOP OF PARTITION AND EXISTING WALLS SHALL ALSO BE PROPERLY SEALED IN ACCORDANCE WITH SECTION 07 8400 FIRE STOPPING.
A6	MOVEABLE PARTITION
T-1	TRENCH COVER



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REV	DATE	DESCRIPTION

DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

BUILDING NUMBER HS	SHEET NUMBER A112 BID
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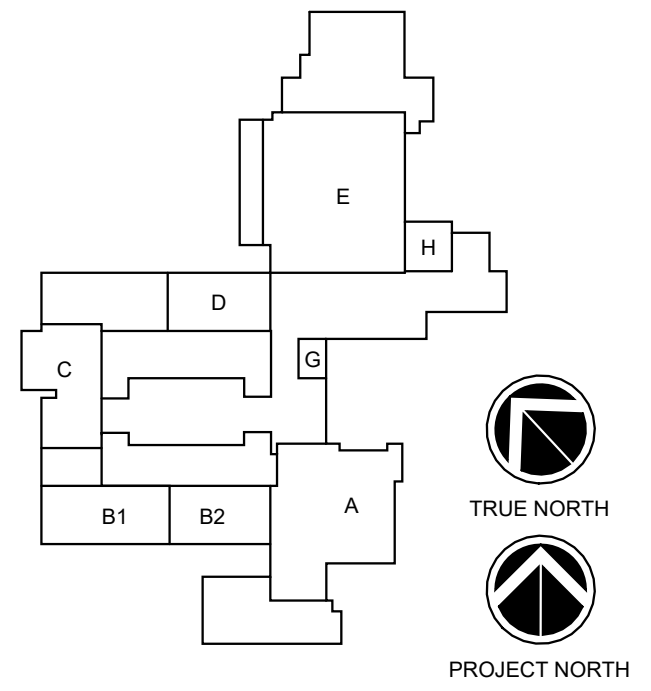
GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

KEYNOTES

- A7 MIRROR OUTLINED TO SHOW FINISH BEHIND UNIT, TYP.
- GB18 18" GRAB BAR
- GB36 36" GRAB BAR
- GB42 42" GRAB BAR
- LK1 LOCKERS
- MR1 SINK ALIGNED FRAME MIRROR
- ND1 NAPKIN DISPOSAL
- PT1 PAPER TOWEL DISPENSER
- SC1 SHOWER CURTAIN AND TRACK
- SD1 SOAP DISPENSER
- ST1 SHOWER SEAT
- TH1 DOUBLE TOILET PAPER HOLDER
- TP1 TOILET PARTITION
- US1 URINAL SCREEN

KEY PLAN:



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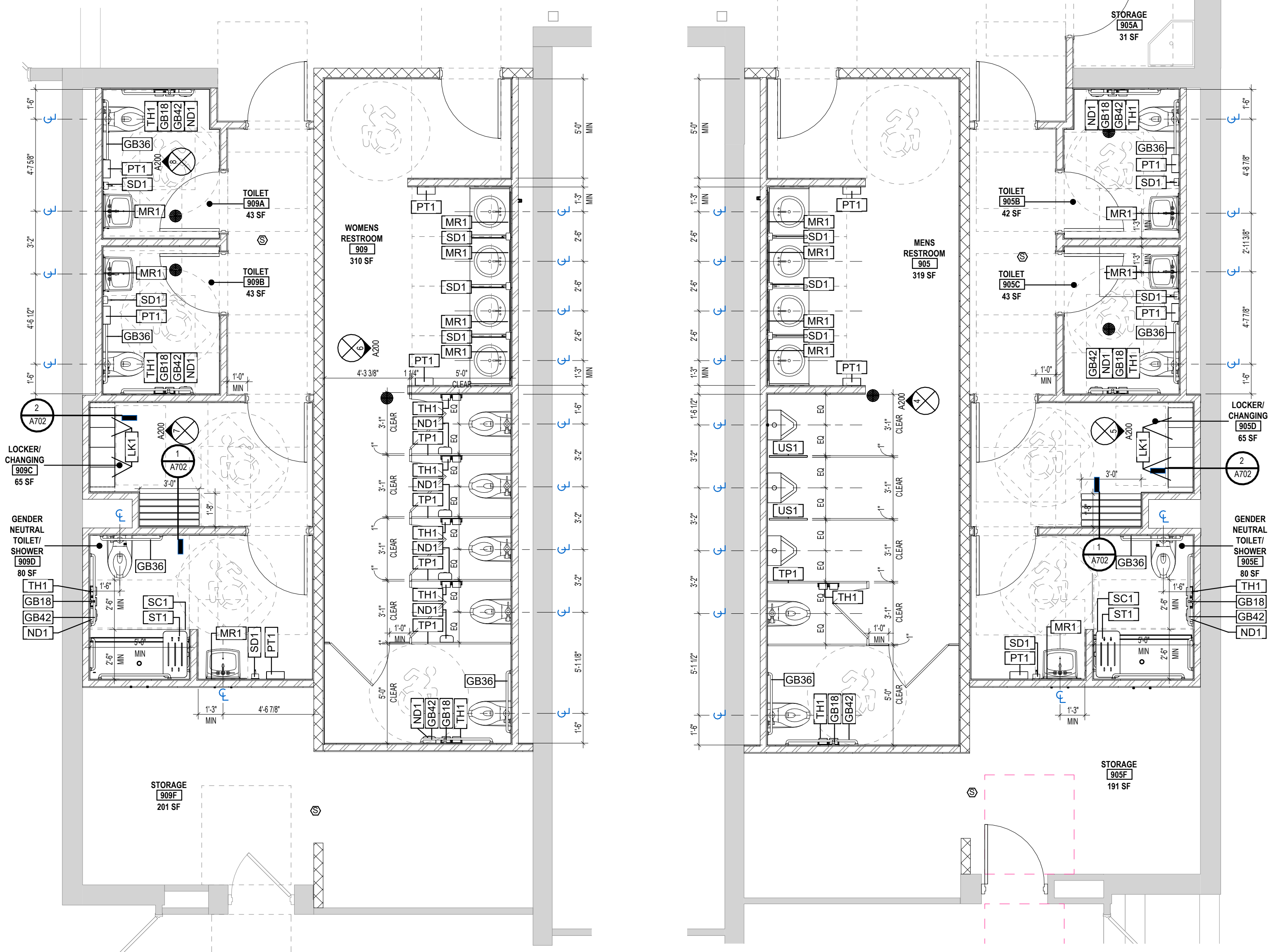
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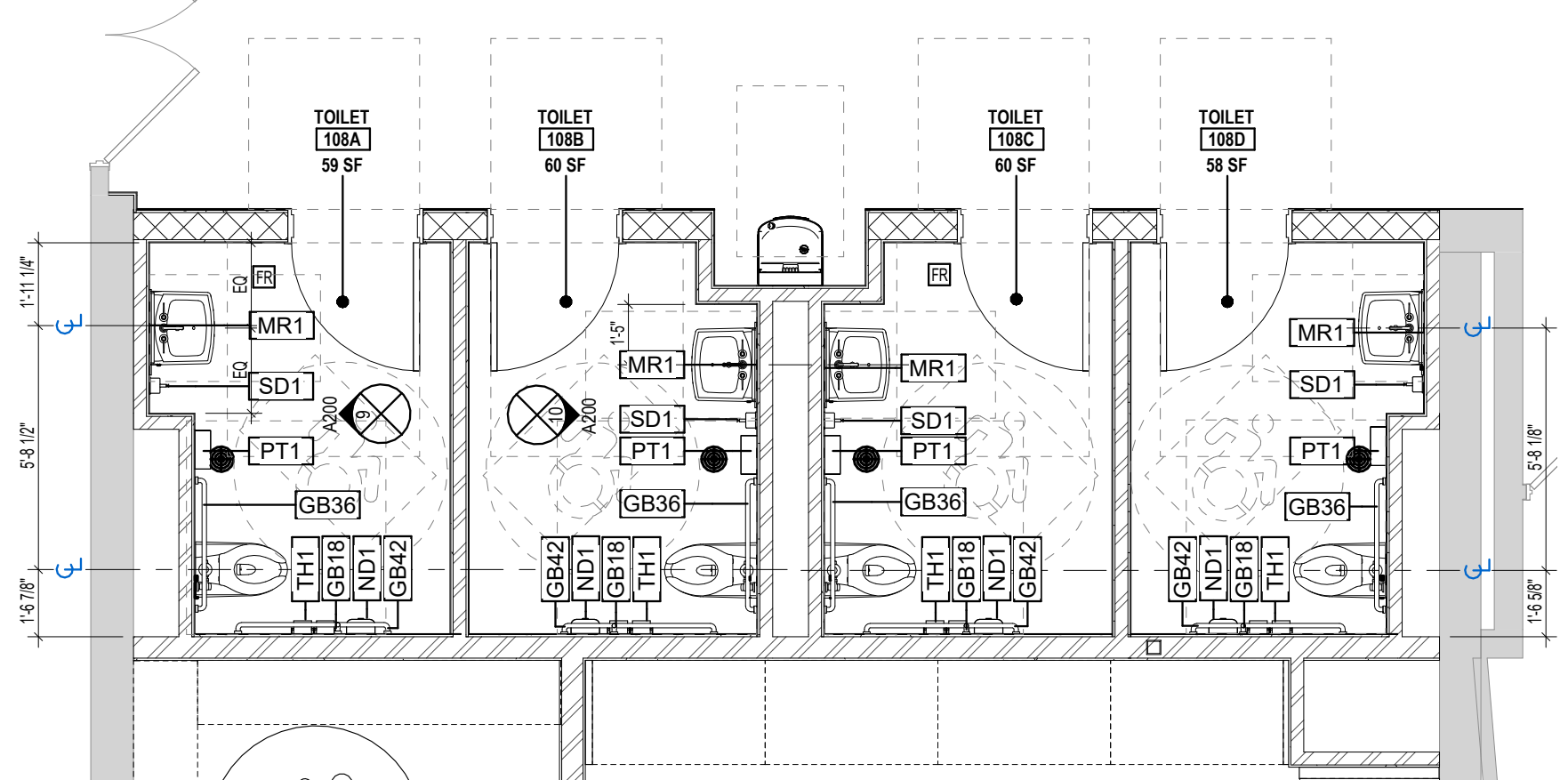
REV	DATE	DESCRIPTION

DRAWN BY: MJK/ALS PROJECT NUMBER: 2023-105
 CHECKED BY: MLC DATE: 12/16/2024
ENLARGED PLANS - TOILET ROOMS - AREA A AND E
 BUILDING NUMBER: HS SHEET NUMBER: A200
 BID

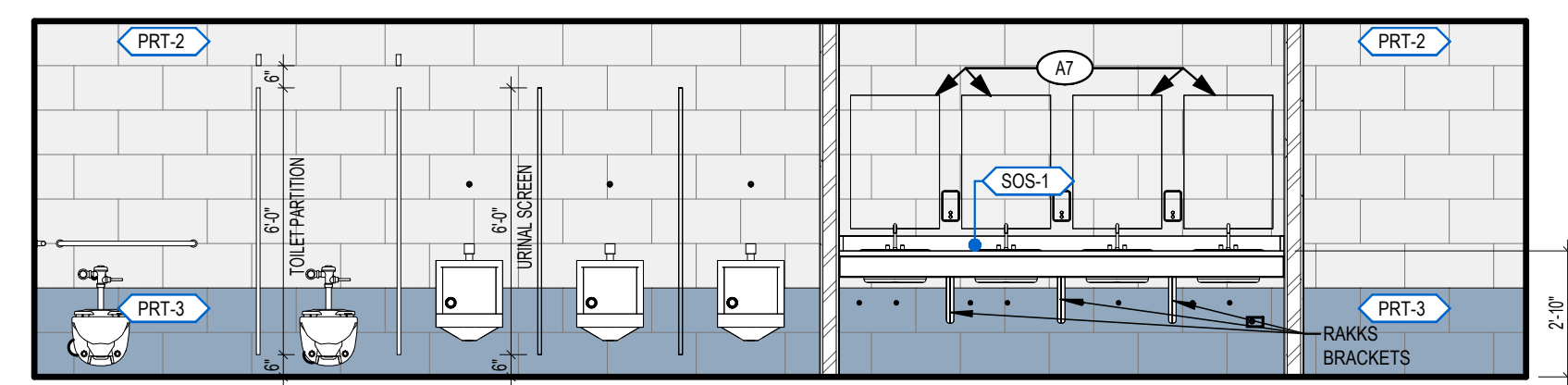


2 ENLARGED PLAN - FIRST FLOOR - AREA E
 SCALE: 1/4" = 1'-0"

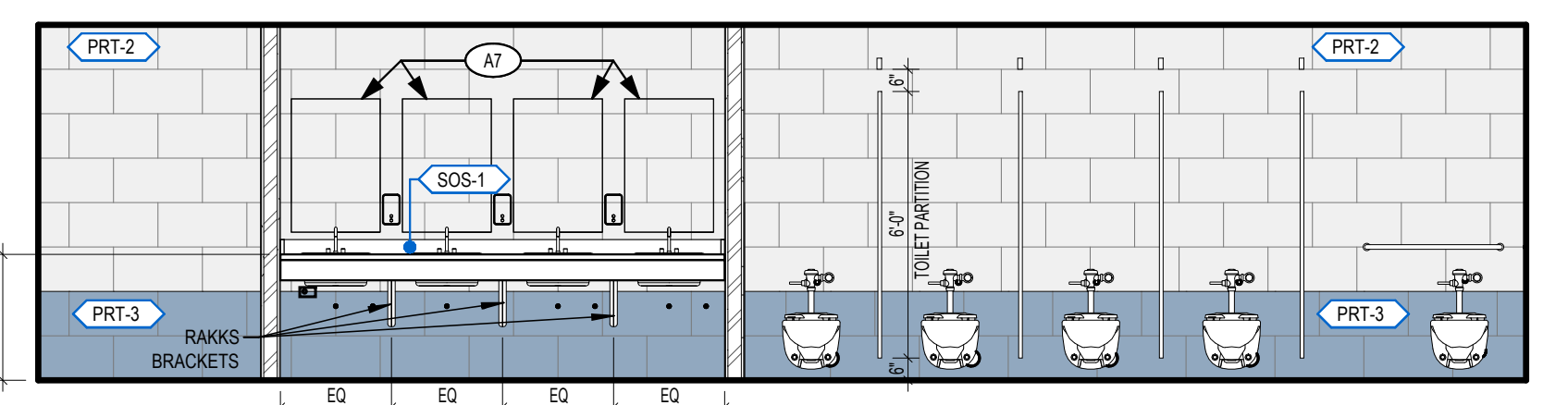
1 ENLARGED PLAN - FIRST FLOOR - AREA E
 SCALE: 1/4" = 1'-0"



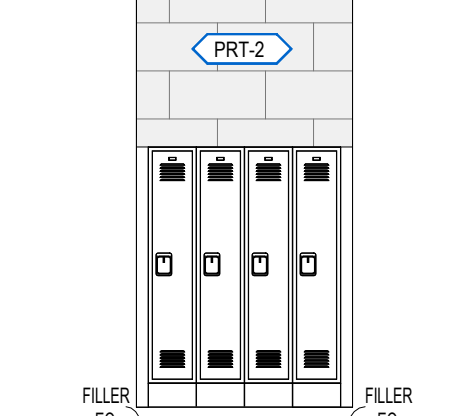
3 ENLARGED PLAN - FIRST FLOOR - AREA A
 SCALE: 1/4" = 1'-0"



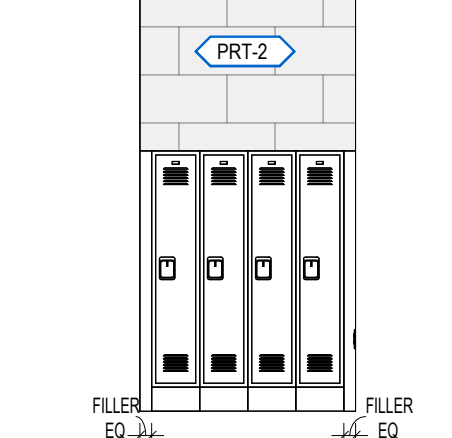
4 905 MENS RESTROOM - WEST
 SCALE: 1/4" = 1'-0"



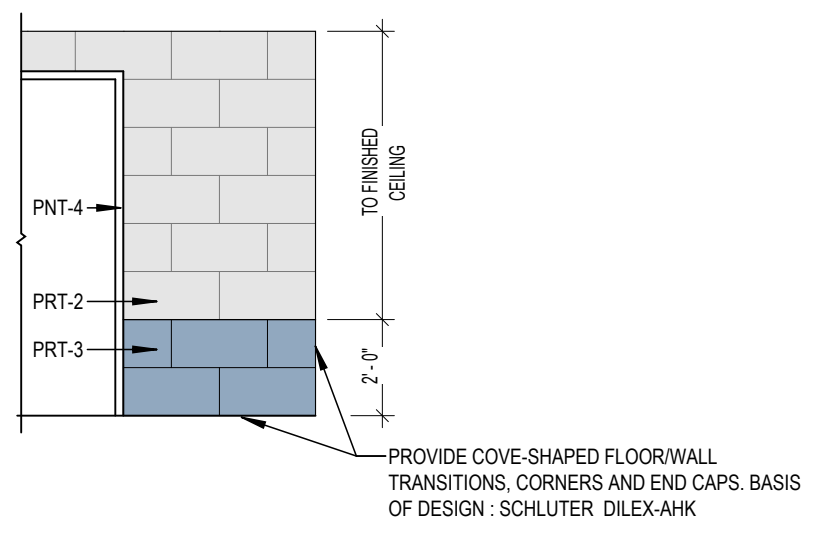
6 909E WOMENS TOILET - EAST
 SCALE: 1/4" = 1'-0"



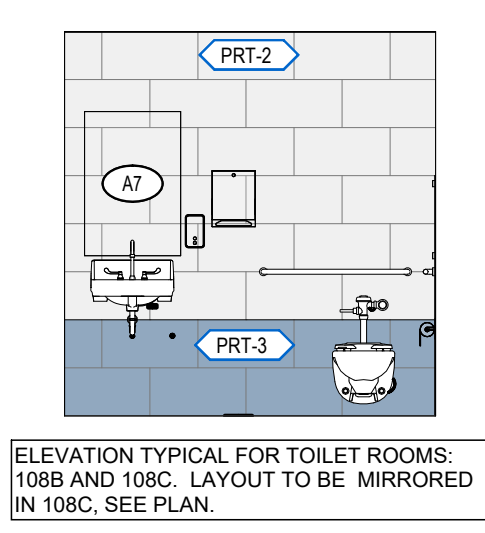
5 905D - EAST
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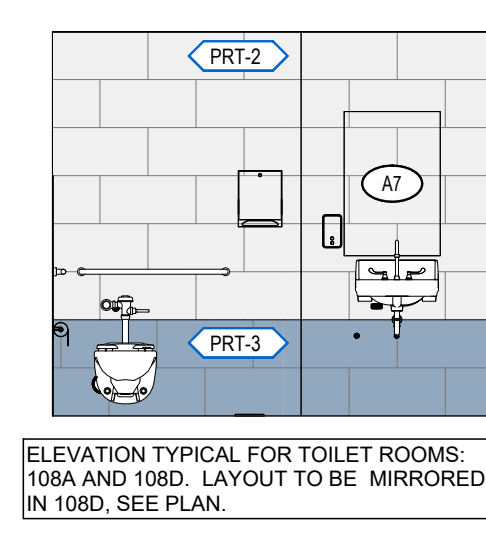
7 909C - WEST
 SCALE: 1/4" = 1'-0"



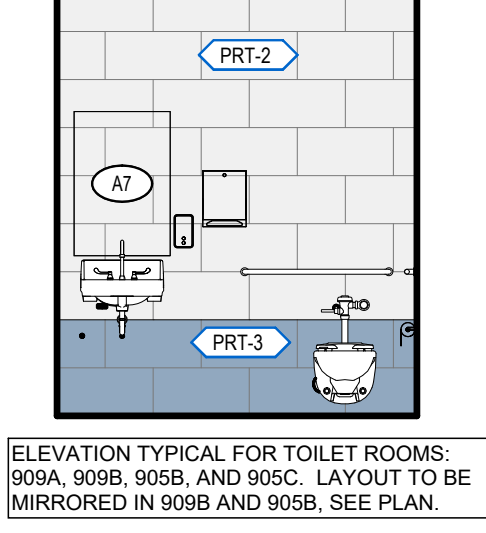
11 TYPICAL TILE DETAIL
 SCALE: 1/4" = 1'-0"



10 108B TOILET
 SCALE: 1/4" = 1'-0"



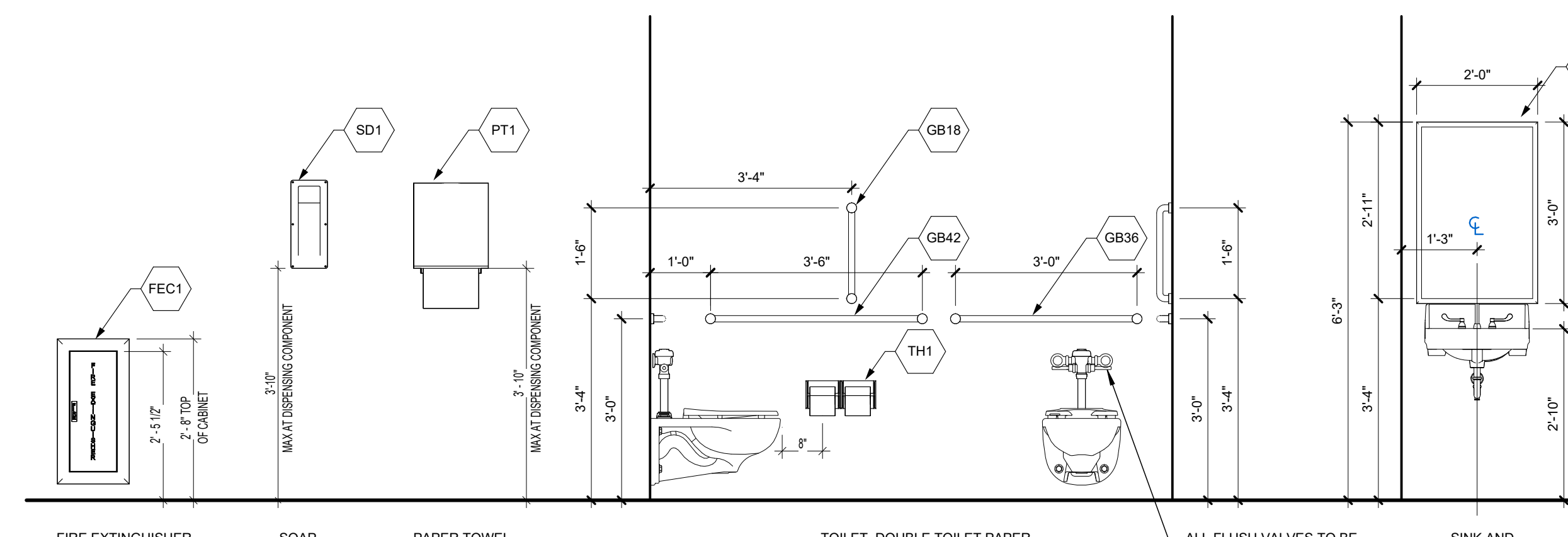
9 108A TOILET
 SCALE: 1/4" = 1'-0"



8 909A TOILET
 SCALE: 1/4" = 1'-0"

ACCESSORY SCHEDULE						
TAG	COMPONENT	CONTRACTOR SUPPLIED	OWNER SUPPLIED	CONTRACTOR SUPPLIED	OWNER SUPPLIED	NOTES
FEC1	FIRE EXTINGUISHER CABINET	-	-	-	-	
GB18	18" GRAB BAR	-	-	-	-	PEENED GRIPPING SURFACE - PROVIDE BLOCKING
GB36	36" GRAB BAR	-	-	-	-	PEENED GRIPPING SURFACE - PROVIDE BLOCKING
GB42	42" GRAB BAR	-	-	-	-	PEENED GRIPPING SURFACE - PROVIDE BLOCKING
MR1	SINK ALIGNED FRAME MIRROR	-	-	-	-	
PT1	PAPER TOWEL DISPENSER	-	-	-	-	
SD1	SOAP DISPENSER	-	-	-	-	
TH1	DOUBLE TOILET PAPER HOLDER	-	-	-	-	
SS1	STAINLESS STEEL SHELF	-	-	-	-	
ND1	NAPKIN DISPOSAL	-	-	-	-	
RH1	ROBE HOOKS	-	-	-	-	
SC1	SHOWER CURTAIN AND TRACK	-	-	-	-	
TB1	TOWEL BAR	-	-	-	-	
ST1	SHOWER SEAT	-	-	-	-	
LK1	LOCKERS	-	-	-	-	
US1	URINAL SCREEN	-	-	-	-	
TP1	TOILET PARTITION	-	-	-	-	

GENERAL NOTE: 1. SEE TYPICAL ELEVATIONS FOR MOUNTING HEIGHTS. 2. SEE PLAN FOR LOCATIONS. 3. PROVIDE BLOCKING.

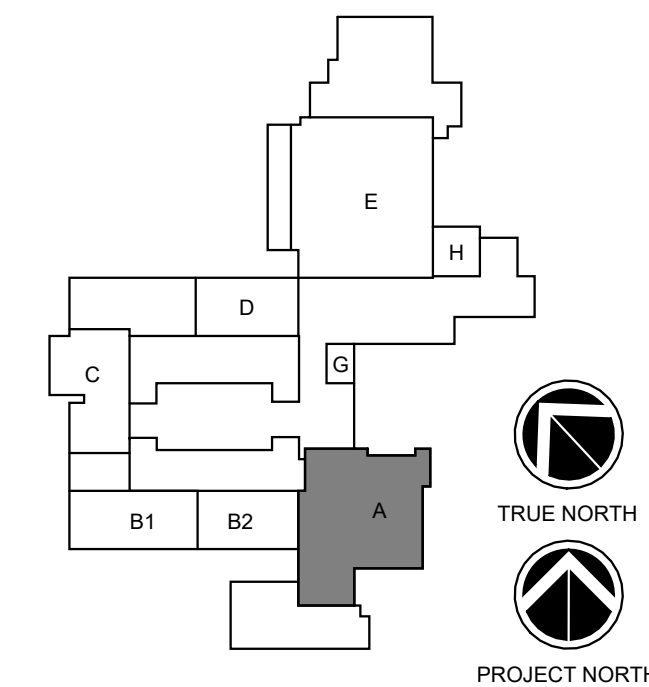


TYPICAL MOUNTING HEIGHTS
 SCALE: 1/2" = 1'-0"

KEYNOTES

A8 GUITAR RACK, BASIS OF DESIGN: STRING SWING MULTI GUITAR WALL RACK FOR 10 GUITARS, SW19RL-K
 SB-01 SMARTBOARD

KEY PLAN:



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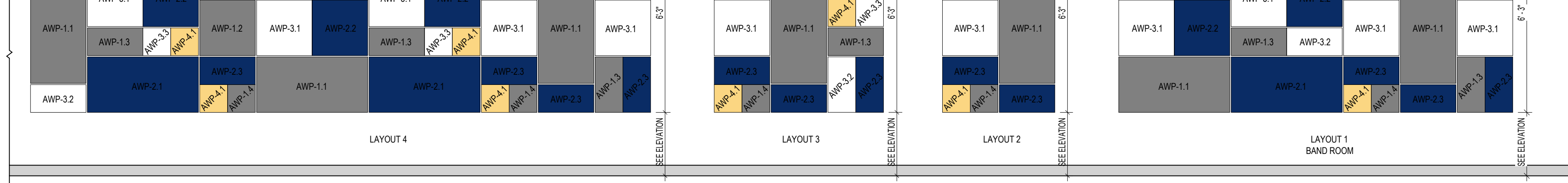
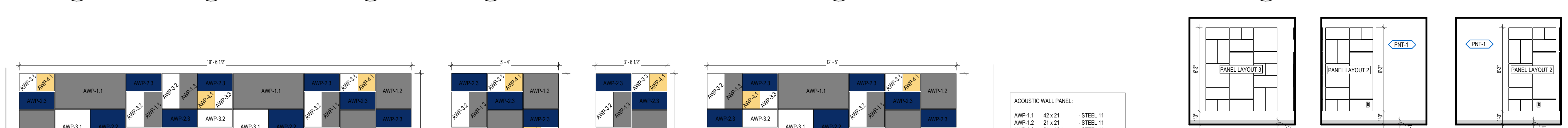
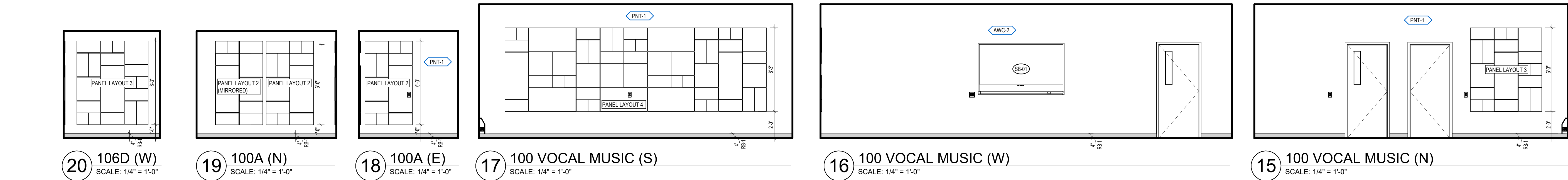
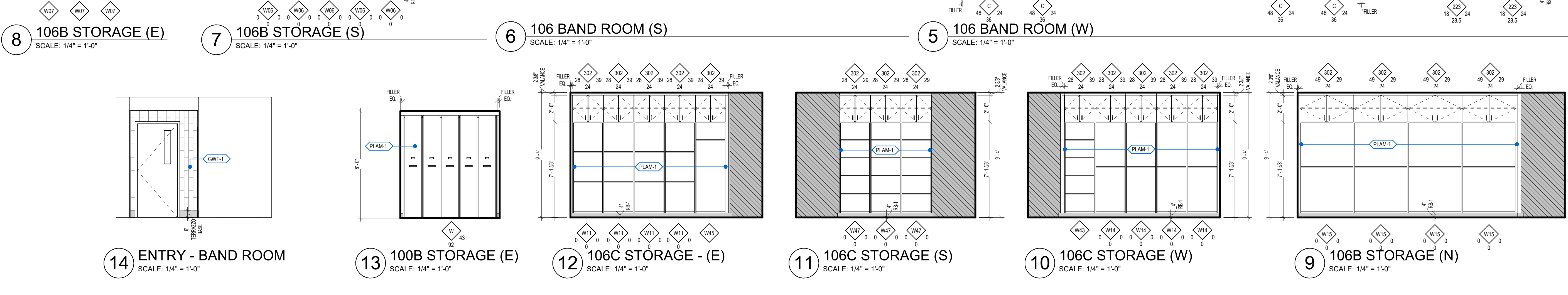
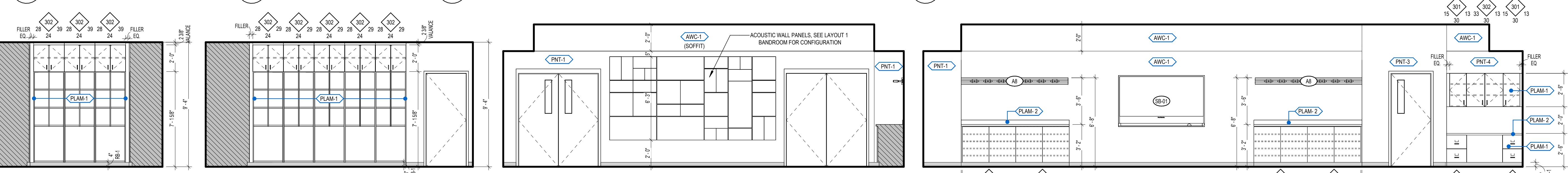
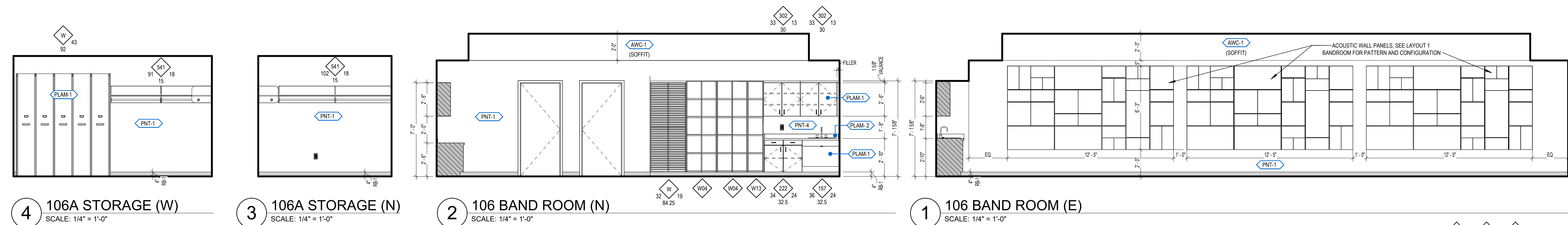
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REV	DATE	DESCRIPTION

BUILDING NUMBER: **HS**
 SHEET NUMBER: **A210**
 BID



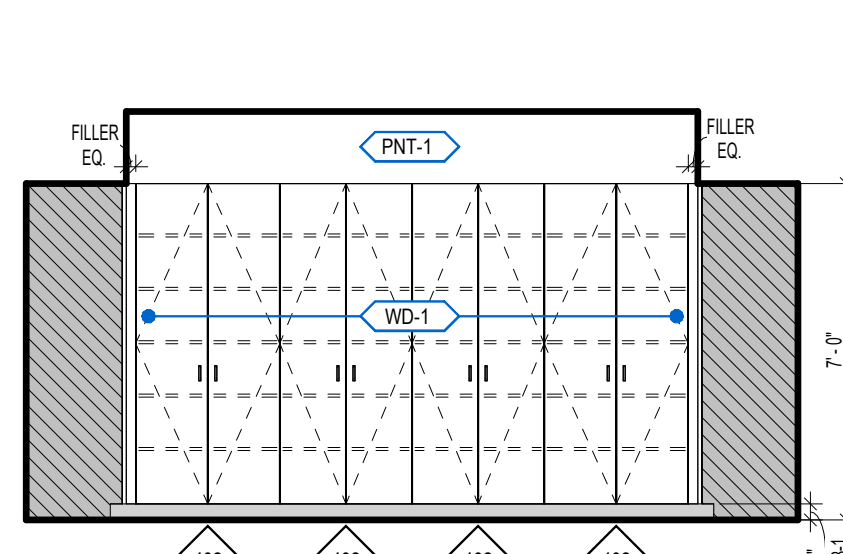
ACOUSTIC WALL PANEL:

AWP-1.1	42 x 21	- STEEL 11
AWP-1.2	21 x 21	- STEEL 11
AWP-1.3	21 x 10.5	- STEEL 11
AWP-1.4	10.5 x 10.5	- STEEL 11
AWP-2.1	42 x 21	- DEEP BLUE 09
AWP-2.2	21 x 21	- DEEP BLUE 09
AWP-2.3	21 x 10.5	- DEEP BLUE 09
AWP-3.1	21 x 21	- WHITE 07
AWP-3.2	21 x 10.5	- WHITE 07
AWP-3.3	10.5 x 10.5	- WHITE 07
AWP-4.1	10.5 x 10.5	- YELLOW 22

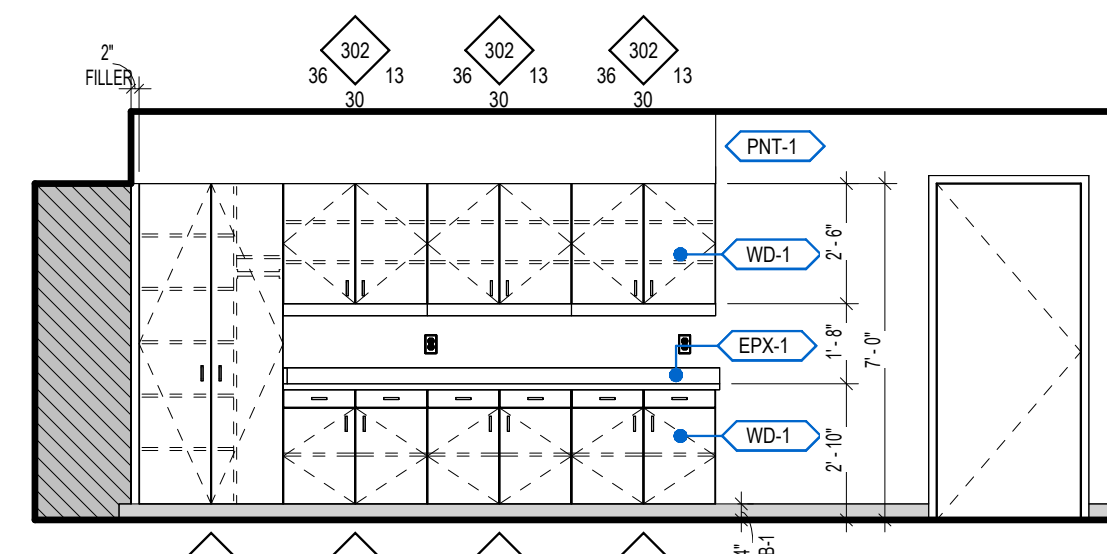
NOTE: SEE MATERIAL SCHEDULE FOR BASIS OF DESIGN MANUFACTURER AND ADDITIONAL INFORMATION

24 TYPICAL SOUND-ABSORBING WALL UNIT (AWP) LAYOUTS - MUSIC SUITE
 SCALE: 3/8" = 1'-0"

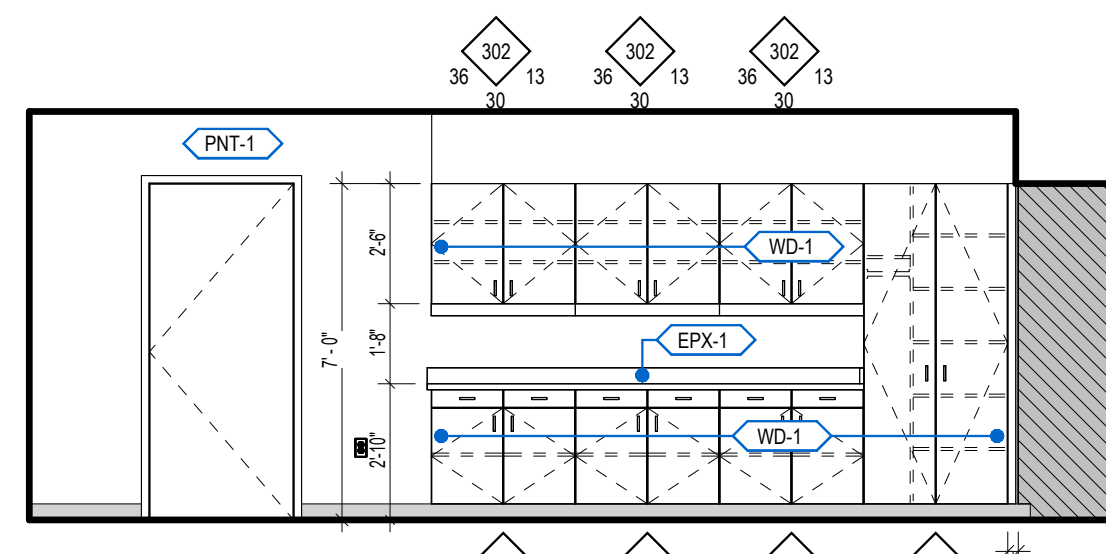
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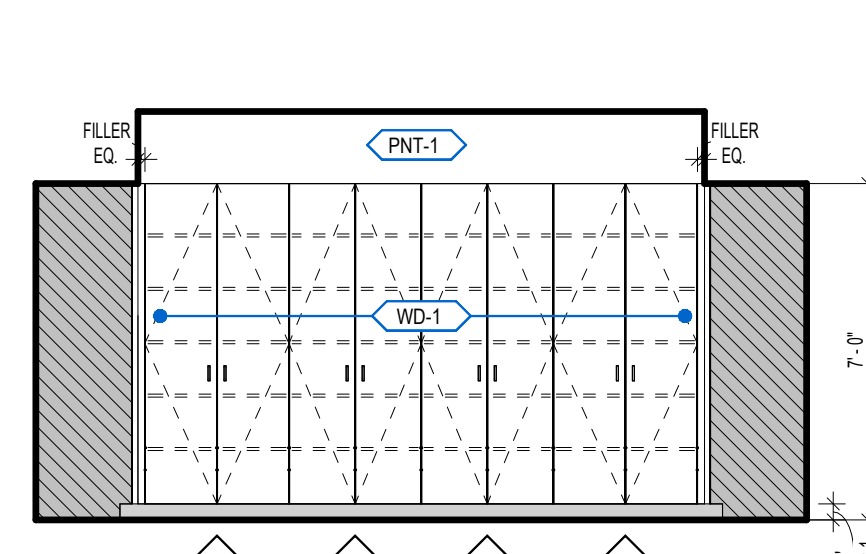
5 301A PREP ROOM (N)
SCALE: 1/4" = 1'-0"



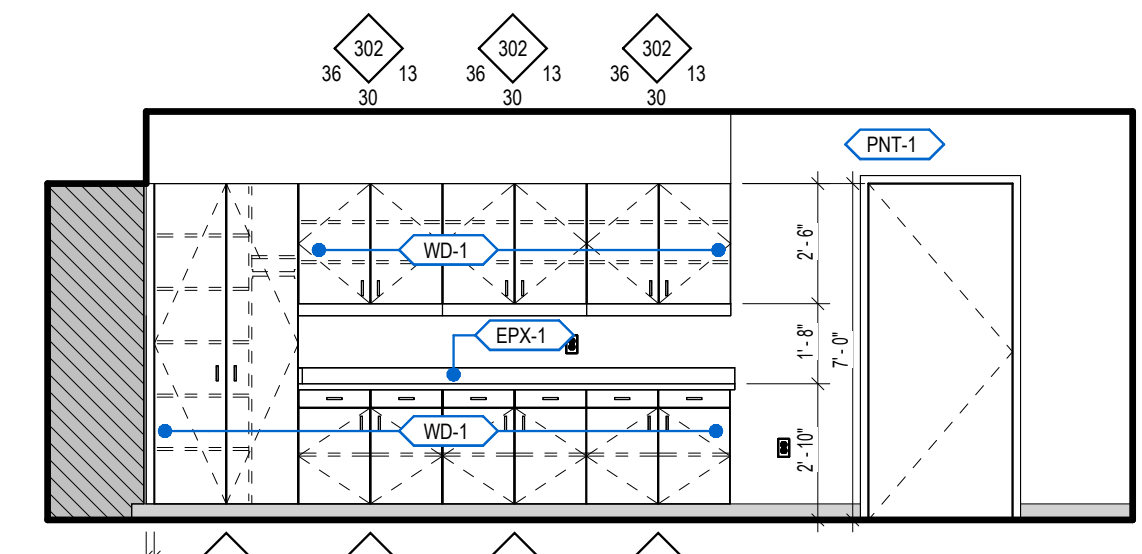
4 301A PREP ROOM (E)
SCALE: 1/4" = 1'-0"



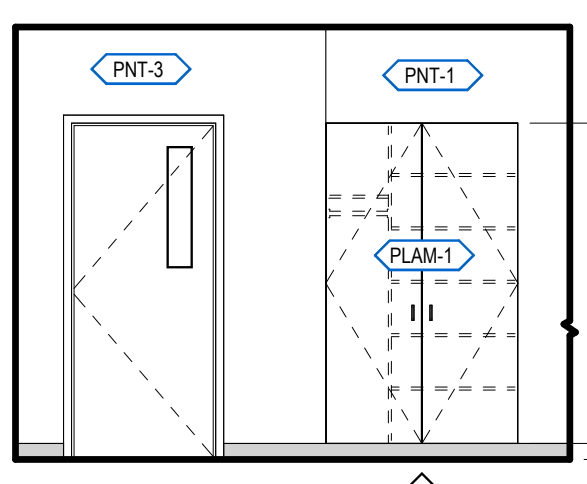
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SCALE: 1/4" = 1'-0"



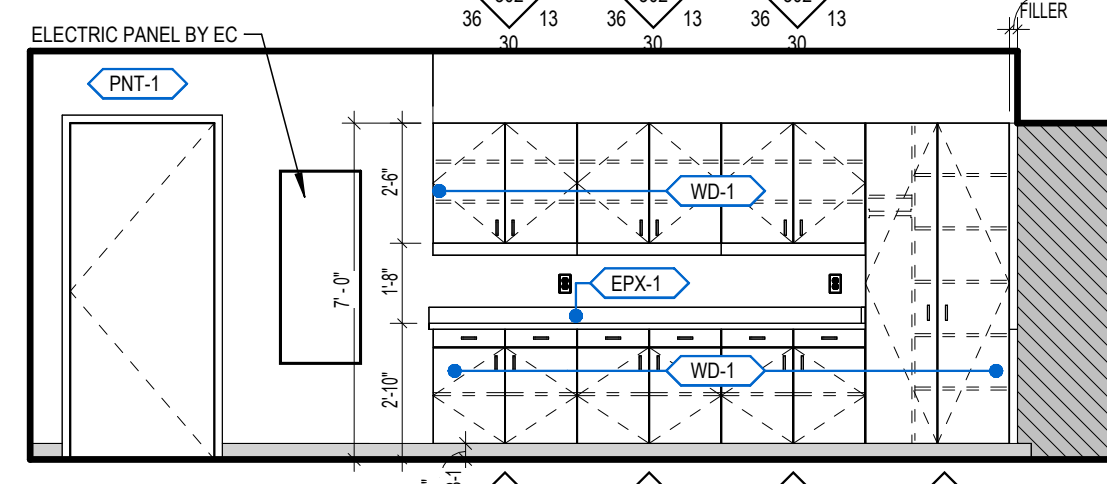
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SCALE: 1/4" = 1'-0"



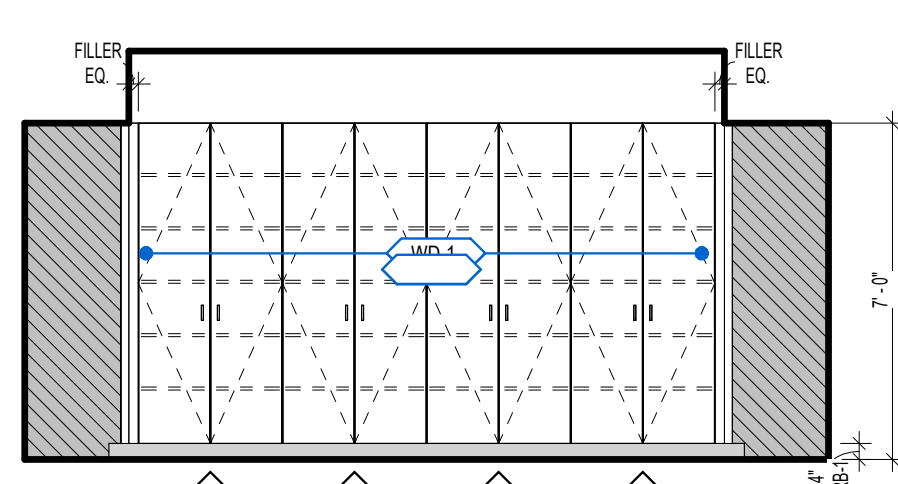
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SCALE: 1/4" = 1'-0"



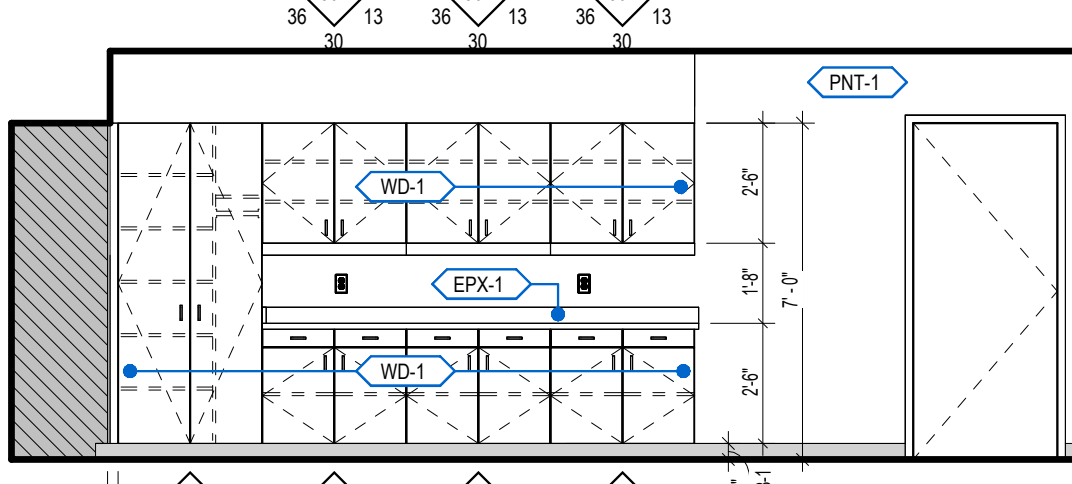
10 CLASSROOM 600
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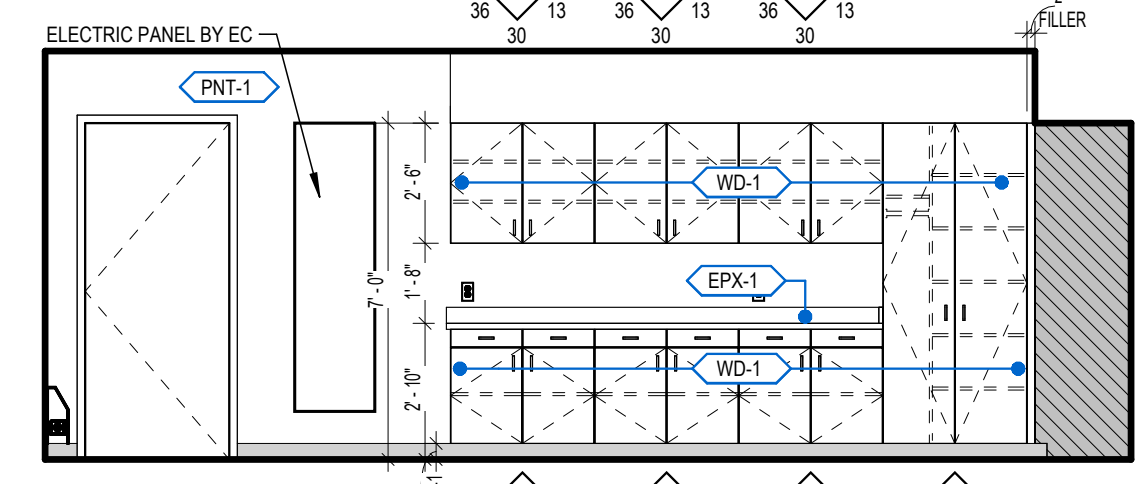
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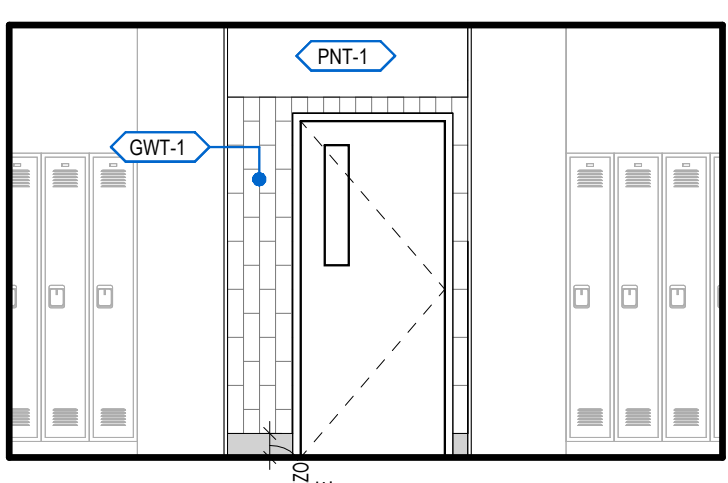
8 305A PREP ROOM (N)
SCALE: 1/4" = 1'-0"



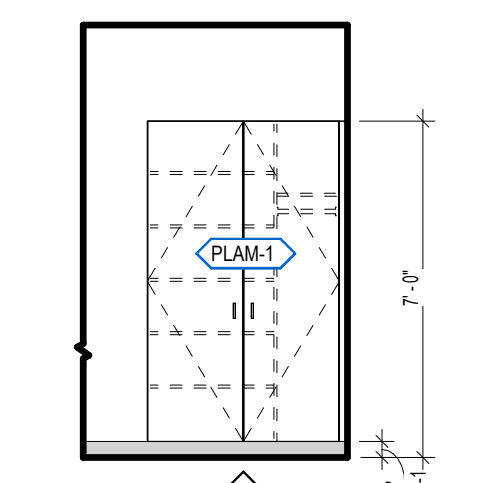
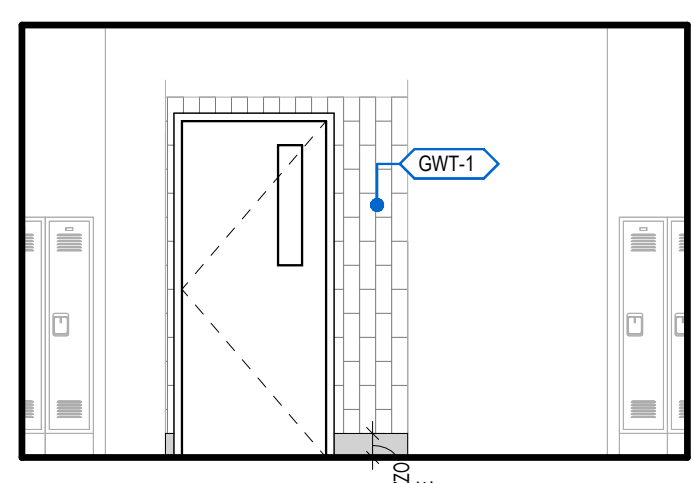
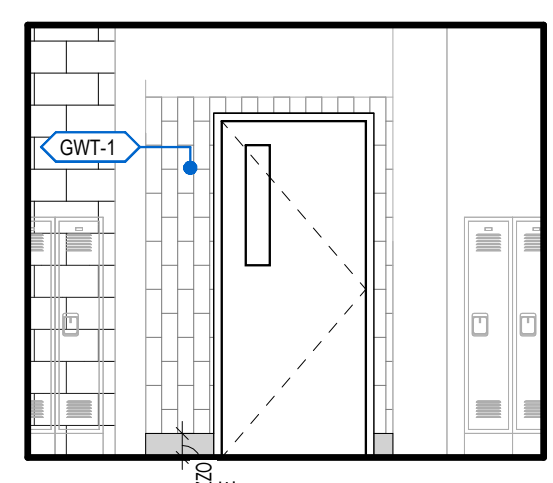
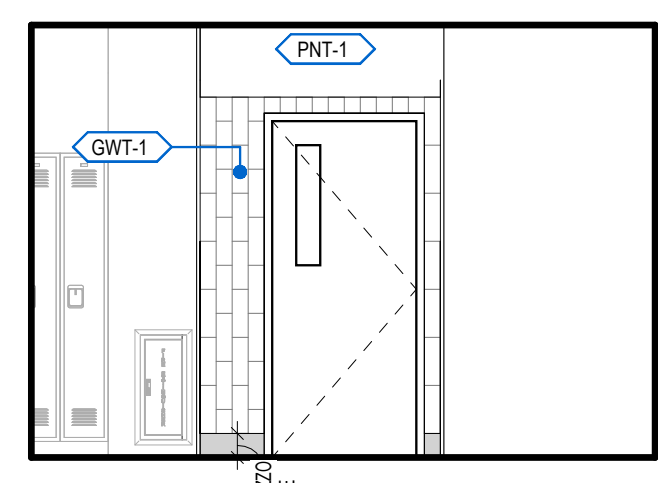
7 305A PREP ROOM (E)
SCALE: 1/4" = 1'-0"



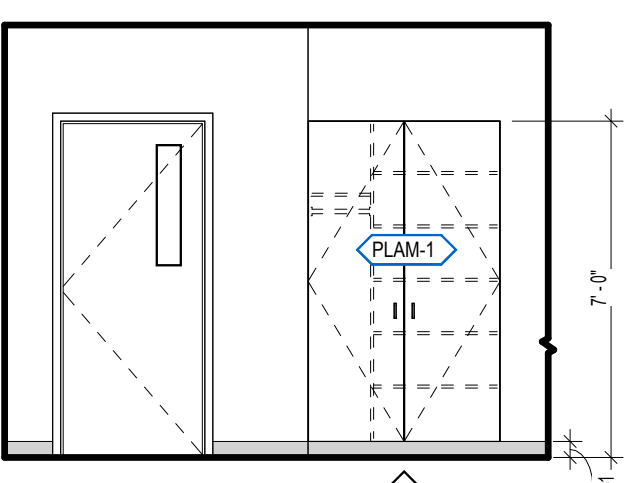
6 301A PREP ROOM (W)
SCALE: 1/4" = 1'-0"



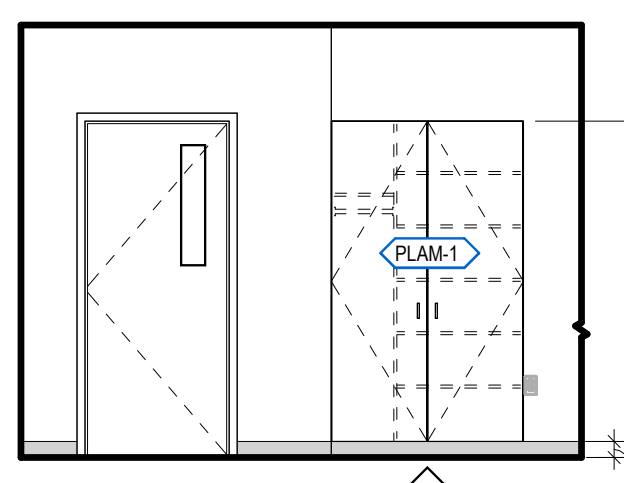
15 SCIENCE CORRIDOR - NORTH
SCALE: 1/4" = 1'-0"



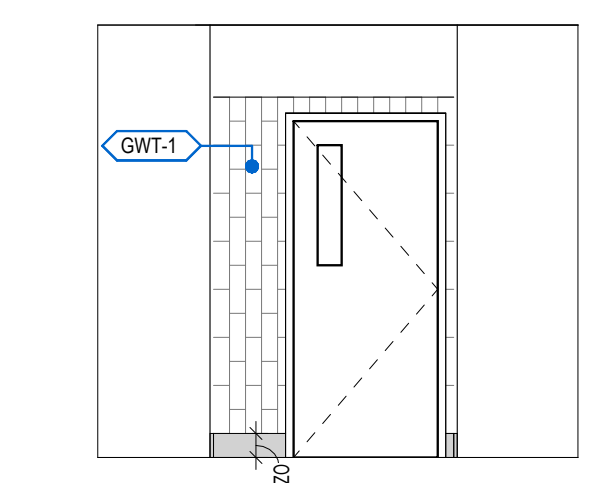
14 CLASSROOM 309
SCALE: 1/4" = 1'-0"



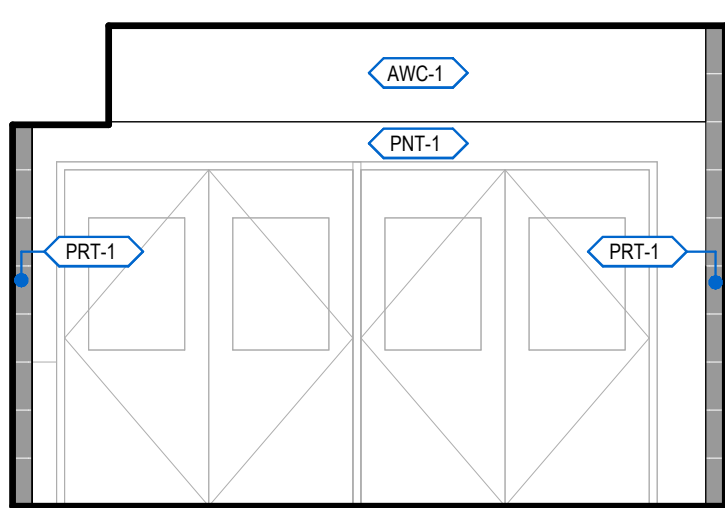
13 CLASSROOM 306
SCALE: 1/4" = 1'-0" ALTERNATE



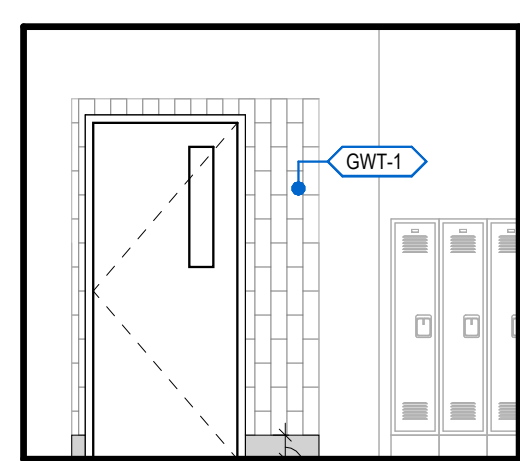
12 CLASSROOM 304
SCALE: 1/4" = 1'-0" ALTERNATE



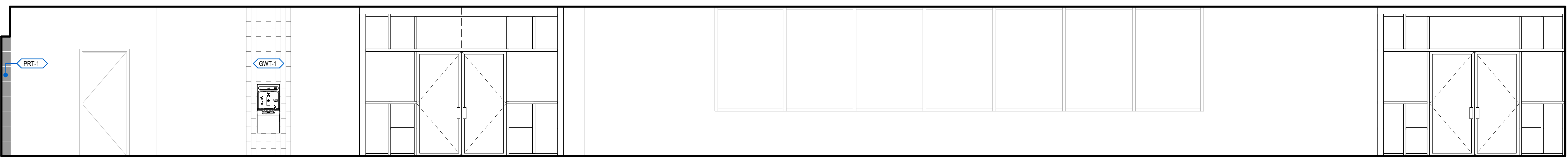
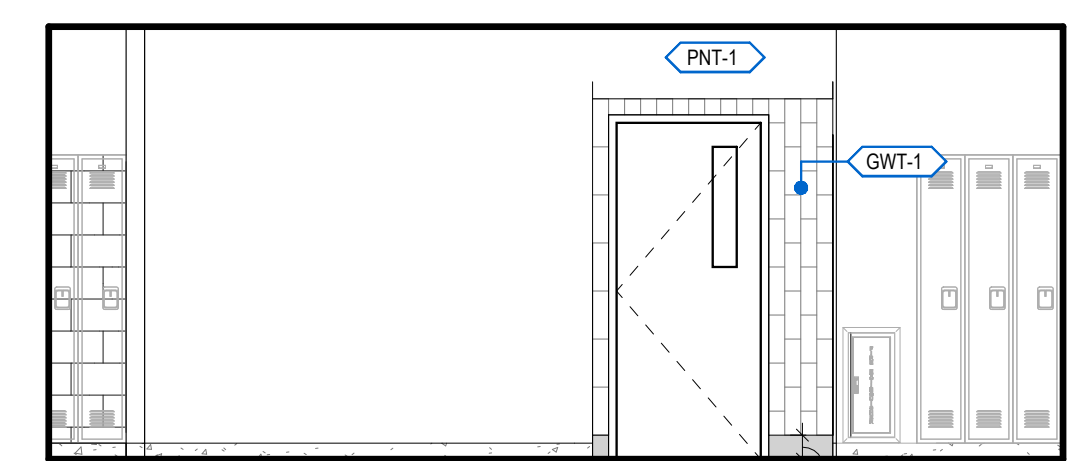
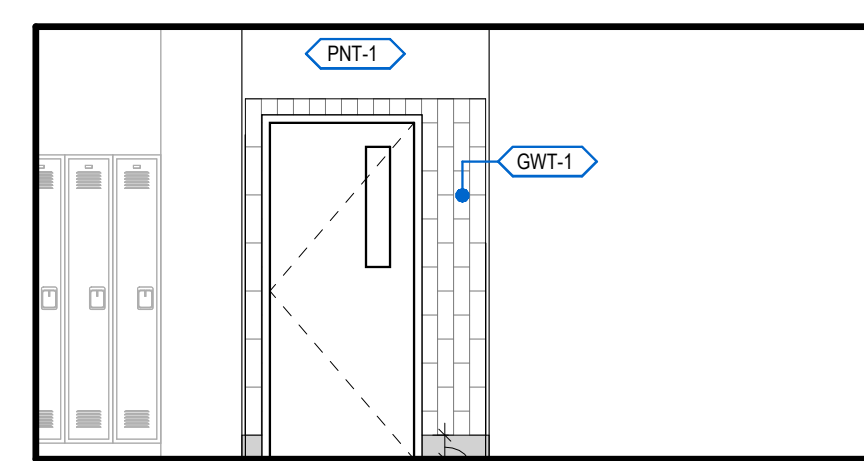
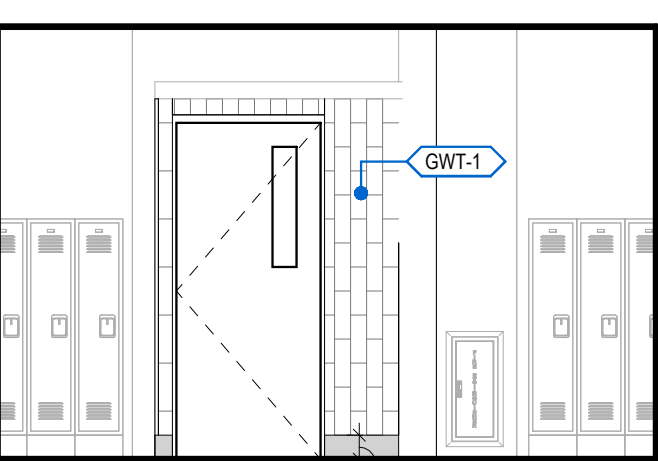
11 ENTRY - 600
SCALE: 1/4" = 1'-0"



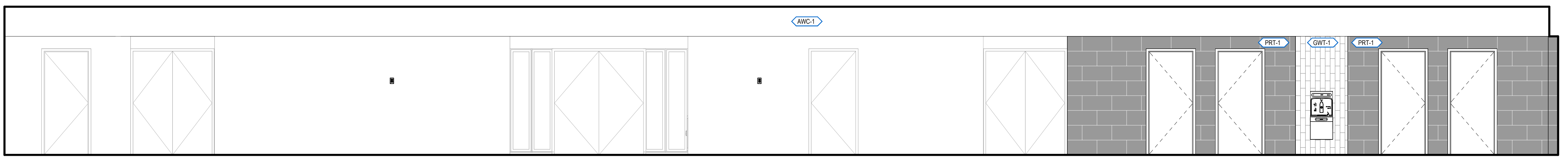
17 430 LOBBY - WEST
SCALE: 1/4" = 1'-0"



16 SCIENCE CORRIDOR - SOUTH
SCALE: 1/4" = 1'-0"



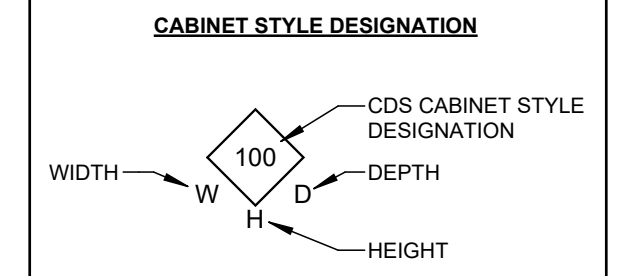
18 430 LOBBY - NORTH
SCALE: 1/4" = 1'-0"



19 430 LOBBY - SOUTH
SCALE: 1/4" = 1'-0"

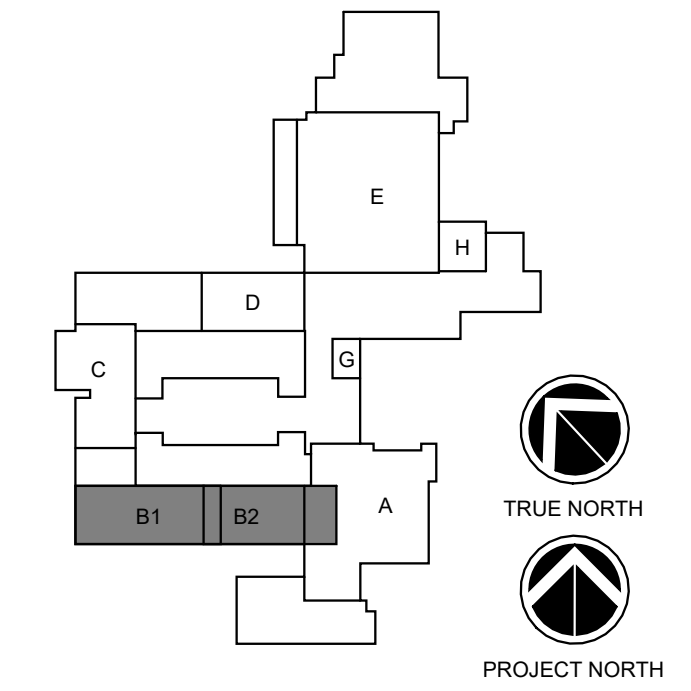
ELEVATION GENERAL NOTES

1. REFER TO SPECIFICATIONS REGARDING CABINET STYLE DESIGNATIONS.



KEYNOTES

KEY PLAN:



SED NO. 22-04-01-04-0-003-011
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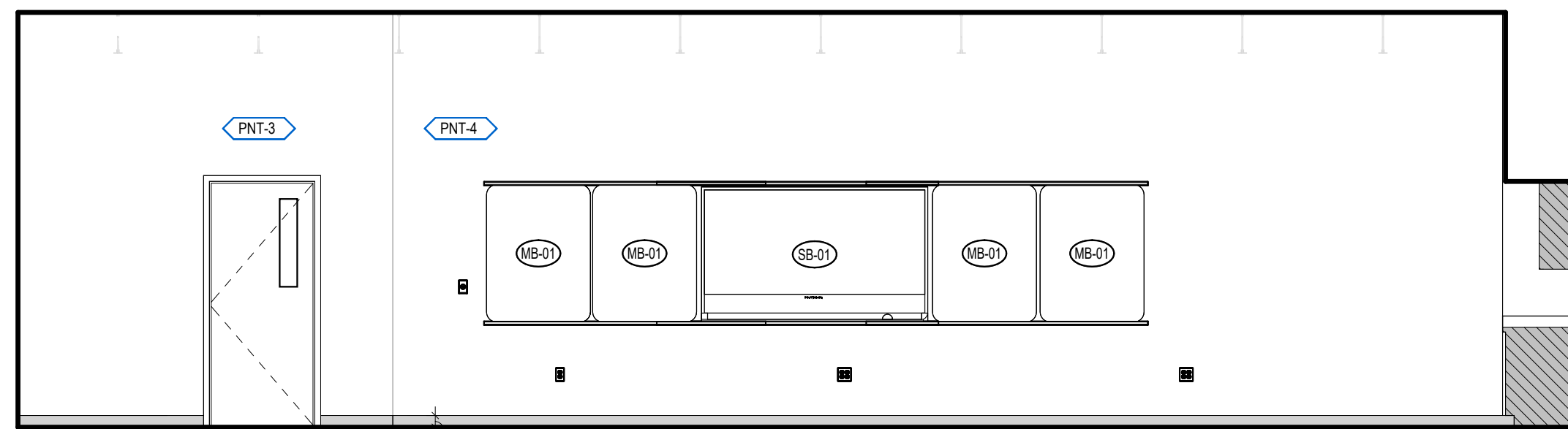


GENERAL BROWN CSD
JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK

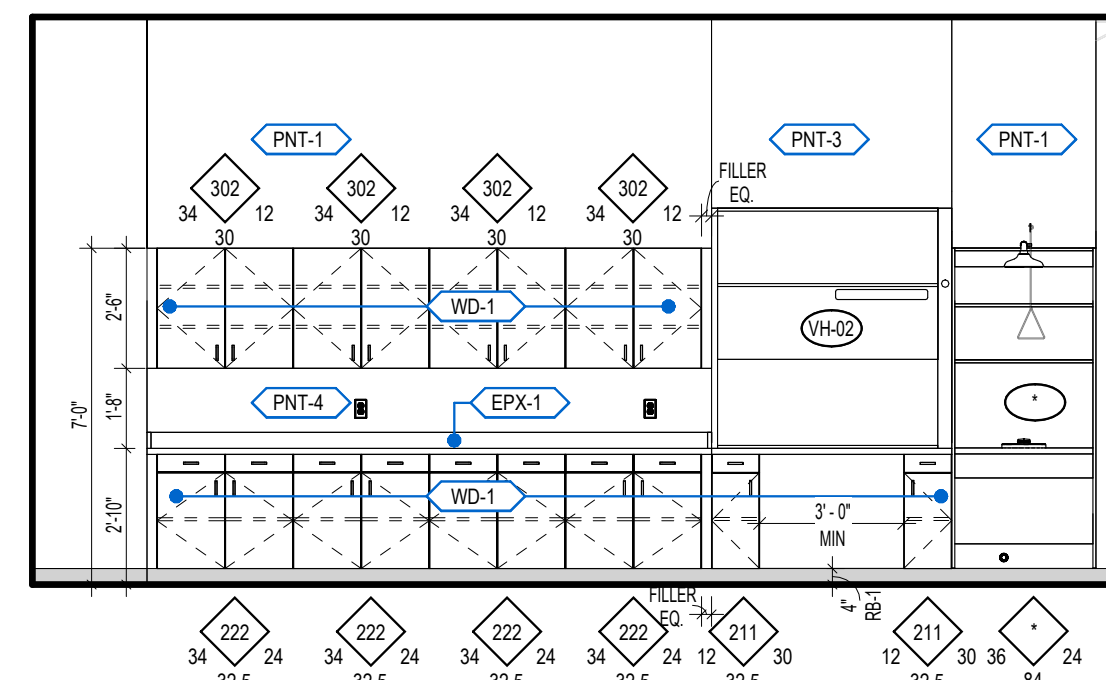
REV	DATE	DESCRIPTION

DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024

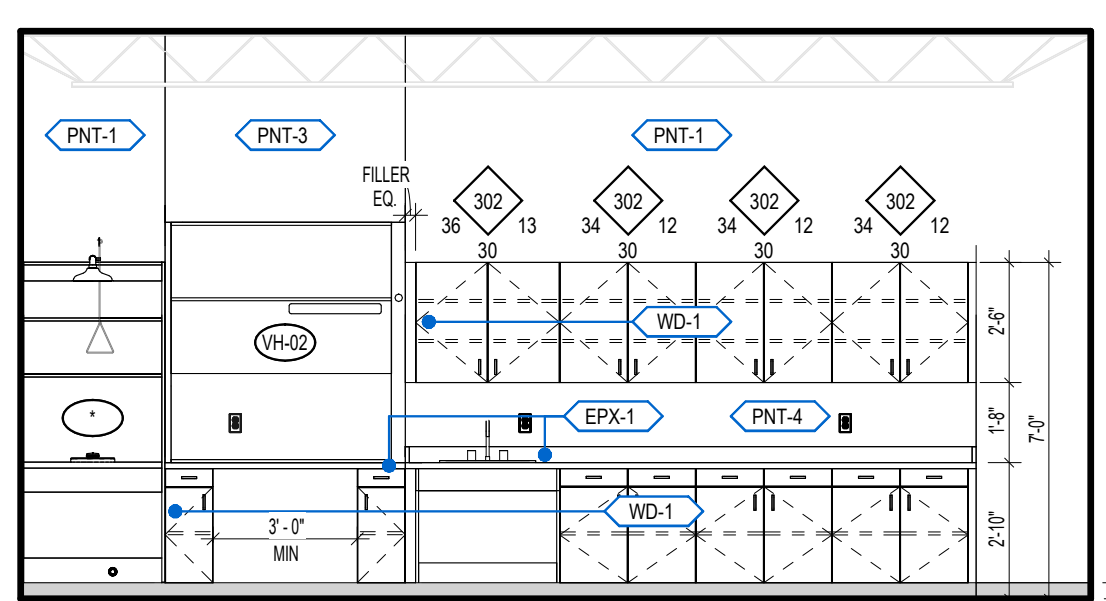
BUILDING NUMBER HS	SHEET NUMBER A211 BID
------------------------------	------------------------------------



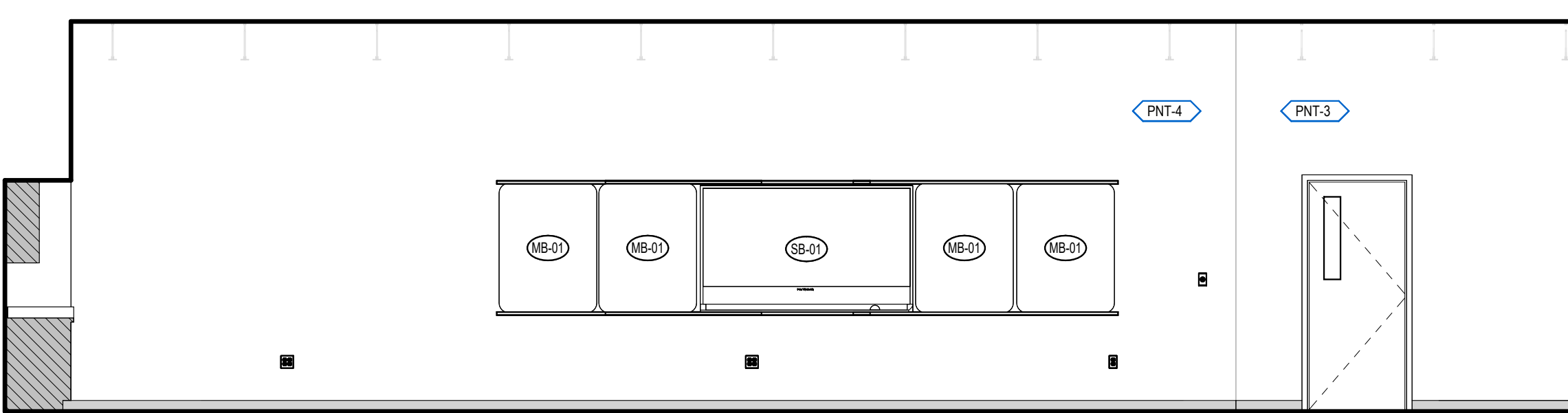
2 302 CHEMISTRY (S)
SCALE: 1/4" = 1'-0"



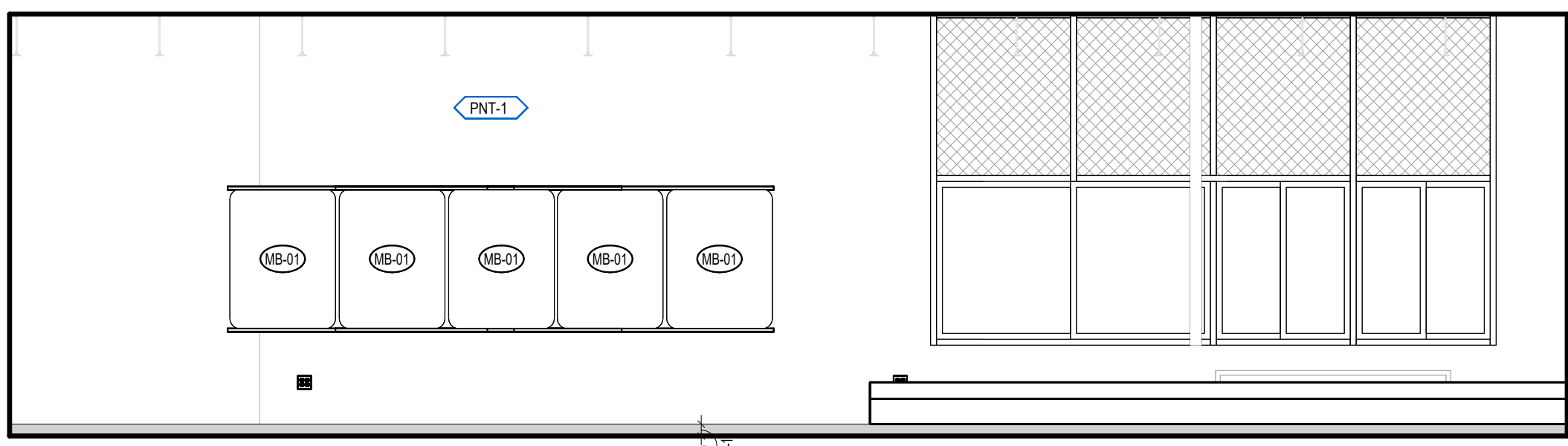
1 302 CHEMISTRY (W)
SCALE: 1/4" = 1'-0"



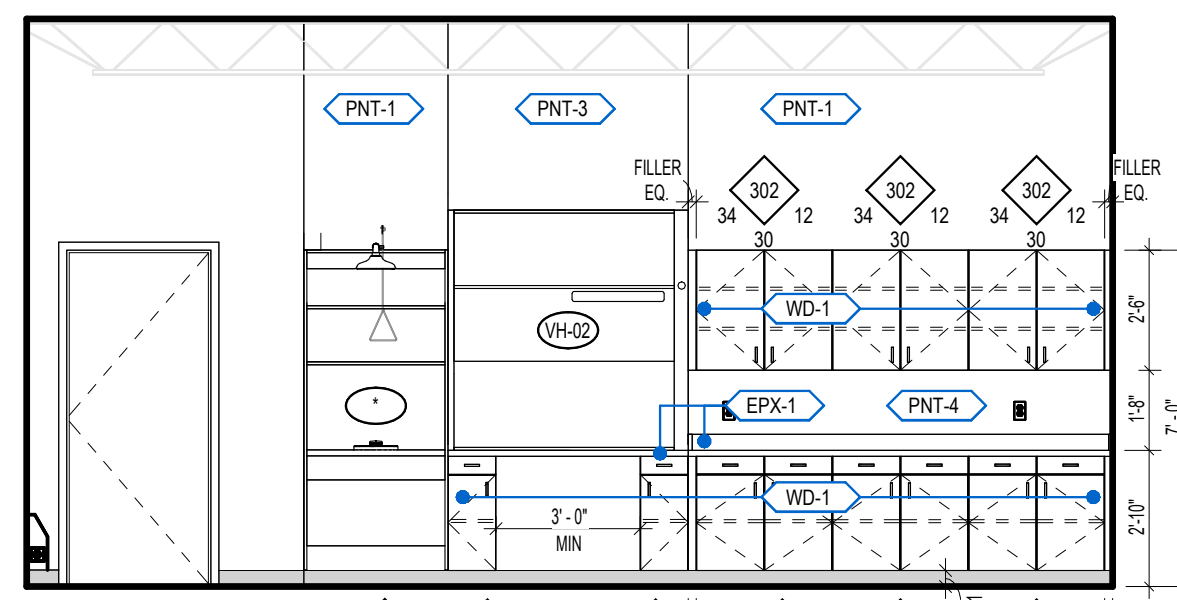
4 300 PHYSICS (E)
SCALE: 1/4" = 1'-0"



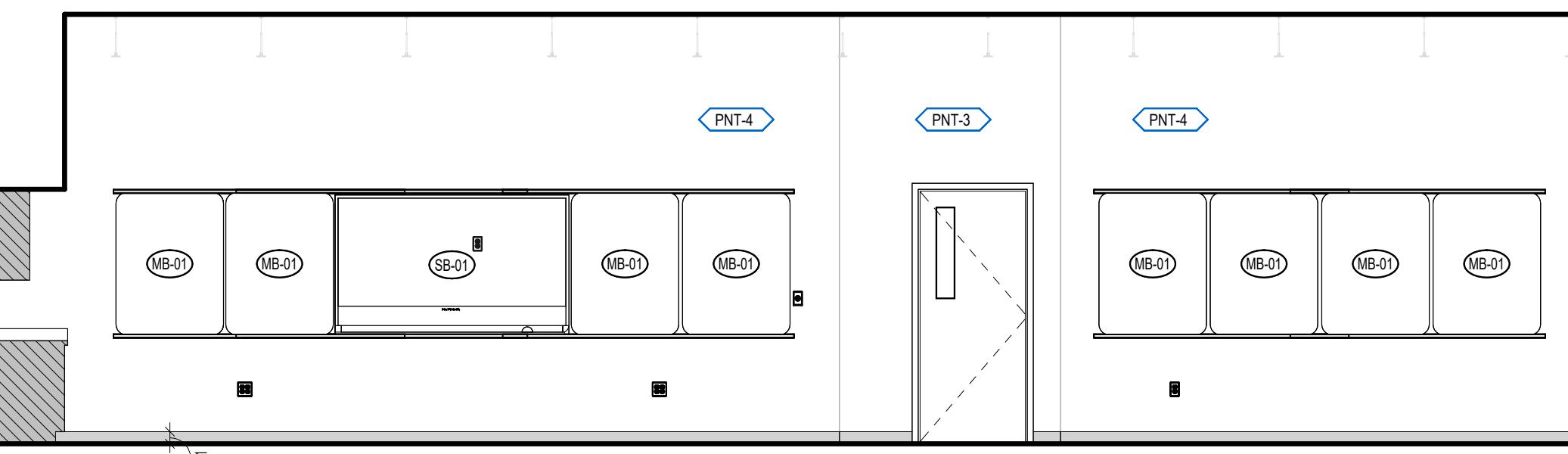
3 300 PHYSICS (S)
SCALE: 1/4" = 1'-0"



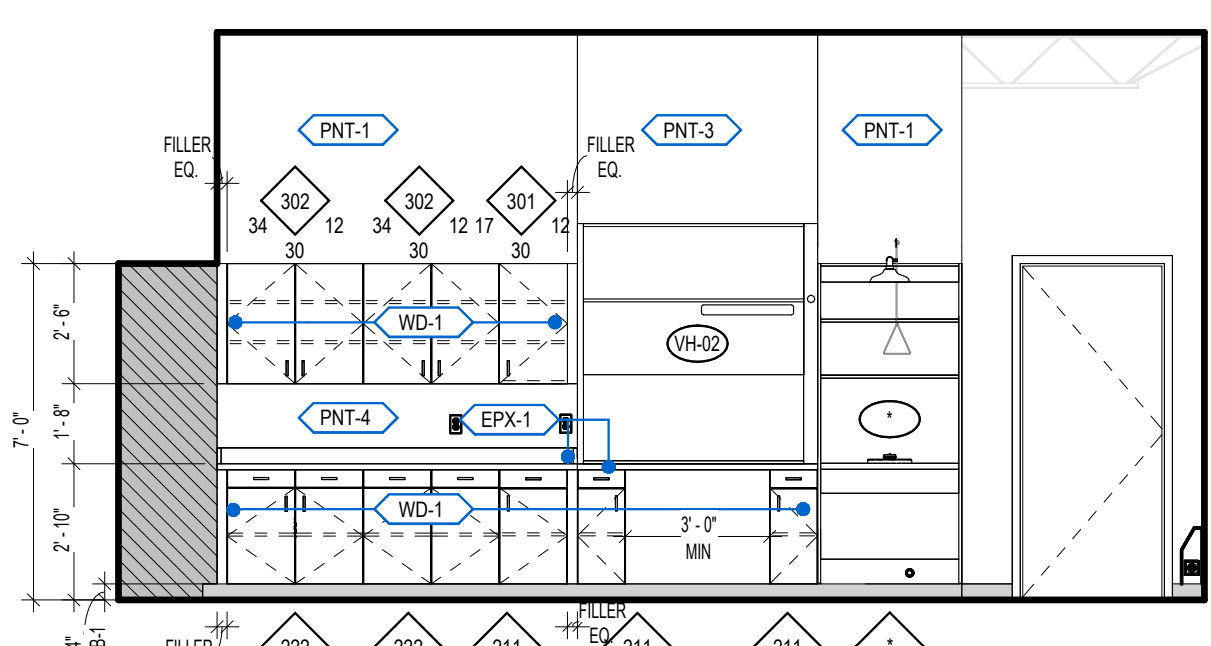
7 301 LIVING ENVIRONMENT (S)
SCALE: 1/4" = 1'-0"



6 301 LIVING ENVIRONMENT (W)
SCALE: 1/4" = 1'-0"



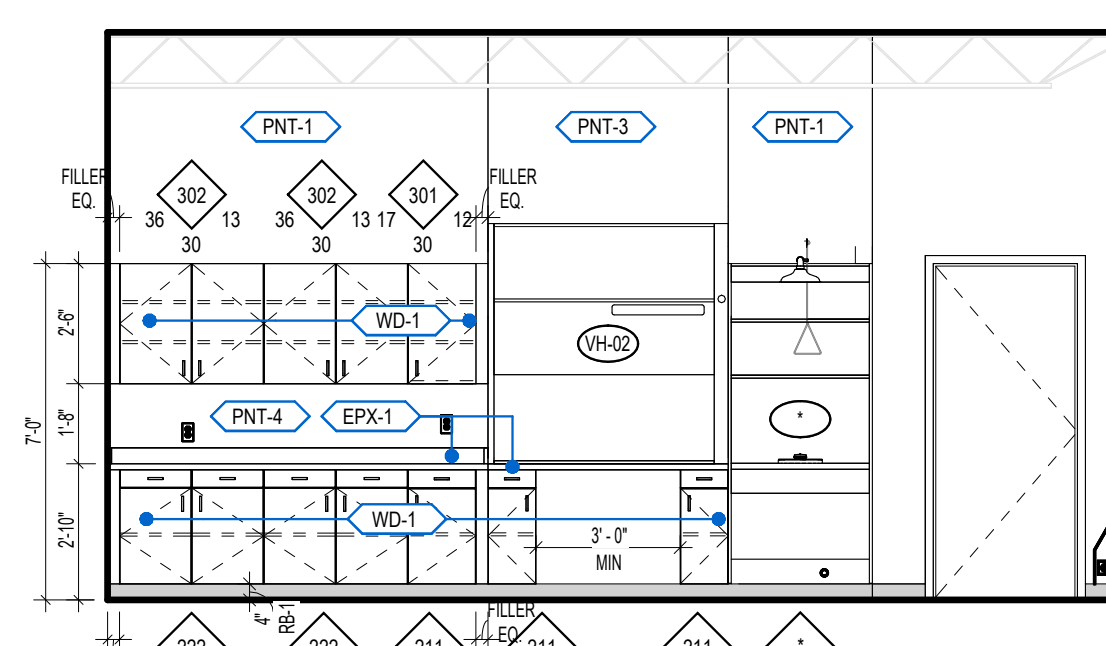
5 301 LIVING ENVIRONMENT (N)
SCALE: 1/4" = 1'-0"



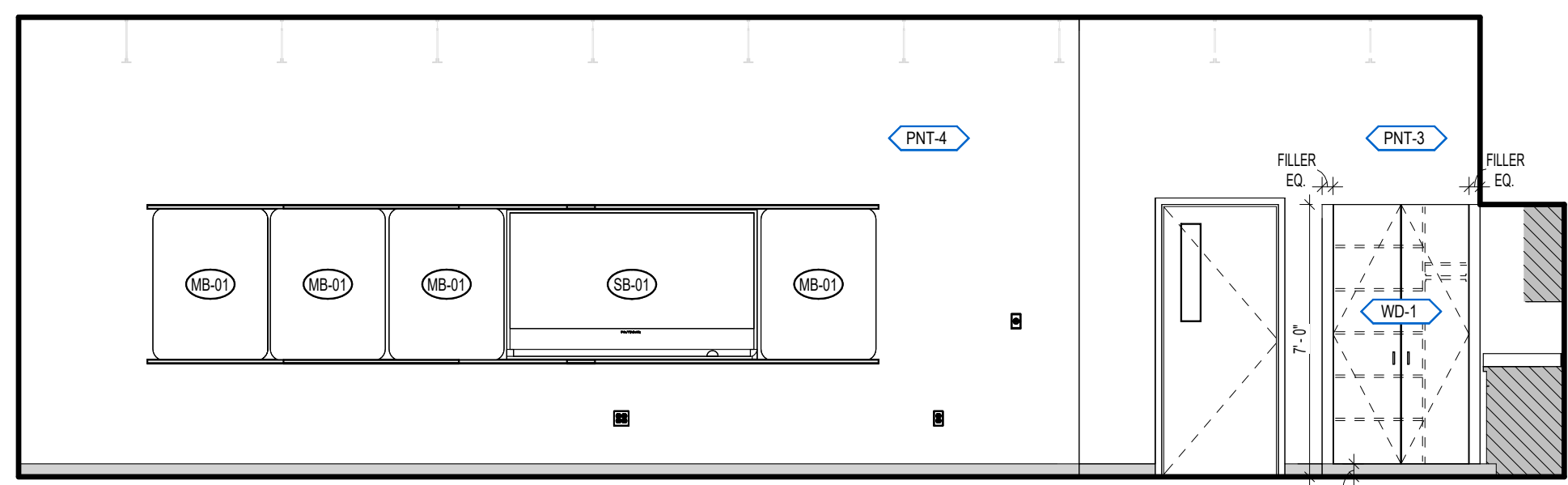
10 307 EARTH SCIENCE (E)
SCALE: 1/4" = 1'-0"



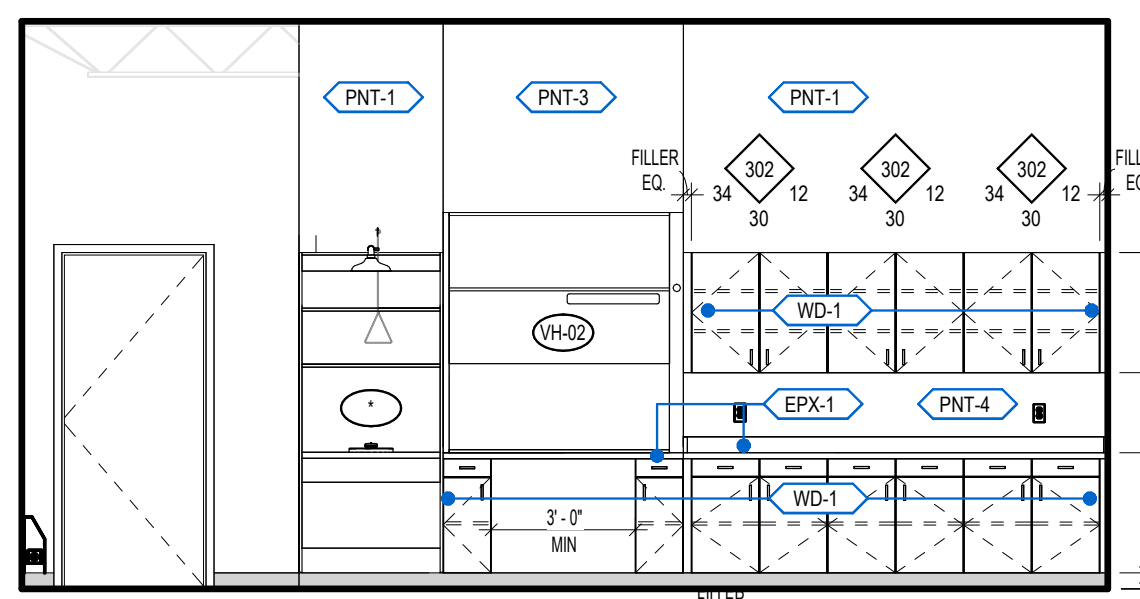
9 303 BIOLOGY (N)
SCALE: 1/4" = 1'-0"



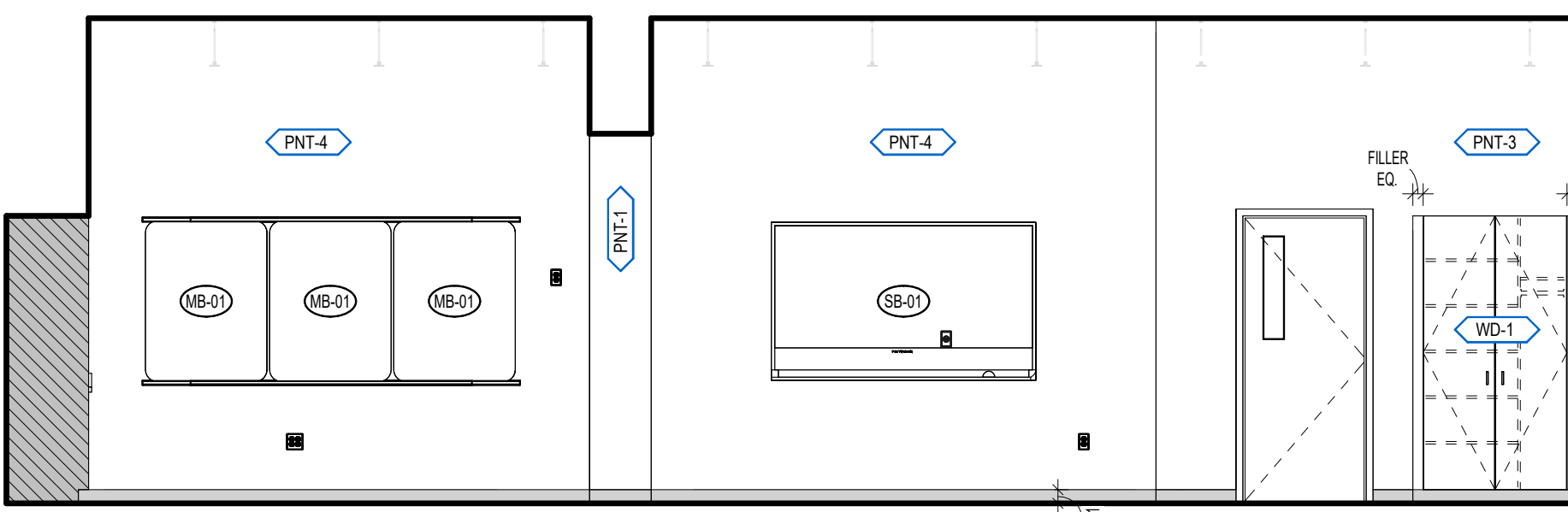
8 303 BIOLOGY (E)
SCALE: 1/4" = 1'-0"



13 307 EARTH SCIENCE (N)
SCALE: 1/4" = 1'-0"

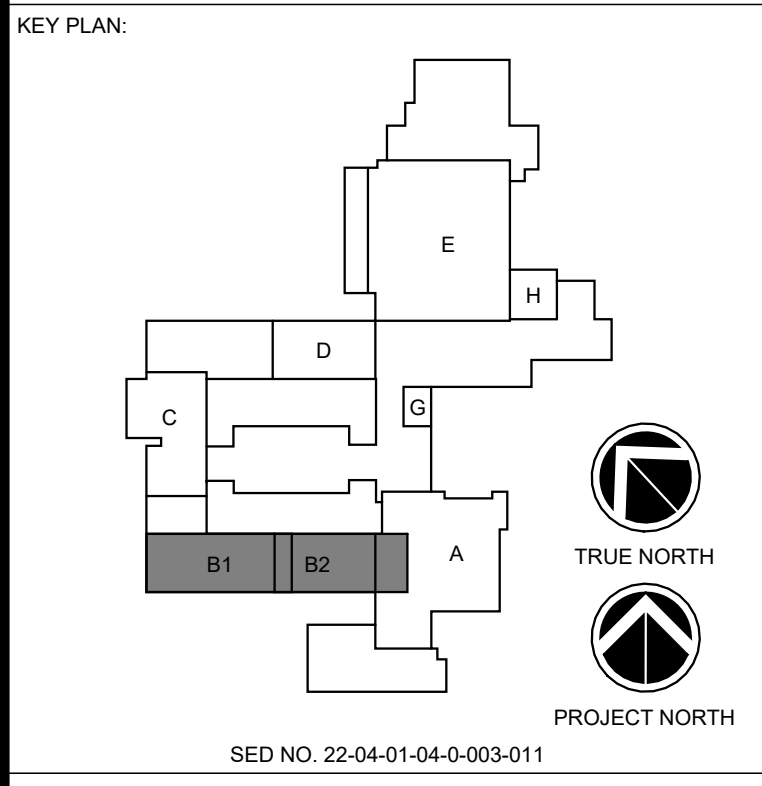


12 305 EARTH SCIENCE (W)
SCALE: 1/4" = 1'-0"



11 305 EARTH SCIENCE (N)
SCALE: 1/4" = 1'-0"

KEYNOTES	
•	BASIS OF DESIGN: CASE SYSTEMS X1040
MB-01	MARKERBOARD
SB-01	SMARTBOARD
VH-02	VENT HOOD



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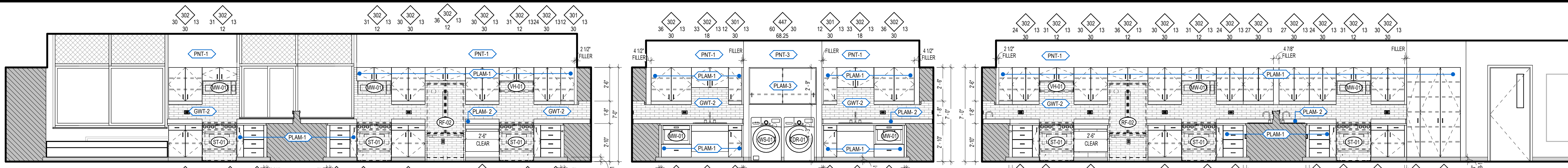


GENERAL BROWN CSD
JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
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REV	DATE	DESCRIPTION
DRAWN BY	MHK/ALS	PROJECT NUMBER
CHECKED BY	MLC	DATE
		12/16/2024
INTERIOR ELEVATIONS - AREA B1 AND B2		

BUILDING NUMBER: **HS**
SHEET NUMBER: **A212**
BID

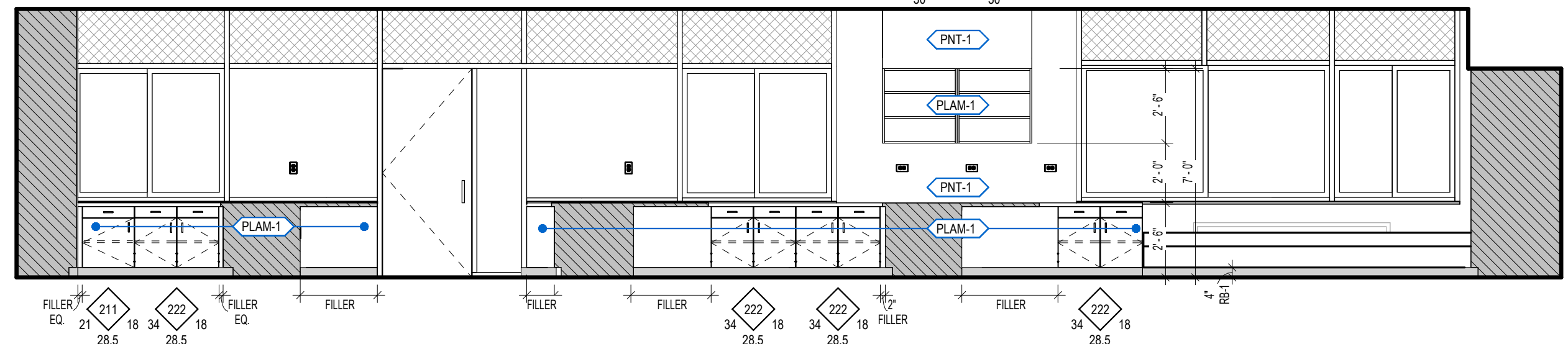
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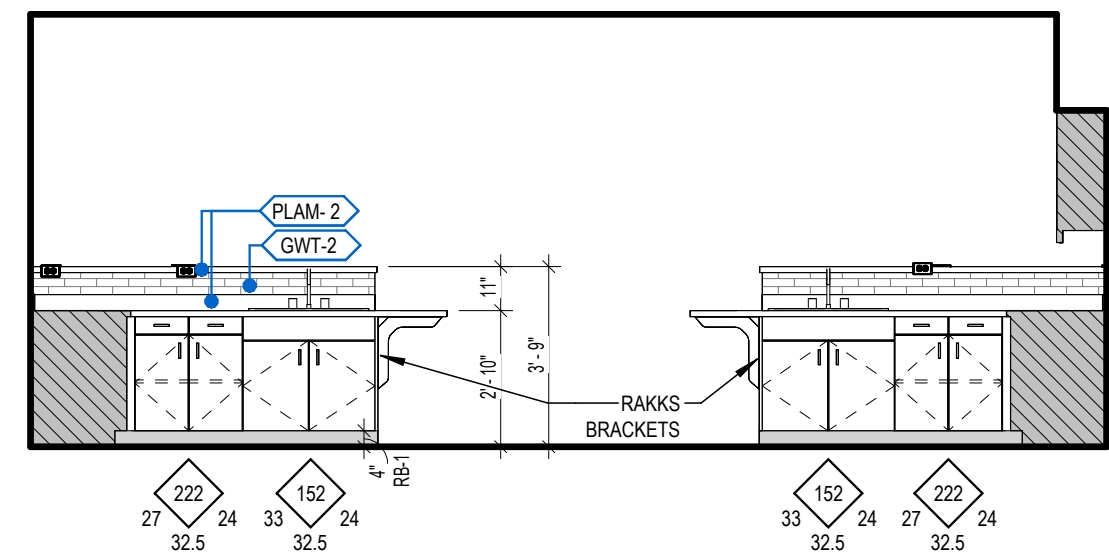
3 CULINARY (N)
SCALE: 1/4" = 1'-0"

2 CULINARY (E)
SCALE: 1/4" = 1'-0"

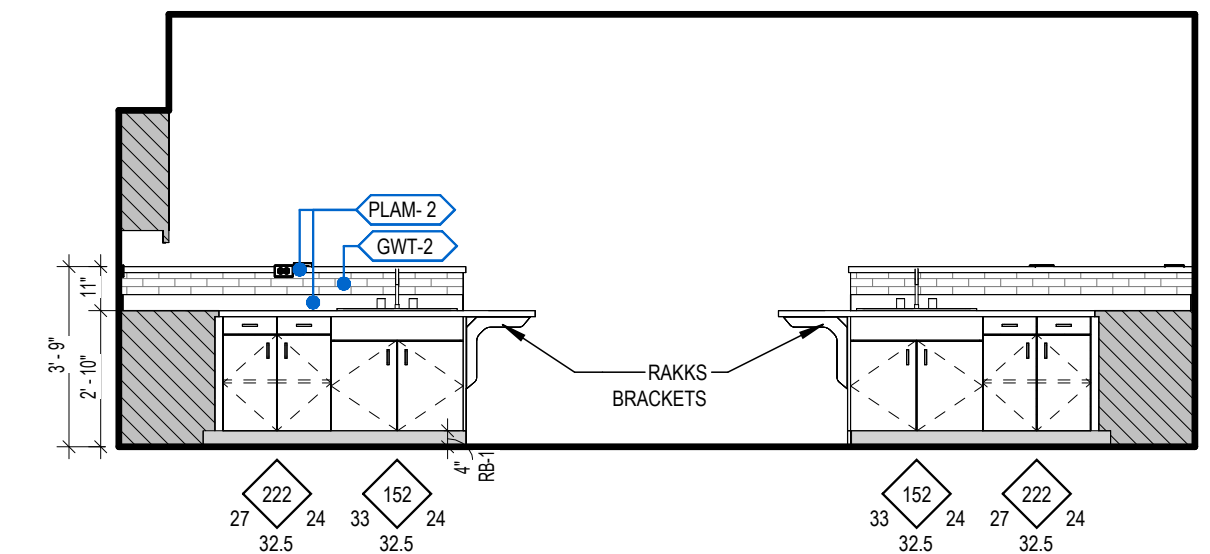
1 CULINARY (S)
SCALE: 1/4" = 1'-0"



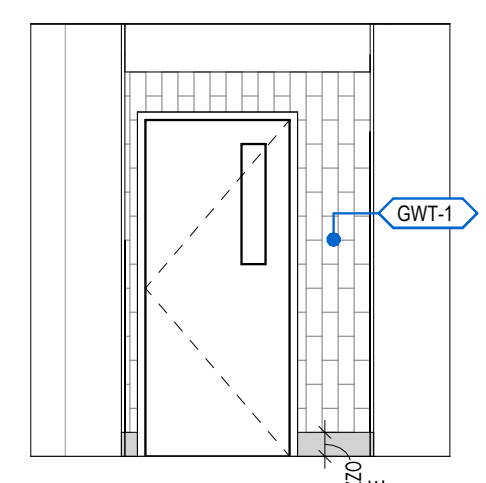
6 SEWING (N)
SCALE: 1/4" = 1'-0"



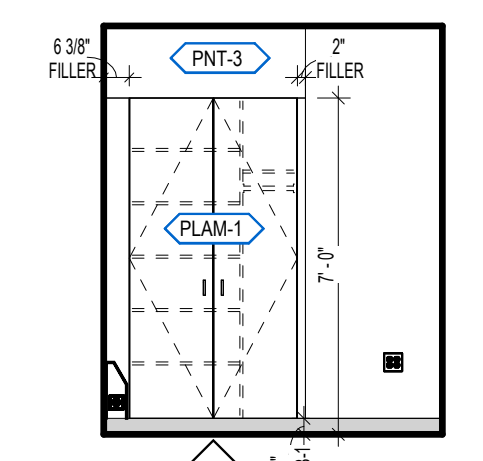
5 CULINARY PENINSULA (E)
SCALE: 1/4" = 1'-0"



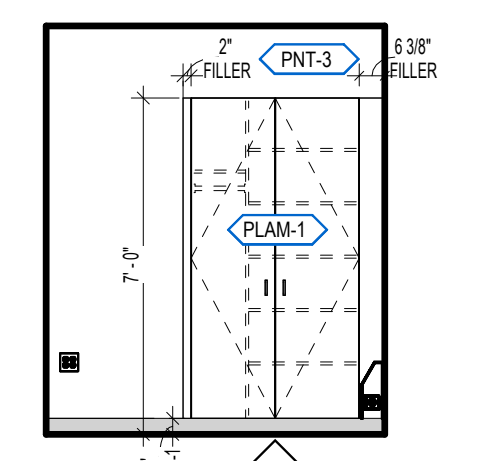
4 CULINARY PENINSULA (W)
SCALE: 1/4" = 1'-0"



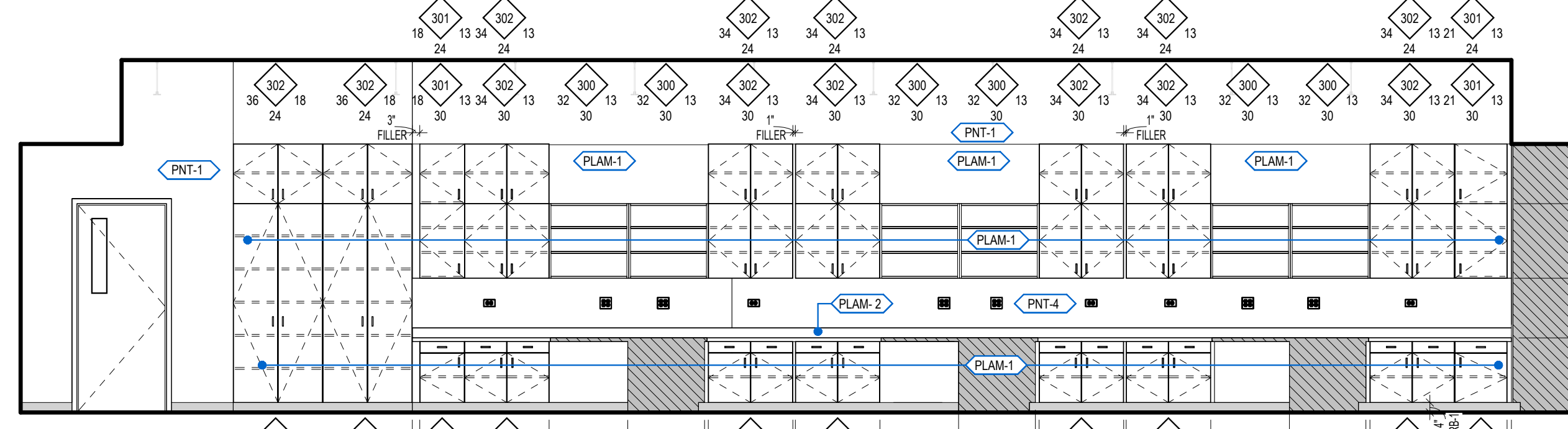
11 ENTRY - 608 ART
SCALE: 1/4" = 1'-0"



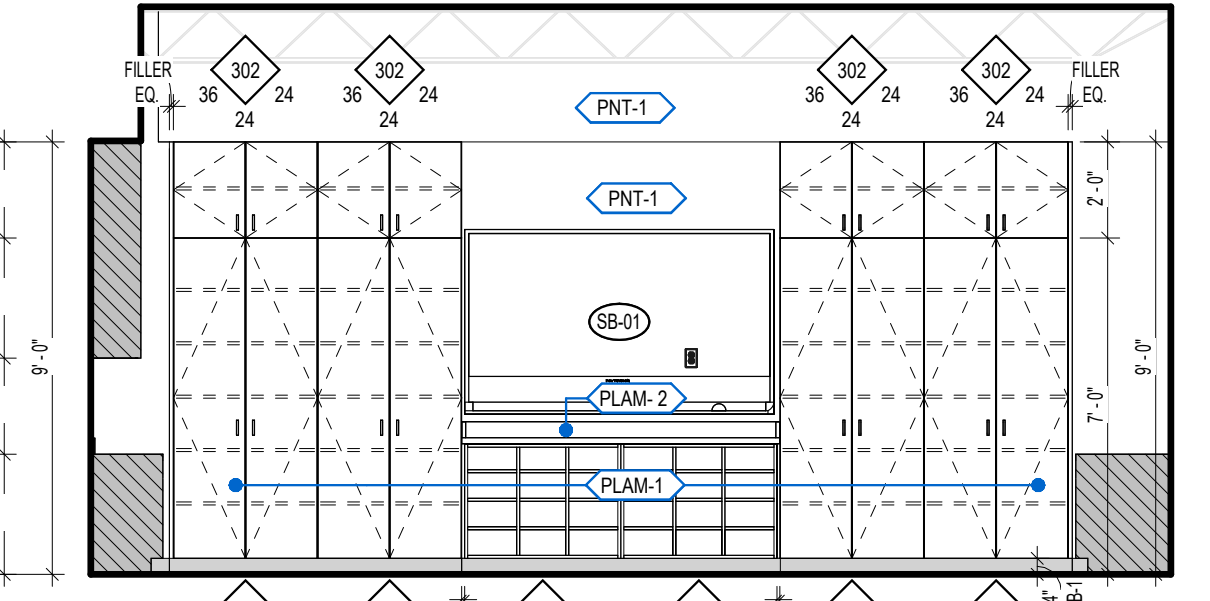
10 SEWING (E)
SCALE: 1/4" = 1'-0"



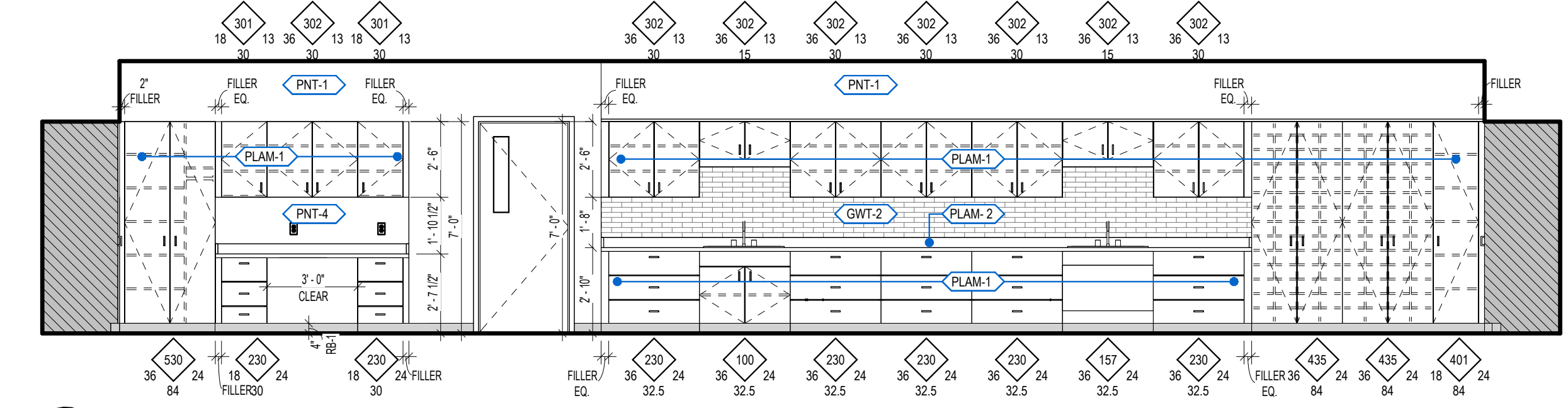
9 CULINARY (W)
SCALE: 1/4" = 1'-0"



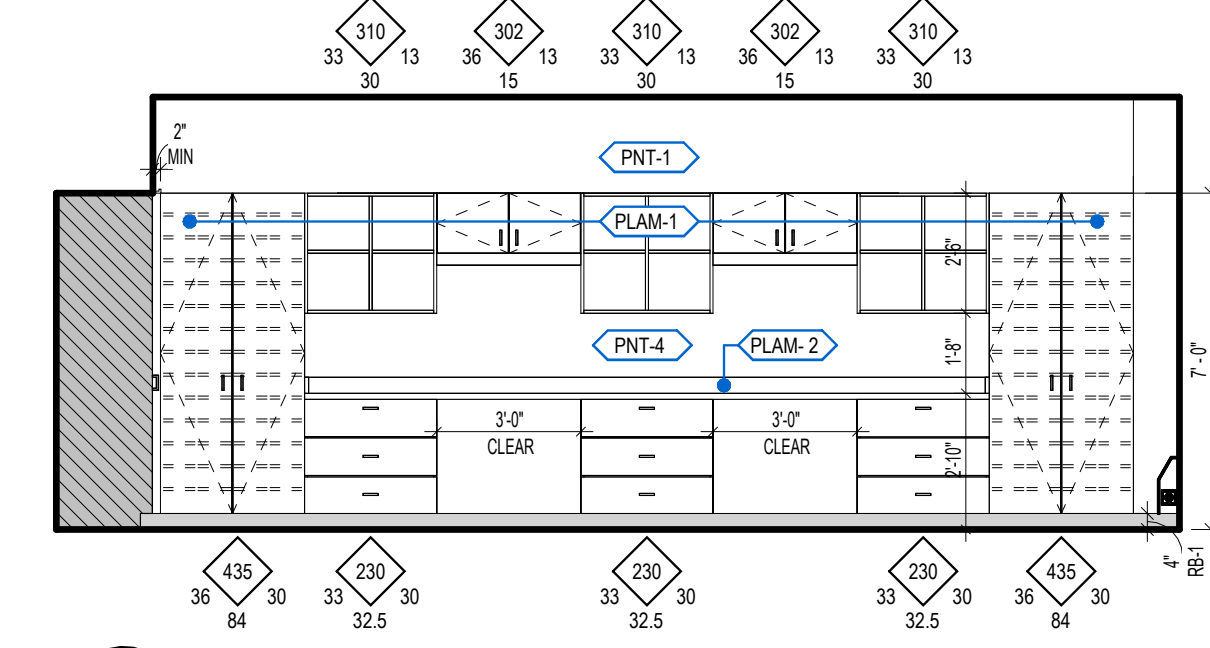
8 SEWING (S)
SCALE: 1/4" = 1'-0"



7 SEWING (W)
SCALE: 1/4" = 1'-0"



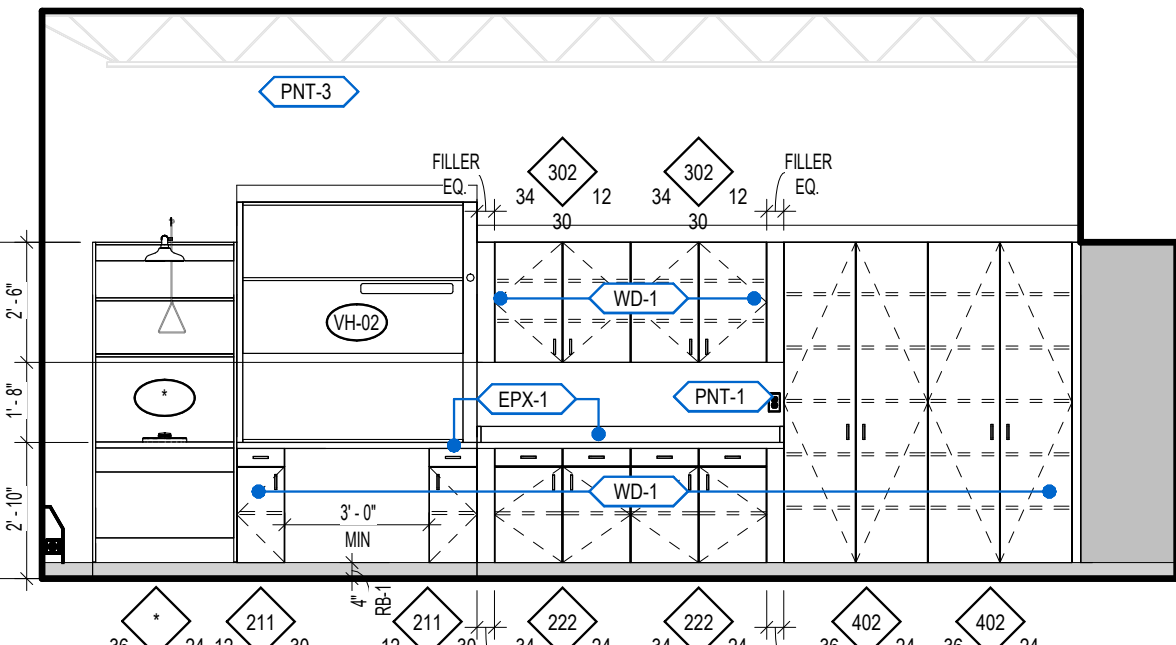
13 608 ART ROOM (E)
SCALE: 1/4" = 1'-0"



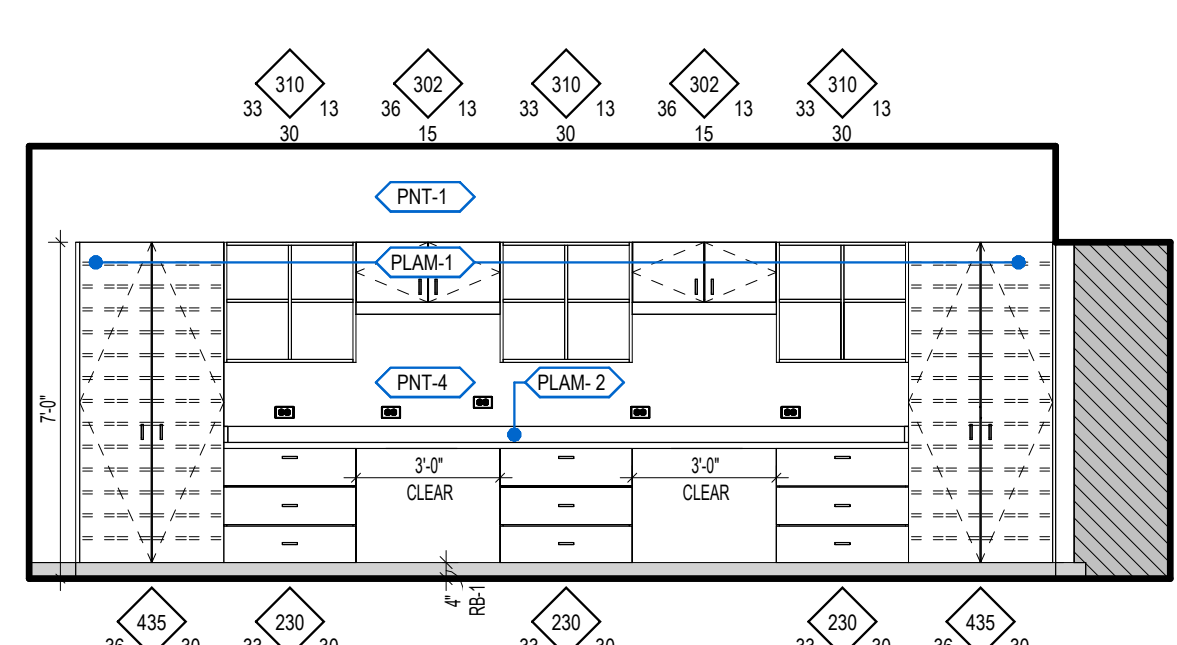
12 608 ART ROOM (S)
SCALE: 1/4" = 1'-0"



16 509 - 8TH GRADE SCIENCE (N)
SCALE: 1/4" = 1'-0" ALTERNATE



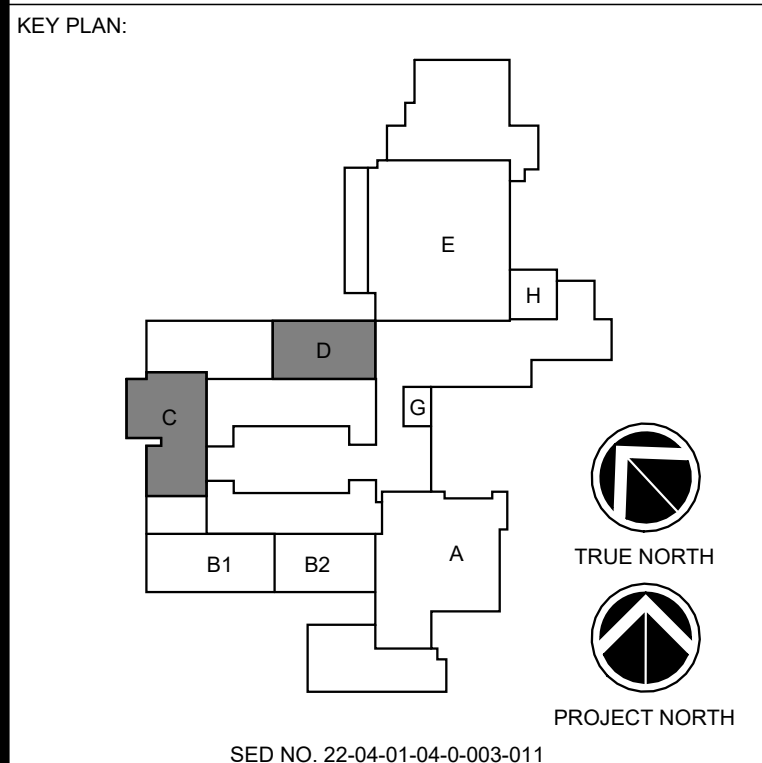
15 509 - 8TH GRADE SCIENCE (W)
SCALE: 1/4" = 1'-0" ALTERNATE



14 608 ART ROOM (N)
SCALE: 1/4" = 1'-0"

KEYNOTES

- * BASIS OF DESIGN: CASE SYSTEMS X1040
- DR-01 DRYER
- MW-01 MICROWAVE
- RF-02 FULL SIZE REFRIGERATOR (RESIDENTIAL)
- SB-01 SMARTBOARD
- ST-01 STOVE
- VH-01 VENT HOOD (STOVE)
- VH-02 VENT HOOD
- WS-01 WASHING MACHINE



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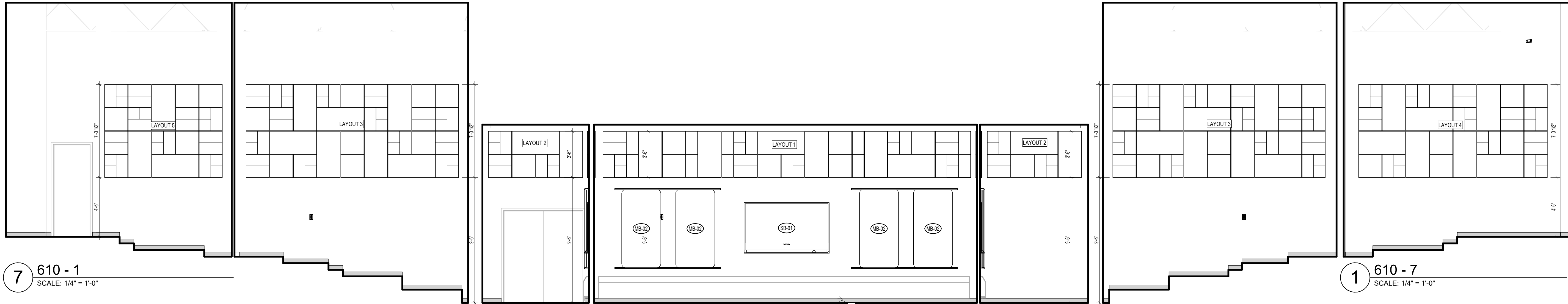
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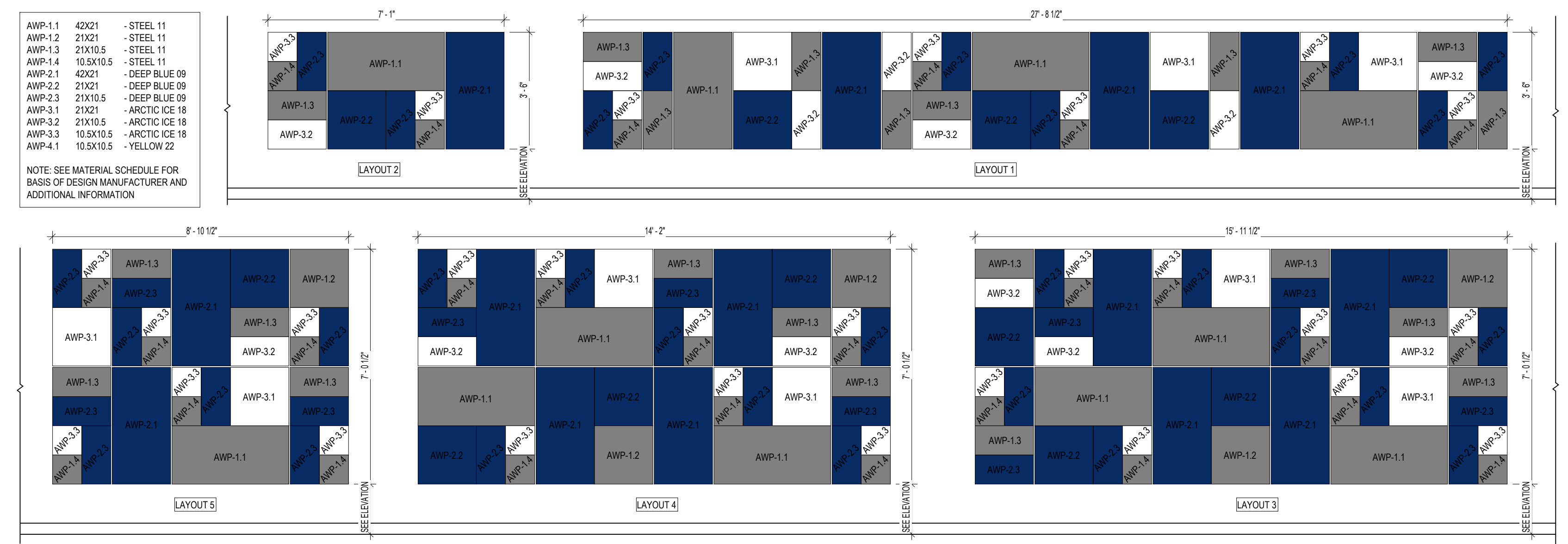
GENERAL BROWN CSD
JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024
INTERIOR ELEVATIONS - AREA C AND D	
BUILDING NUMBER HS	SHEET NUMBER A213 BID



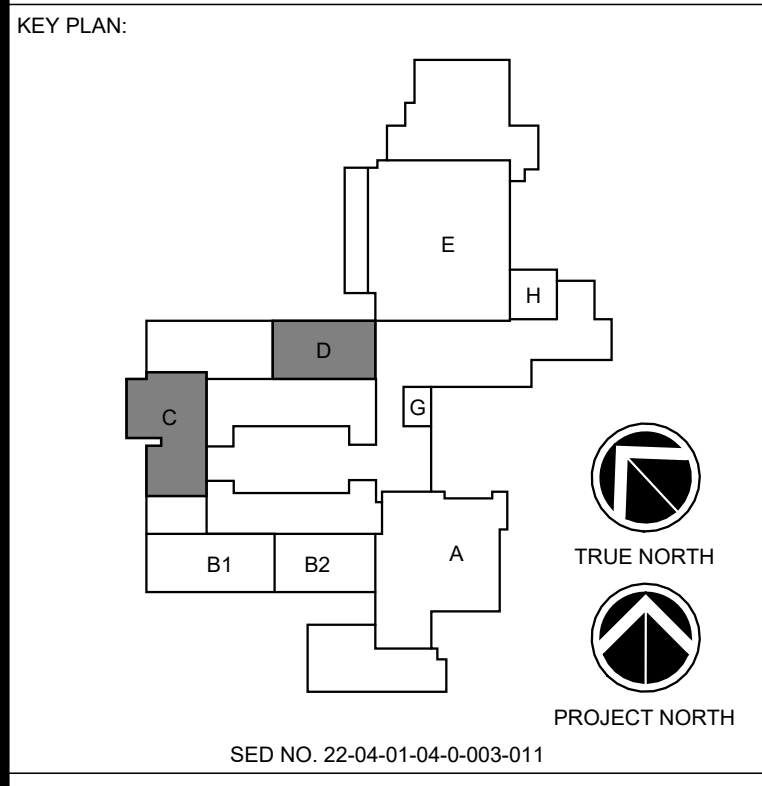
7 610 - 1 SCALE: 1/4" = 1'-0"
 6 610 - 2 SCALE: 1/4" = 1'-0"
 5 610 - 3 SCALE: 1/4" = 1'-0"
 4 610 - 4 SCALE: 1/4" = 1'-0"
 3 610 - 5 SCALE: 1/4" = 1'-0"
 2 610 - 6 SCALE: 1/4" = 1'-0"
 1 610 - 7 SCALE: 1/4" = 1'-0"



8 TYPICAL SOUND-ABSORBING WALL UNIT (AWP) LAYOUTS - LARGE GROUP INSTRUCTION
 SCALE: 3/8" = 1'-0"

KEYNOTES

MB-02	MARKERBOARD
SB-01	SMARTBOARD



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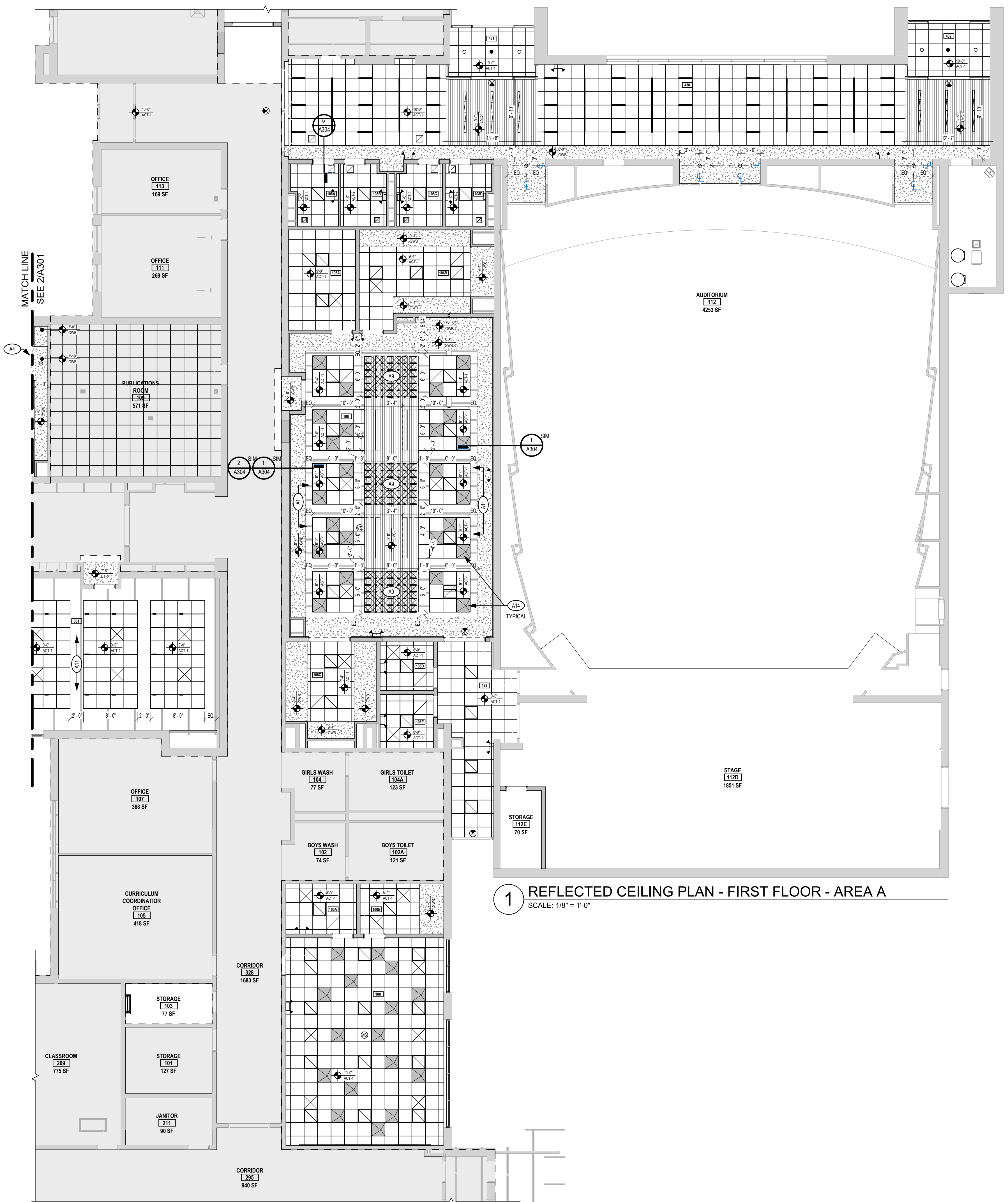


GENERAL BROWN CSD
 JUNIOR SENIOR HIGH SCHOOL
 17643 CEMETERY RD
 DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024
INTERIOR ELEVATIONS - AREA C	
BUILDING NUMBER HS	SHEET NUMBER A214 BID

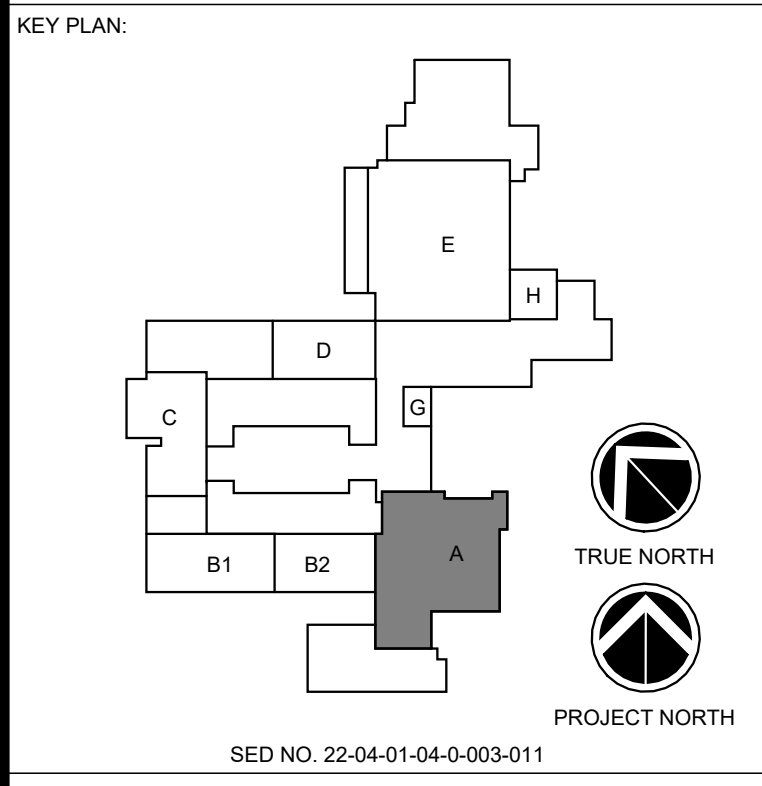
KEYNOTES	
A1	PAINT EXISTING EXPOSED STRUCTURE. COLOR TO BE SELECTED BY ARCHITECT.
A4	COORDINATE SOFFIT SIZE AND LOCATION WITH FUME HOOD EQUIPMENT BELOW.
A9	ACOUSTIC CEILING BAFFLE. BASIS OF DESIGN: FOCAL POINT. SEEM 1 ACOUSTIC LED DIRECT (ACB-1) AND SEEM 1 UNIT (ACB-9). ACOUSTIC CEILING BAFFLES ARE TO BE 12" DEEP AND INSTALLED AT 12" O.C. IN ALYSON ROOM. ELEVATION TO SLOPE TOWARDS TEACHER AREA. DROPPING 2" PER UNIT. ACBS ARE TO BE LOCATED ABOVE THE LINEAR METAL CEILING AND PARALLEL.
A11	GC TO PAINT ALL EXPOSED DUCTWORK. COLOR TO BE SELECTED BY ARCHITECT.
A14	ACOUSTIC PYRAMIDAL DIFFUSERS. BASIS OF DESIGN: CONWED 2X2 PYRAMIDAL DIFFUSER. FLANGED FOR CEILING GRID INSTALLATION. SEE RCP FOR LOCATIONS.



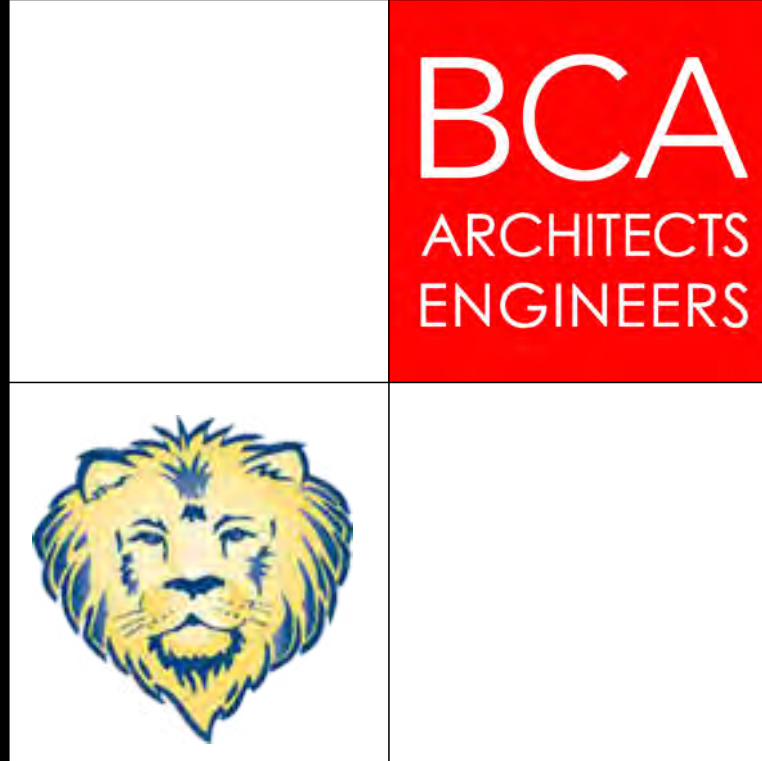
1 REFLECTED CEILING PLAN - FIRST FLOOR - AREA A
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND	
	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

REFLECTED CEILING PLAN LEGEND	
	5/8" GYPSUM DRYWALL CEILING SUSPENDED WITH GYP-GRID SYSTEM. TYPE X FOR GENERAL LOCATIONS, TYPE-M FOR TOILET ROOMS
	2 x 2 ACOUSTIC CEILING TILE AND GRID
	2x2 LIGHT FIXTURES
	RECESSED CAN FIXTURES
	SUPPLY DIFFUSER
	RETURN DIFFUSER
	ACOUSTIC PYRAMIDAL DIFFUSER. SEE KEYNOTES FOR BASIS OF DESIGN

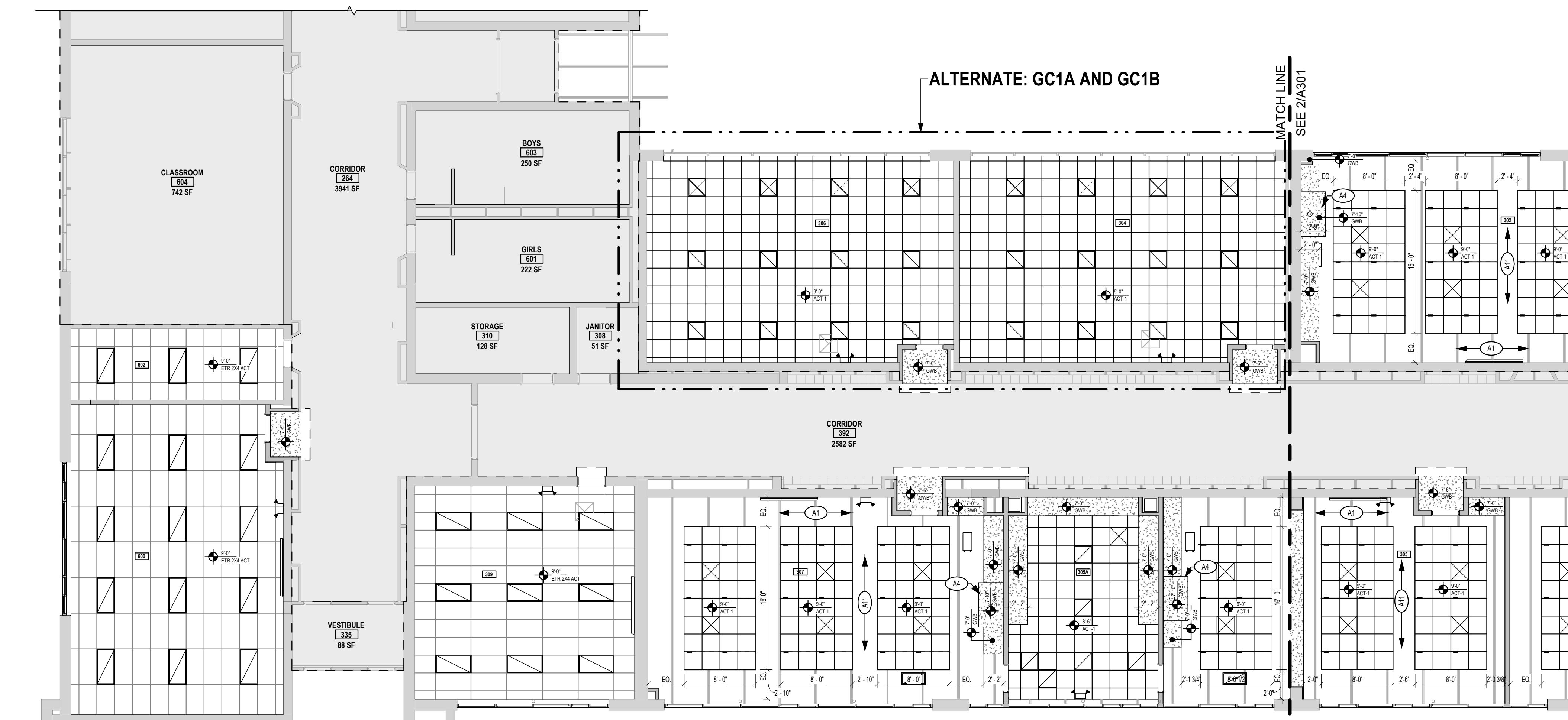


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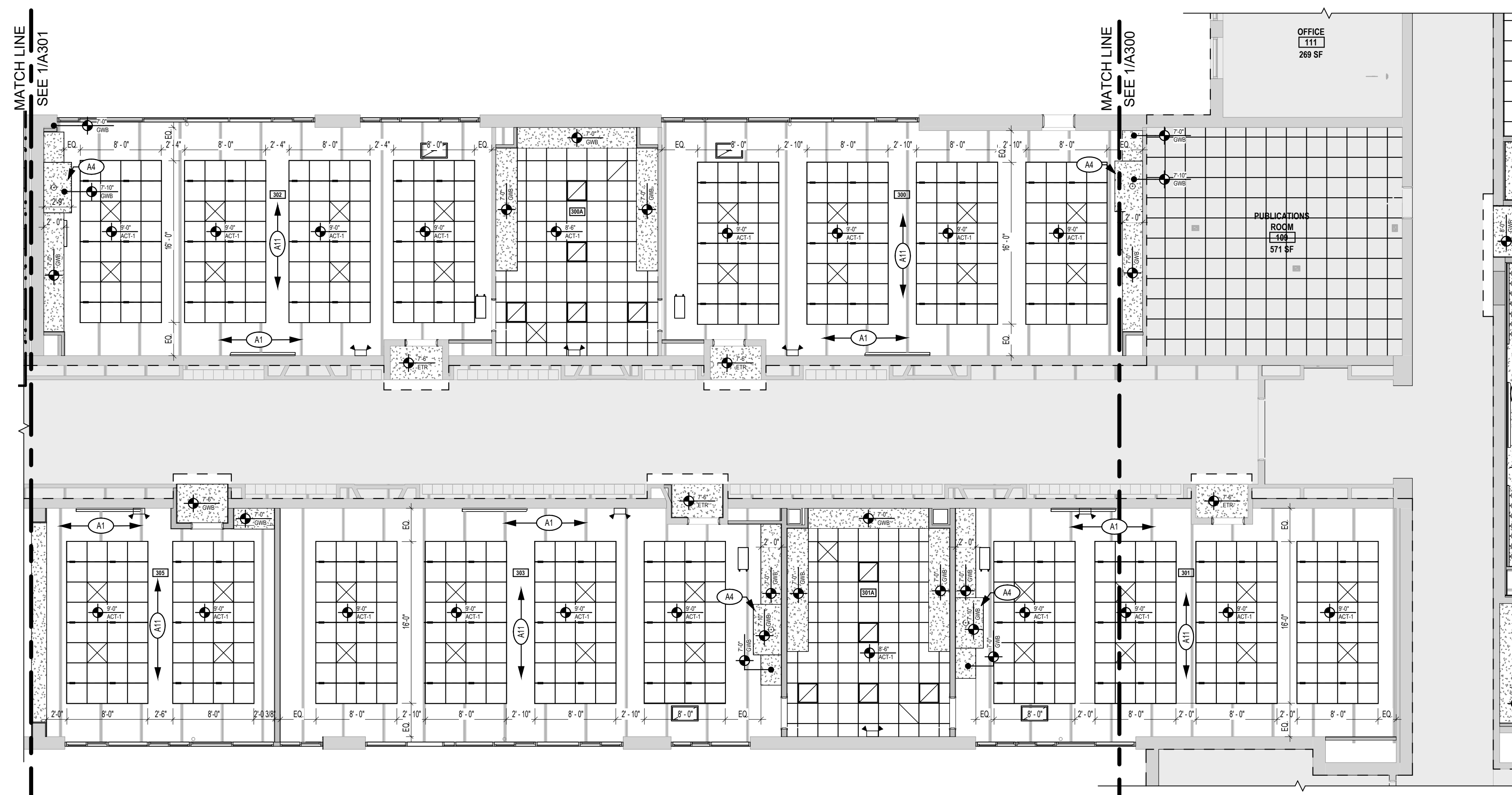


GENERAL BROWN CSD JUNIOR SENIOR HIGH SCHOOL 17643 CEMETERY RD DEXTER - JEFFERSON - NEW YORK		
REV	DATE	DESCRIPTION
DRAWN BY MHK/JALS		PROJECT NUMBER 2023-105
CHECKED BY MLC		DATE 12/16/2024
REFLECTED CEILING PLAN - FIRST FLOOR - AREA A		
BUILDING NUMBER HS	SHEET NUMBER A300 BID	

12/17/2024 5:11:46 PM



1 REFLECTED CEILING PLAN - FIRST FLOOR - AREA B1
SCALE: 1/8" = 1'-0"



2 REFLECTED CEILING PLAN - FIRST FLOOR - AREA B2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

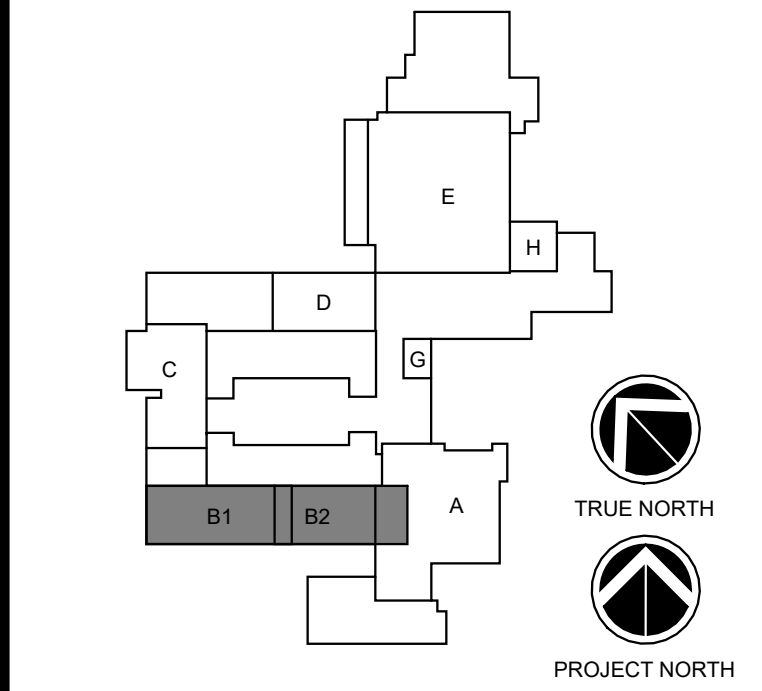
REFLECTED CEILING PLAN LEGEND

- 5/8" GYPSUM DRYWALL CEILING SUSPENDED WITH GYP-GRID SYSTEM, TYPE X FOR GENERAL LOCATIONS, TYPE-M FOR TOILET ROOMS
- 2 x 2 ACOUSTIC CEILING TILE AND GRID
- 2x2 LIGHT FIXTURES
- RECESSED CAN FIXTURES
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- ACOUSTIC PYRAMIDAL DIFFUSER; SEE KEYNOTES FOR BASIS OF DESIGN

KEYNOTES

- A1 PAINT EXISTING EXPOSED STRUCTURE, COLOR TO BE SELECTED BY ARCHITECT
- A4 COORDINATE SOFFIT SIZE AND LOCATION WITH FUME HOOD EQUIPMENT BELOW
- A11 GC TO PAINT ALL EXPOSED DUCTWORK, COLOR TO BE SELECTED BY ARCHITECT

KEY PLAN:



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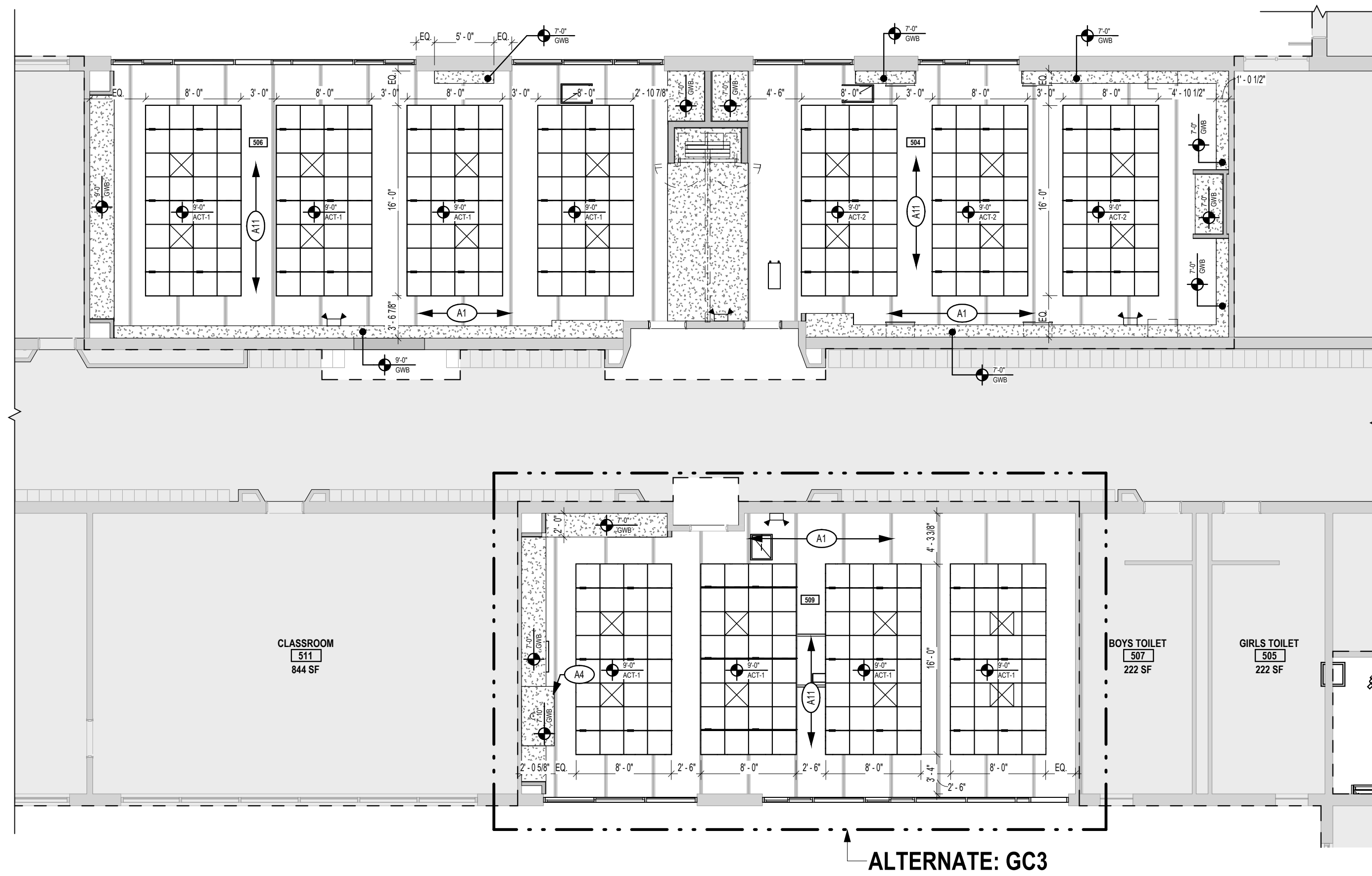
GENERAL BROWN CSD
JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

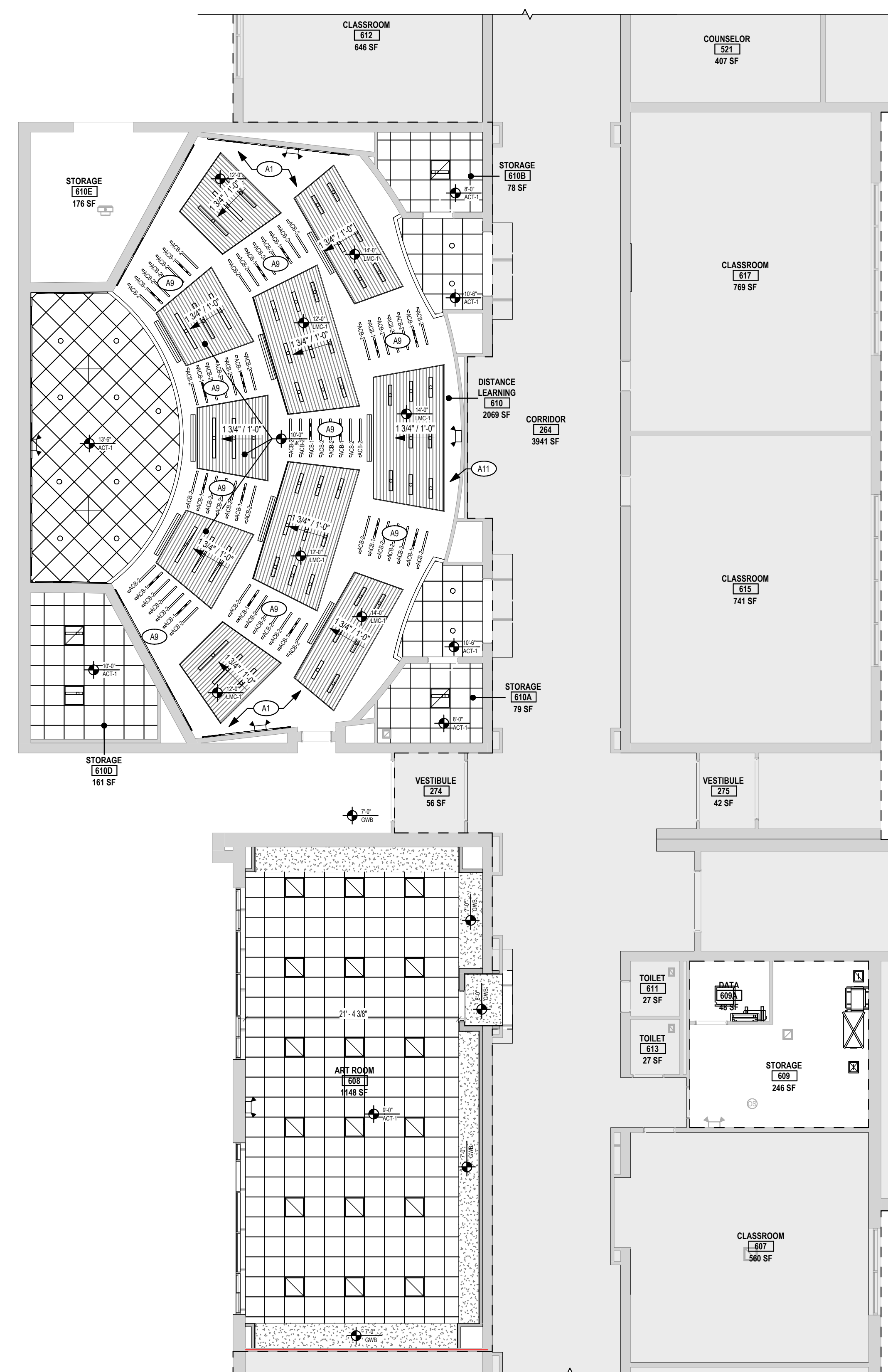
DRAWN BY: MHK/ALS PROJECT NUMBER: 2023-105
CHECKED BY: MLC DATE: 12/16/2024

REFLECTED CEILING PLAN - FIRST FLOOR - AREA B1 AND B2

BUILDING NUMBER: HS SHEET NUMBER: A301 BID



2 REFLECTED CEILING PLAN - FIRST FLOOR - AREA D
SCALE: 1/8" = 1'-0"



1 REFLECTED CEILING PLAN - FIRST FLOOR - AREA C
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

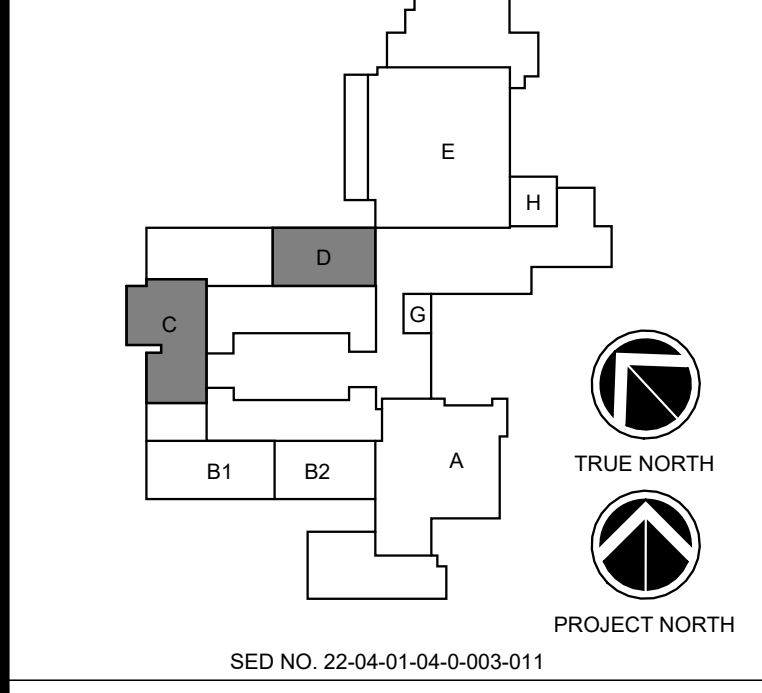
- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

REFLECTED CEILING PLAN LEGEND

- 5/8" GYPSUM DRYWALL CEILING SUSPENDED WITH GYP-GRID SYSTEM, TYPE X FOR GENERAL LOCATIONS, TYPE-M FOR TOILET ROOMS
- 2 x 2 ACOUSTIC CEILING TILE AND GRID
- 2x2 LIGHT FIXTURES
- RECESSED CAN FIXTURES
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- ACOUSTIC PYRAMIDAL DIFFUSER, SEE KEYNOTES FOR BASIS OF DESIGN

KEYNOTES

- A1 PAINT EXISTING EXPOSED STRUCTURE, COLOR TO BE SELECTED BY ARCHITECT
- A4 COORDINATE SOFFIT SIZE AND LOCATION WITH FUME HOOD EQUIPMENT BELOW
- A9 ACOUSTIC CEILING BAFFLE, BASIS OF DESIGN, FOCAL POINT, SEEM 1 ACOUSTIC LED DIRECT (ACB-1) AND SEEM 1 UNIT (ACB-2) ACOUSTIC CEILING BAFFLES ARE TO BE 12" DEEP AND INSTALLED AT 12" O.C. IN ALYSON ROOM ELEVATION TO SLOPE TOWARDS TEACHER AREA, DROPPING 2" PER UNIT. ACBS ARE TO BE LOCATED ABOVE THE LINEAR METAL CEILING AND PARALLEL
- A11 GC TO PAINT ALL EXPOSED DUCTWORK, COLOR TO BE SELECTED BY ARCHITECT



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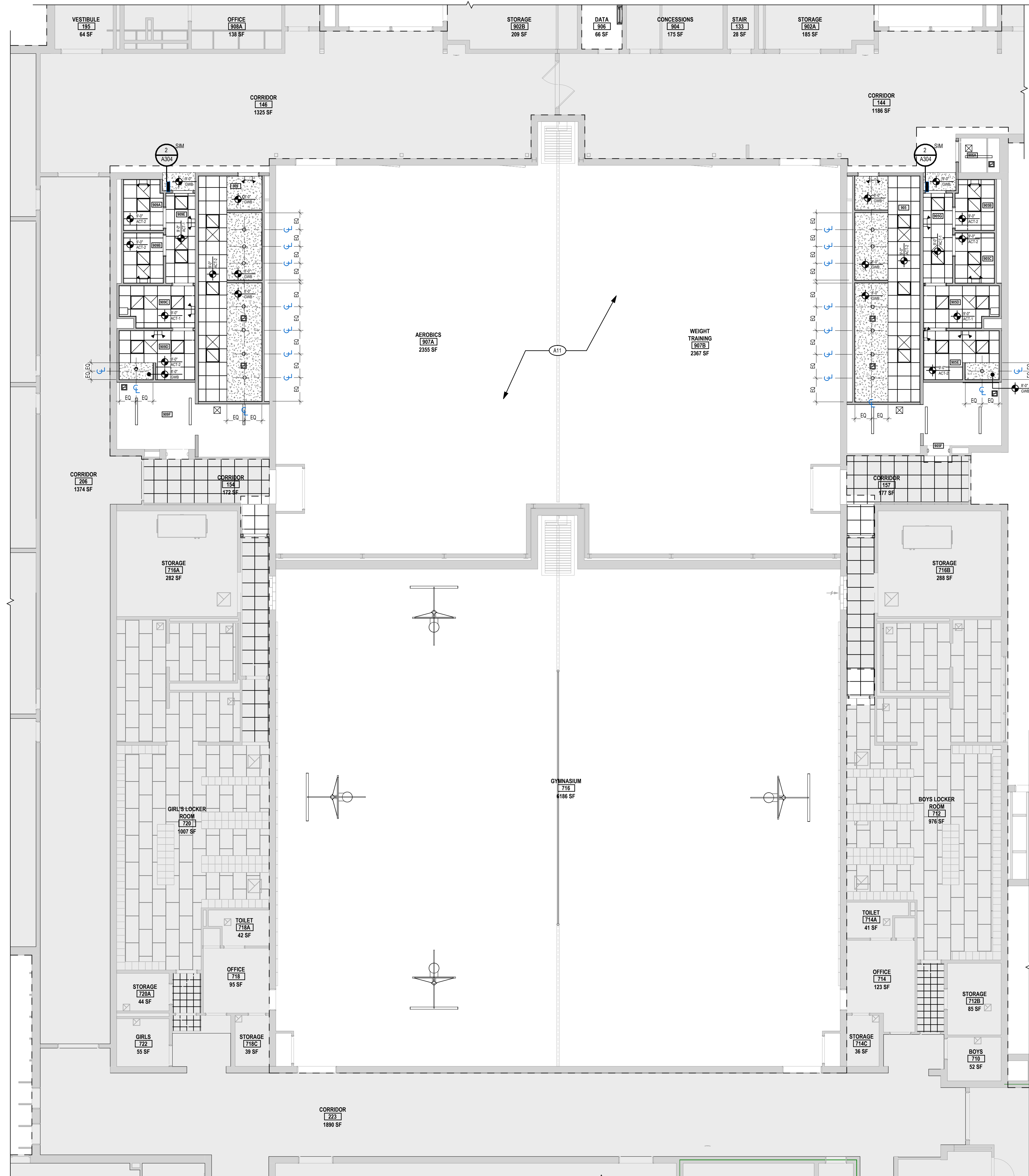


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REV	DATE	DESCRIPTION

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CHECKED BY: MLC DATE: 12/16/2024

REFLECTED CEILING PLAN - FIRST FLOOR - AREA C AND D
BUILDING NUMBER: HS SHEET NUMBER: A302
BID



GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

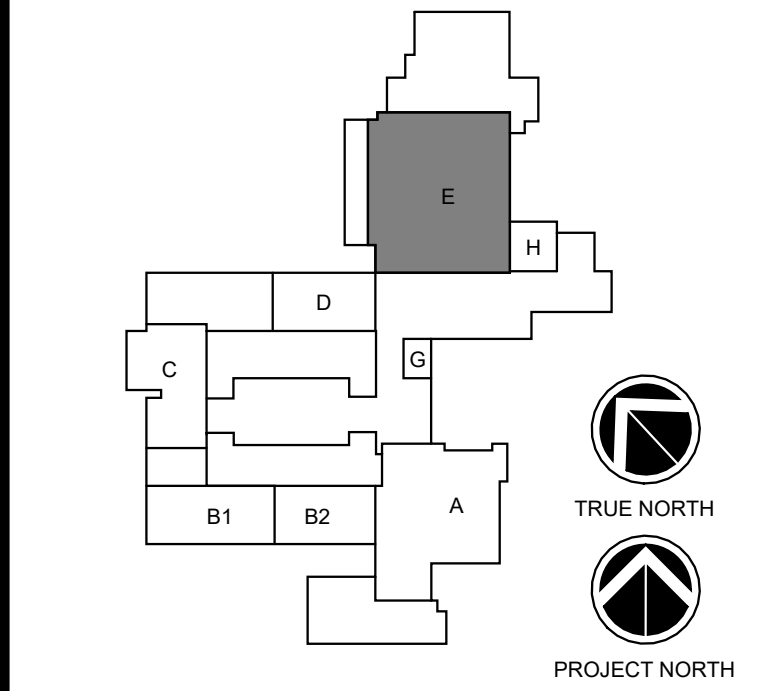
REFLECTED CEILING PLAN LEGEND

- 5/8" GYPSUM DRYWALL CEILING SUSPENDED WITH GYP-GRID SYSTEM, TYPE X FOR GENERAL LOCATIONS, TYPE-M FOR TOILET ROOMS
- 2 x 2 ACOUSTIC CEILING TILE AND GRID
- 2x2 LIGHT FIXTURES
- RECESSED CAN FIXTURES
- SUPPLY DIFFUSER
- RETURN DIFFUSER
- ACOUSTIC PYRAMIDAL DIFFUSER, SEE KEYNOTES FOR BASIS OF DESIGN

KEYNOTES

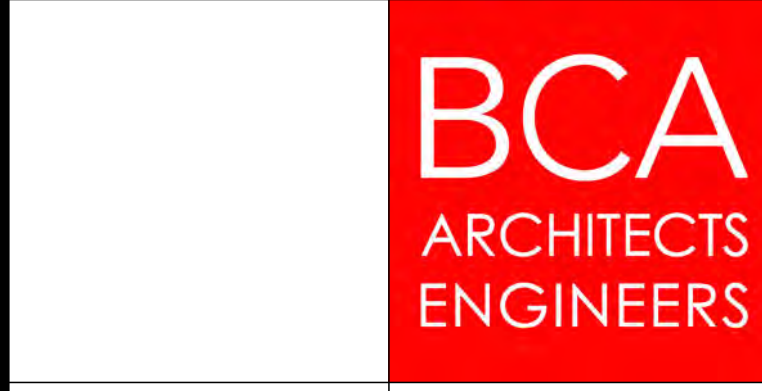
- A11 GO TO PAINT ALL EXPOSED DUCTWORK, COLOR TO BE SELECTED BY ARCHITECT.

KEY PLAN:



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 17643 CEMETERY RD
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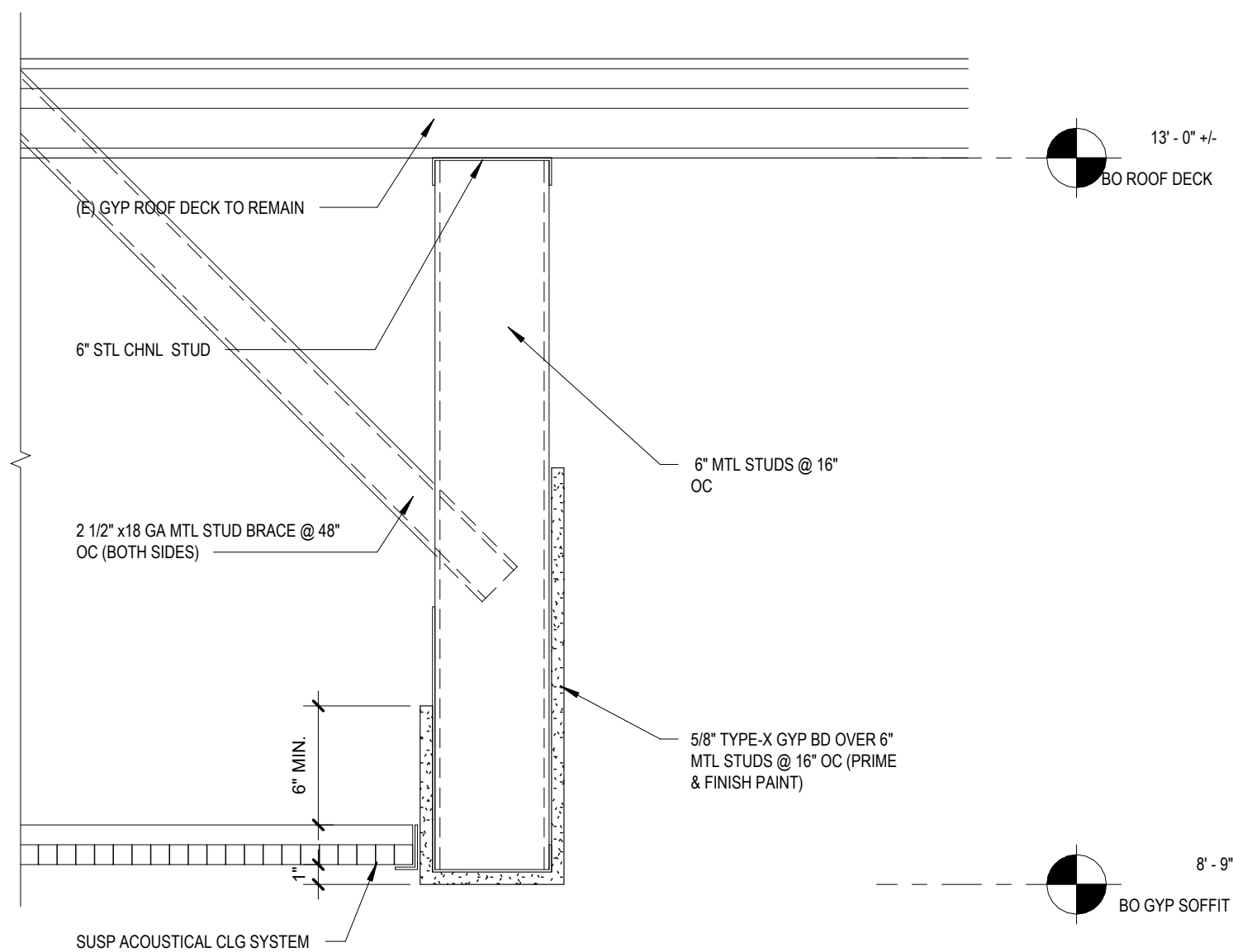
DRAWN BY: MHK/ALS PROJECT NUMBER: 2023-105
 CHECKED BY: MLC DATE: 12/16/2024

REFLECTED CEILING PLAN - FIRST FLOOR - AREA E

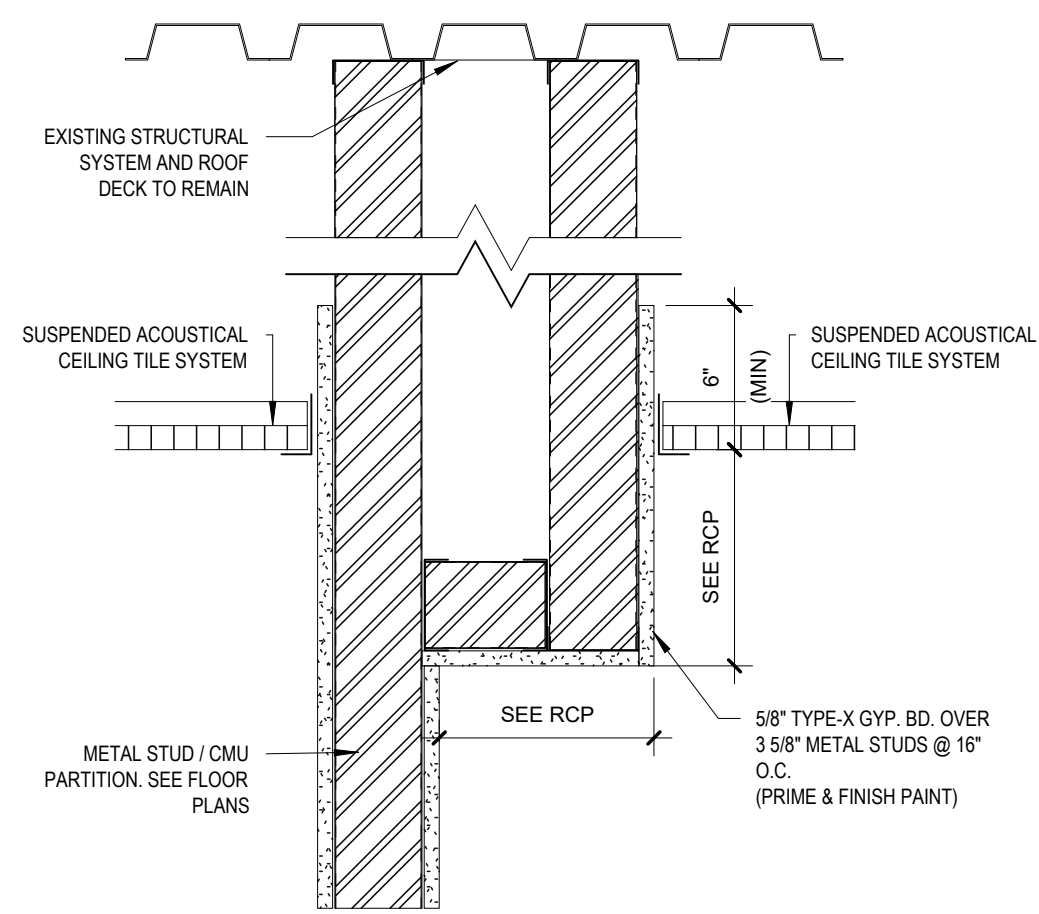
BUILDING NUMBER: HS SHEET NUMBER: A303 BID

1 REFLECTED CEILING PLAN - FIRST FLOOR - AREA E
 SCALE: 1/8" = 1'-0"

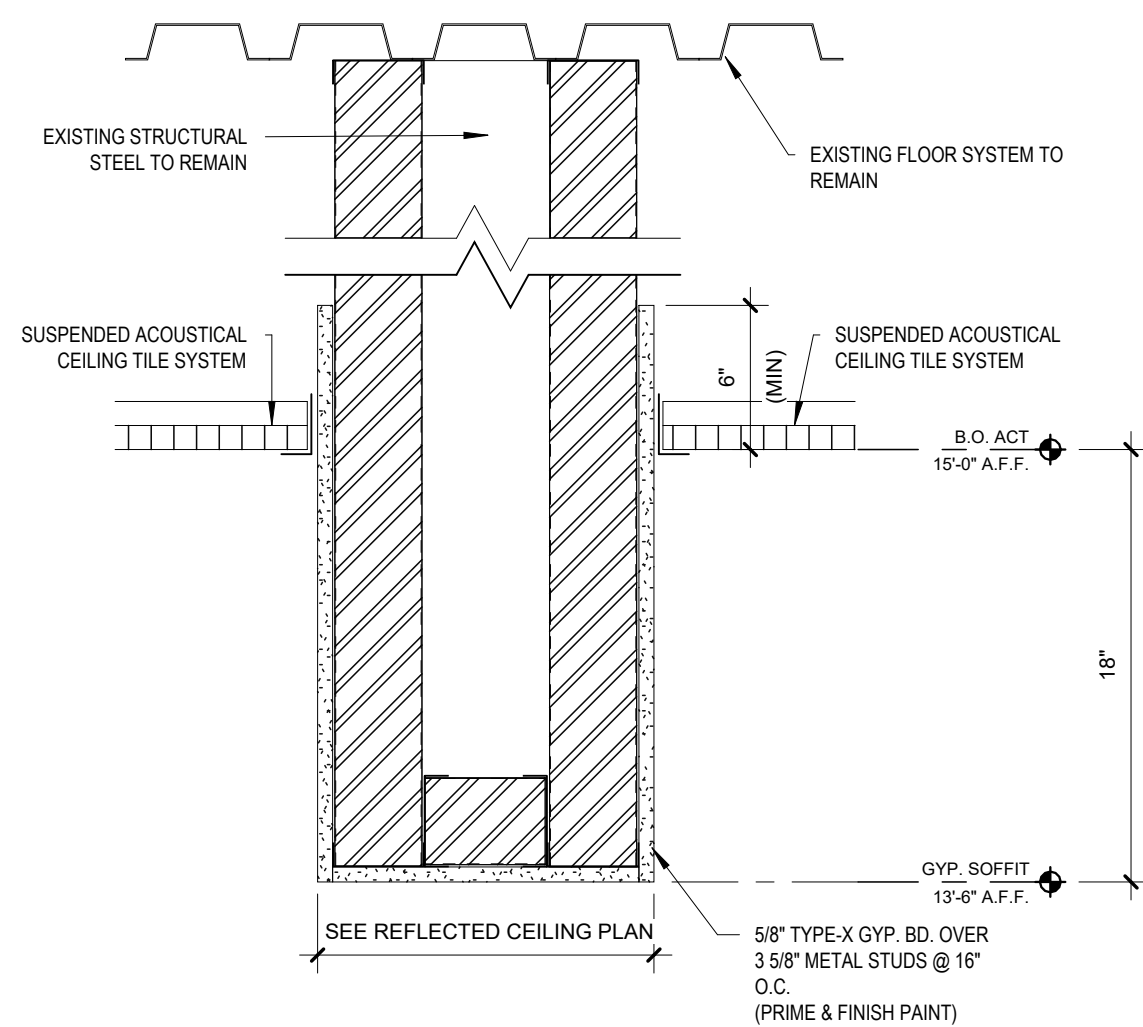
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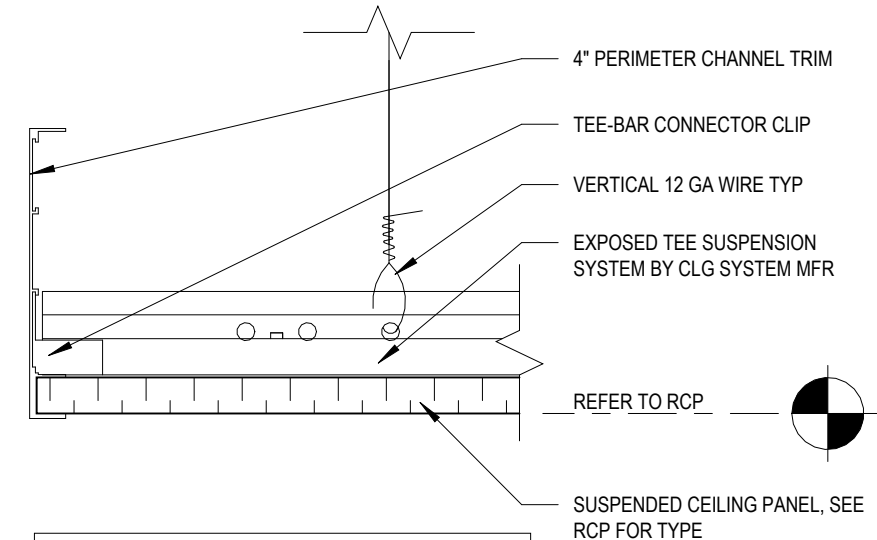
4 SOFFIT DETAIL - ACT
SCALE: 1 1/2" = 1'-0"



5 SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"

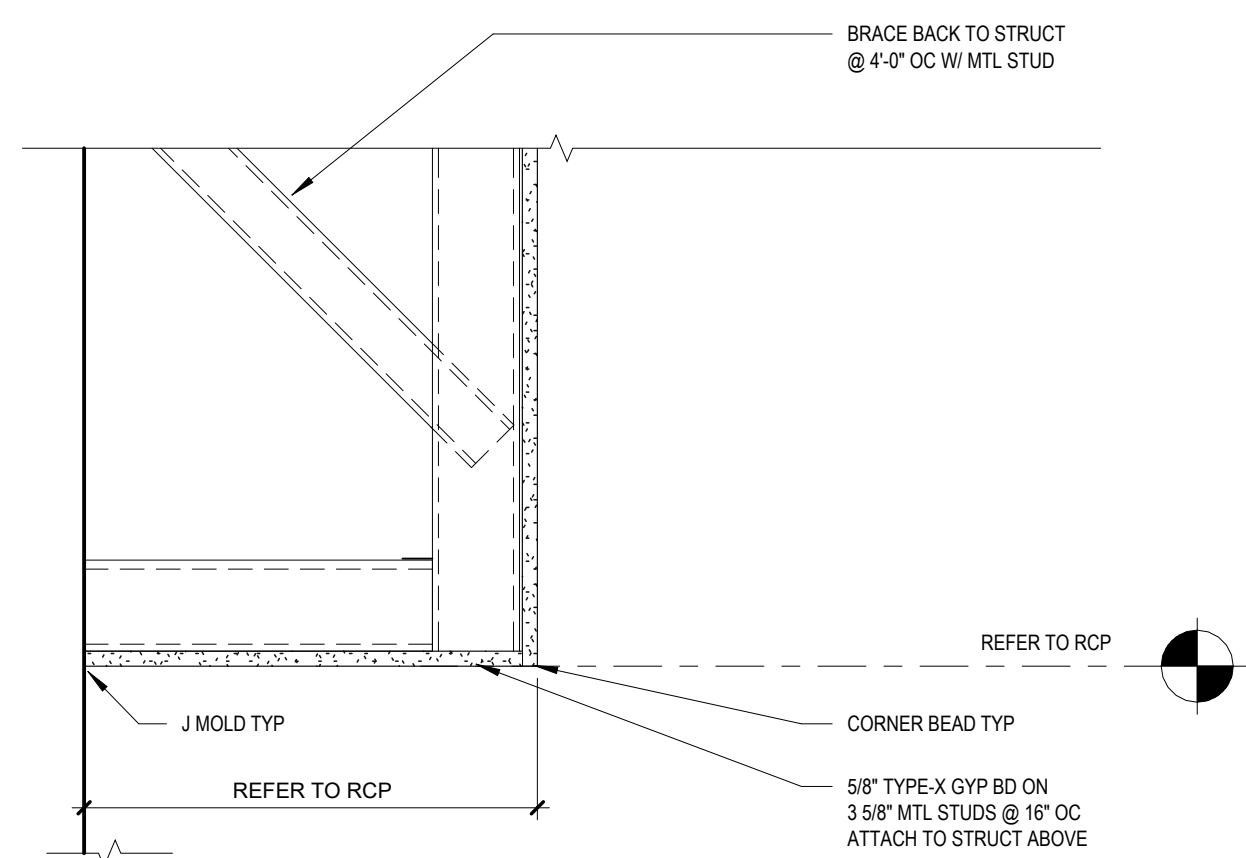


6 SOFFIT DETAIL
SCALE: 1 1/2" = 1'-0"

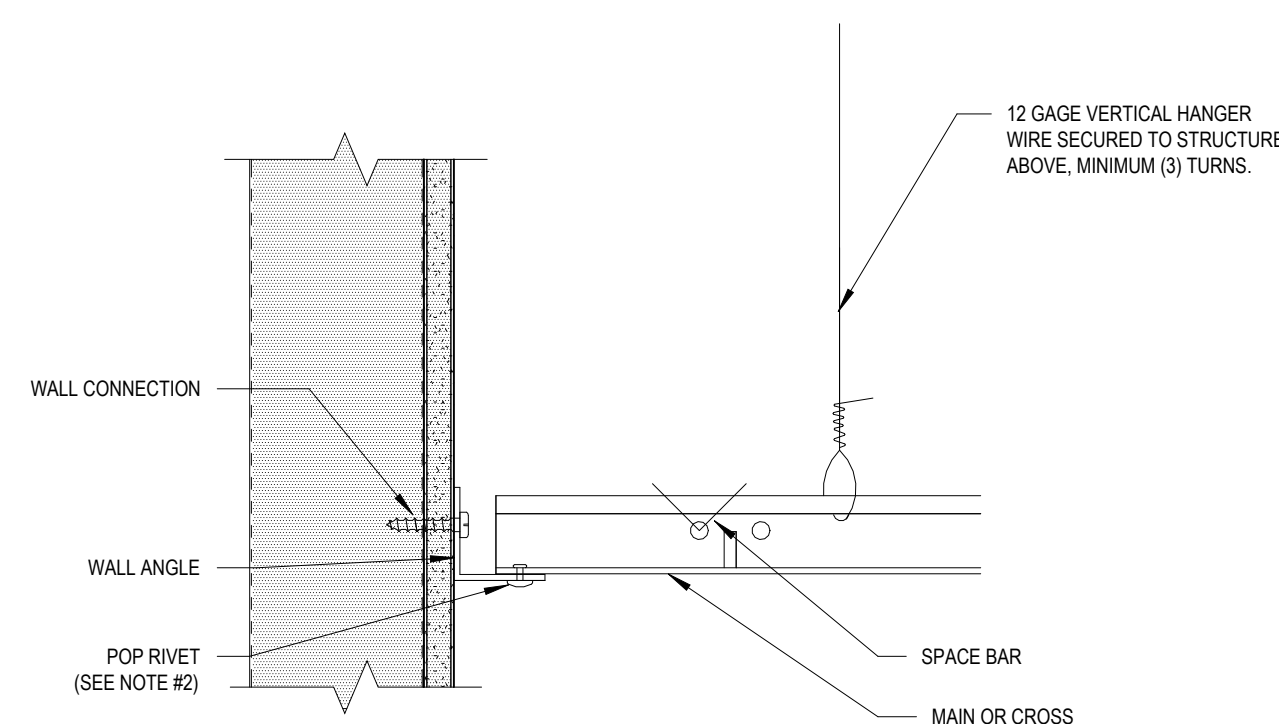


BASIS OF DESIGN: 4\"/>

1 CEILING DETAIL - FLOATING PANEL
SCALE: 3" = 1'-0"



2 SOFFIT DETAIL - GYPSUM
SCALE: 1 1/2" = 1'-0"

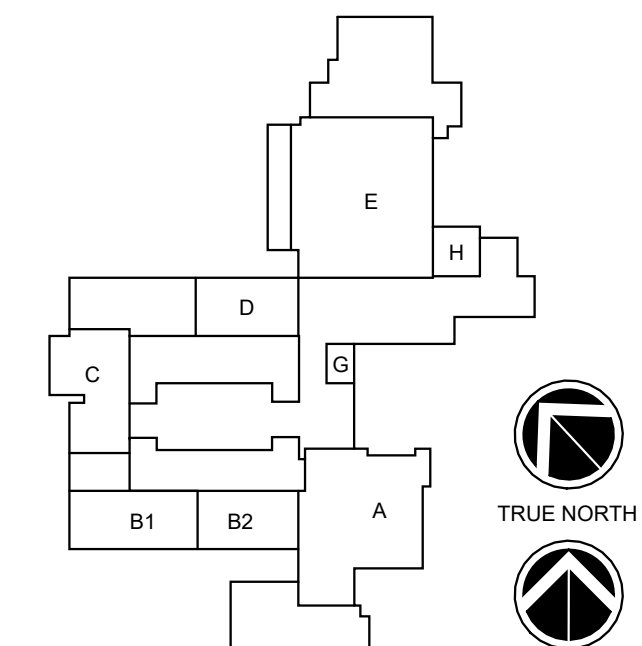


NOTES:
1. EIGHT INCHES OR 1/4 THE LENGTH OF THE END RUNNER - WHICHEVER IS LESS.
2. OPTIONAL IF USED, ATTACH ONLY TO TWO ADJACENT WALLS.

3 WALL - CEILING DETAIL
SCALE: 3" = 1'-0"

KEYNOTES

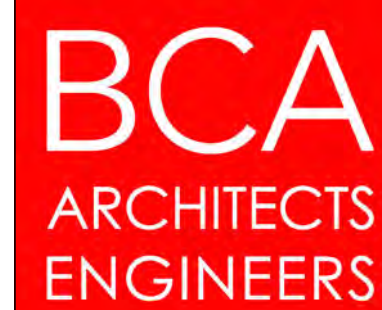
KEY PLAN:



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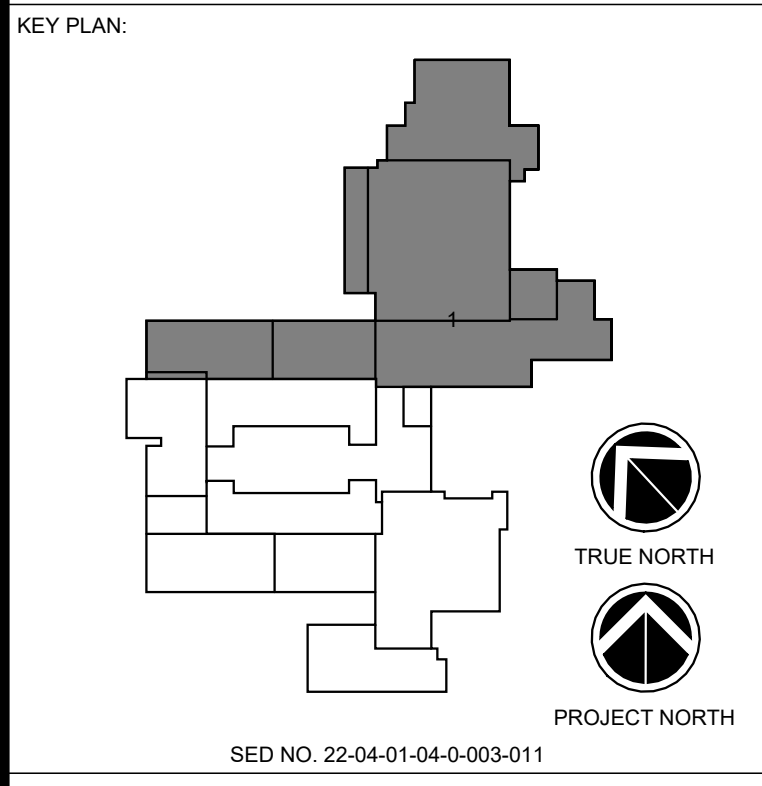
REFLECTED CEILING PLAN - DETAILS

BUILDING NUMBER HS	SHEET NUMBER A304 BID
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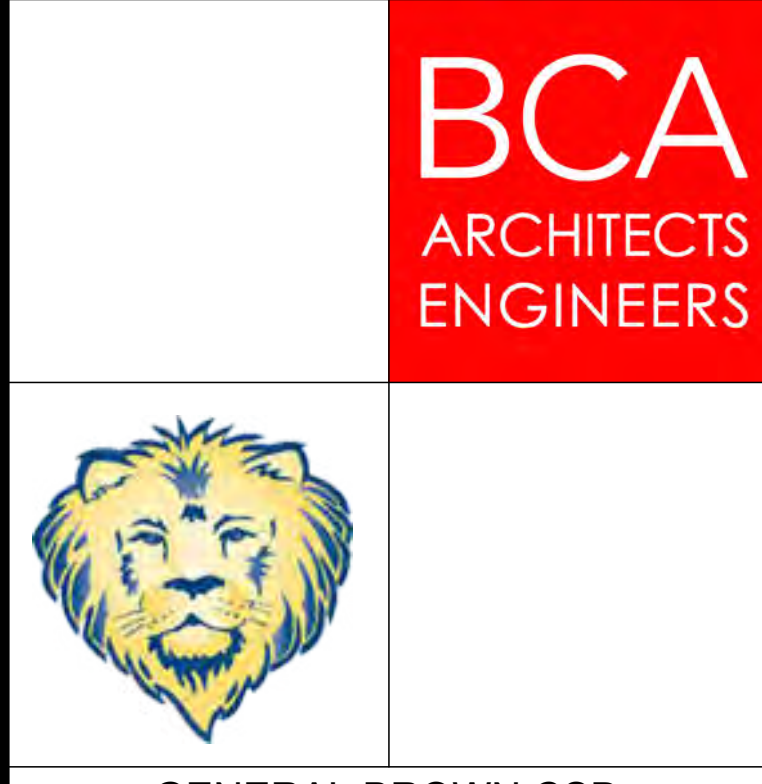
ROOF LEGEND	
	EXISTING ROOF DRAIN
	EXISTING VENT
	EXISTING POWER ROOF EXHAUST
	EXISTING AC UNIT
	EXISTING STATIC ROOF VENT
	EXISTING ROOF HATCH
	EXISTING HEAT RECOVERY UNIT
	AC UNIT
	DEDICATED OUTDOOR AIR SYSTEM
	ROOF TOP UNIT
	POWER ROOF EXHAUST
	30" WIDE 0.30 EPDM WALKWAY PADS WITH TAPE ADHESIVE STRIP BY MEMBRANE MANUFACTURER
	ROOF DETAIL MARKER (SEE DETAILS ON SHEET A400)

- | GENERAL ROOF NOTES | |
|--------------------|--|
| 1. | THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS INCLUDING DIMENSIONS, DETAILING, ROOF FURNITURE, AND LOCATIONS. |
| 2. | ALL WORK SHALL BE IN ACCORDANCE W/ ACCEPTABLE ROOFING MEMBRANE MANUFACTURER'S WRITTEN RECOMMENDATIONS. |
| 3. | DETAIL INDICATORS ARE TYPICAL FOR ALL SIMILAR LOCATIONS AND CONDITIONS. |
| 4. | THE CONTRACTOR SHALL REMOVE PORTIONS OF EXISTING EPDM MEMBRANES, INSULATION, AND VAPOR BARRIERS, DOWN TO THE EXISTING ROOF DECK WHERE REQUIRED. |
| 5. | THE CONTRACTOR SHALL MAINTAIN A UNIFORM INSULATION CONSISTENT WITH EXISTING SYSTEM FOR ANY INFILL LOCATIONS. |
| 6. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL AREAS DISTURBED AS A RESULT OF HIS WORK. THE CONTRACTOR SHALL PROPERLY CLEAN ALL INTERIOR SPACES OF ALL ROOFING RELATED DEBRIS. THE CONTRACTOR SHALL PROPERLY REPAIR ALL LAWNS, WALKS AND DRIVES WHICH ARE DISTURBED/DAMAGED AS A RESULT OF THEIR WORK. |
| 7. | THE CONTRACTOR SHALL PROVIDE ALL WOOD BLOCKING SHOWN OR AS REQUIRED TO COMPLETE THE PROJECT. |
| 8. | THE CONTRACTOR SHALL LIMIT CONSTRUCTION LOADS TO 50 PSF. |
| 9. | THE CONTRACTOR SHALL PERFORM ALL WORK IN A MANNER SO AS TO MAINTAIN ANY EXISTING ROOFING SYSTEM WARRANTIES. |
| 10. | THE CONTRACTOR SHALL PROVIDE INSULATION CRICKETS AT ALL NEW CURBS TO MAINTAIN POSITIVE STORMWATER DRAINAGE AROUND EQUIPMENT. |

- | KEYNOTES | |
|----------|---|
| 1 | COORDINATE WITH MECHANICAL AND PLUMBING CONTRACTOR TO PROVIDE NEW DUCT AND PIPE ROOF PENETRATIONS. SEE TYPICAL DECK PENETRATION DETAILS ON STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION. |
| 2 | ROOF PENETRATION INFILL - COORDINATE W/ OTHER TRADES FOR LOCATIONS OF ALL ROOF EQUIPMENT REMOVALS. UPON REMOVAL OF DUCT/PIPES THROUGH ROOF, GO TO REMOVE EXISTING ROOF MOUNTED EQUIPMENT, PATCH & MATCH ALL DISTURBED SURFACES. |



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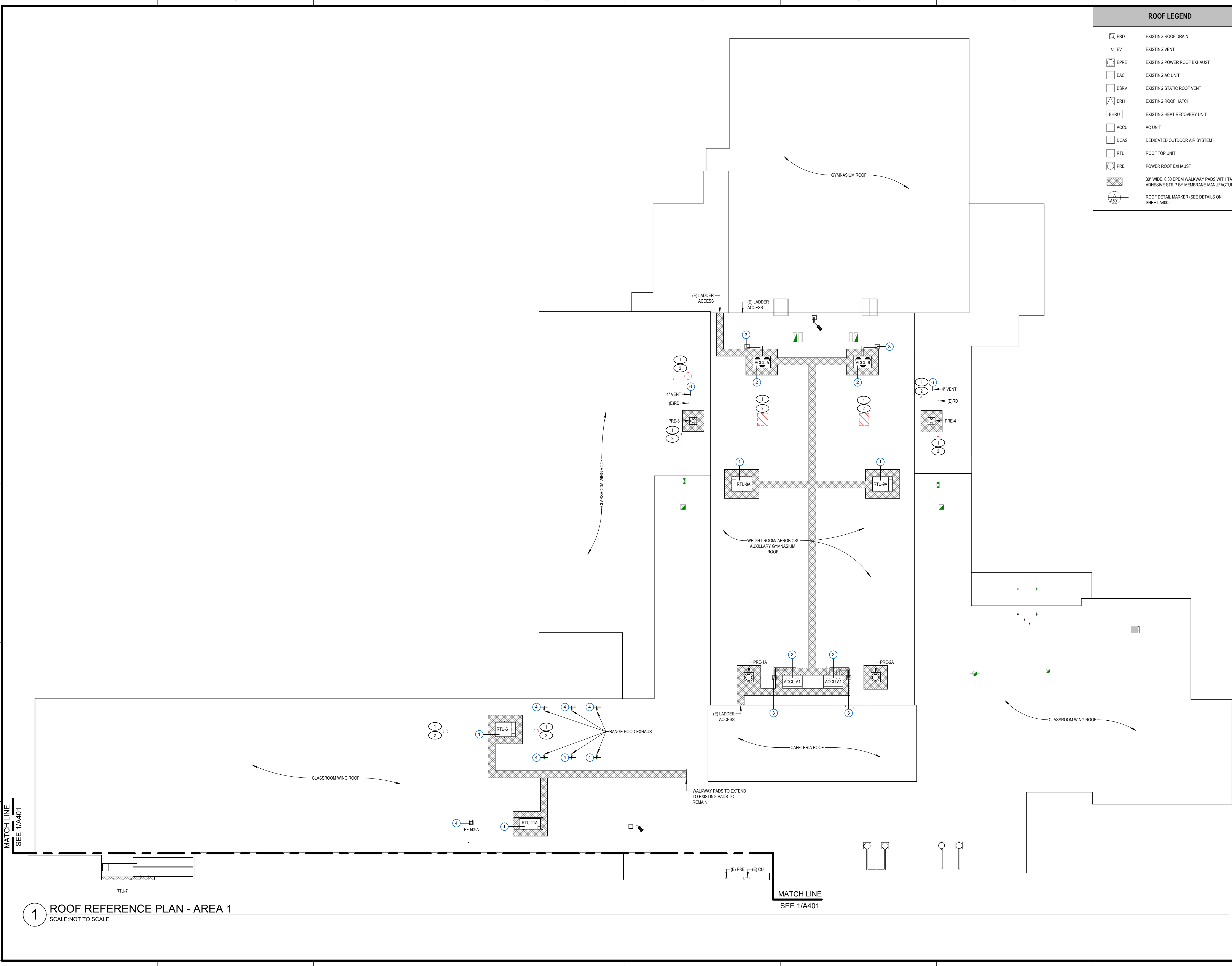
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CHECKED BY MLC	DATE 12/16/2024

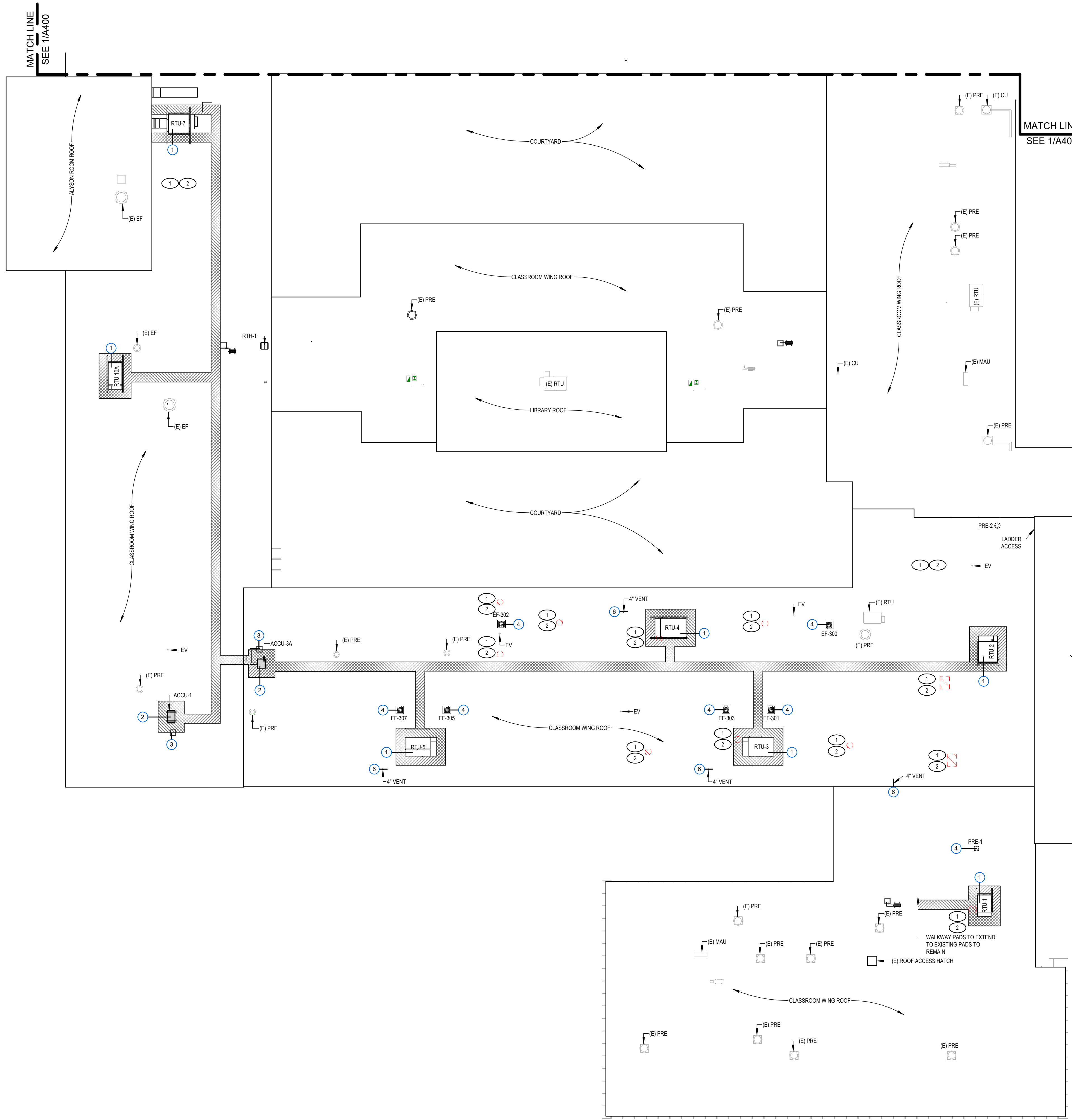
ROOF REFERENCE PLAN - AREA 1

BUILDING NUMBER HS	SHEET NUMBER A400 BID
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1 ROOF REFERENCE PLAN - AREA 1
 SCALE: NOT TO SCALE

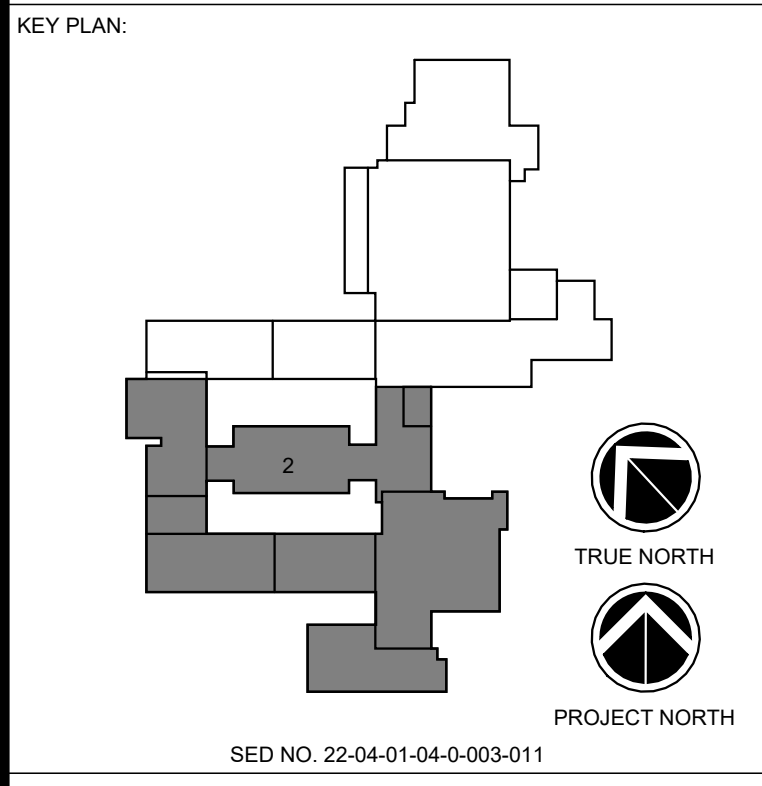
12/17/2024 5:12:06 PM



ROOF LEGEND	
	EXISTING ROOF DRAIN
	EXISTING VENT
	EXISTING POWER ROOF EXHAUST
	EXISTING AC UNIT
	EXISTING STATIC ROOF VENT
	EXISTING ROOF HATCH
	EXISTING HEAT RECOVERY UNIT
	AC UNIT
	DEDICATED OUTDOOR AIR SYSTEM
	ROOF TOP UNIT
	POWER ROOF EXHAUST
	30" WIDE 0.30 EPDM WALKWAY PADS WITH TAPE ADHESIVE STRIP BY MEMBRANE MANUFACTURER
	ROOF DETAIL MARKER (SEE DETAILS ON SHEET A401)

- | GENERAL ROOF NOTES | |
|--------------------|--|
| 1. | THE CONTRACTOR SHALL BE COMPLETELY RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS INCLUDING DIMENSIONS, DETAILING, ROOF FURNITURE, AND LOCATIONS. |
| 2. | ALL WORK SHALL BE IN ACCORDANCE W/ ACCEPTABLE ROOFING MEMBRANE MANUFACTURER'S WRITTEN RECOMMENDATIONS. |
| 3. | DETAIL INDICATORS ARE TYPICAL FOR ALL SIMILAR LOCATIONS AND CONDITIONS. |
| 4. | THE CONTRACTOR SHALL REMOVE PORTIONS OF EXISTING EPDM MEMBRANES, INSULATION, AND VAPOR BARRIERS, DOWN TO THE EXISTING ROOF DECK WHERE REQUIRED. |
| 5. | THE CONTRACTOR SHALL MAINTAIN A UNIFORM INSULATION CONSISTENT WITH EXISTING SYSTEM FOR ANY INFILL LOCATIONS. |
| 6. | THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION OF ALL AREAS DISTURBED AS A RESULT OF HIS WORK. THE CONTRACTOR SHALL PROPERLY CLEAN ALL INTERIOR SPACES OF ALL ROOFING RELATED DEBRIS. THE CONTRACTOR SHALL PROPERLY REPAIR ALL LAWNS, WALKS AND DRIVES WHICH ARE DISTURBED/DAMAGED AS A RESULT OF THEIR WORK. |
| 7. | THE CONTRACTOR SHALL PROVIDE ALL WOOD BLOCKING SHOWN OR AS REQUIRED TO COMPLETE THE PROJECT. |
| 8. | THE CONTRACTOR SHALL LIMIT CONSTRUCTION LOADS TO 50 PSF. |
| 9. | THE CONTRACTOR SHALL PERFORM ALL WORK IN A MANNER SO AS TO MAINTAIN ANY EXISTING ROOFING SYSTEM WARRANTIES. |
| 10. | THE CONTRACTOR SHALL PROVIDE INSULATION CRICKETS AT ALL NEW CURBS TO MAINTAIN POSITIVE STORMWATER DRAINAGE AROUND EQUIPMENT. |

- | KEYNOTES | |
|----------|--|
| 1 | COORDINATE WITH MECHANICAL AND PLUMBING CONTRACTOR TO PROVIDE NEW DUCT AND PIPE ROOF PENETRATIONS. SEE TYPICAL DECK PENETRATION DETAILS ON STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION. |
| 2 | ROOF PENETRATION INFILL - COORDINATE W/ OTHER TRADES FOR LOCATIONS OF ALL ROOF EQUIPMENT REMOVALS. UPON REMOVAL OF DUCTS/PIPES THROUGH ROOF, GO TO REMOVE EXISTING ROOF MOUNTED EQUIPMENT, PATCH & MATCH ALL DISTURBED SURFACES. |



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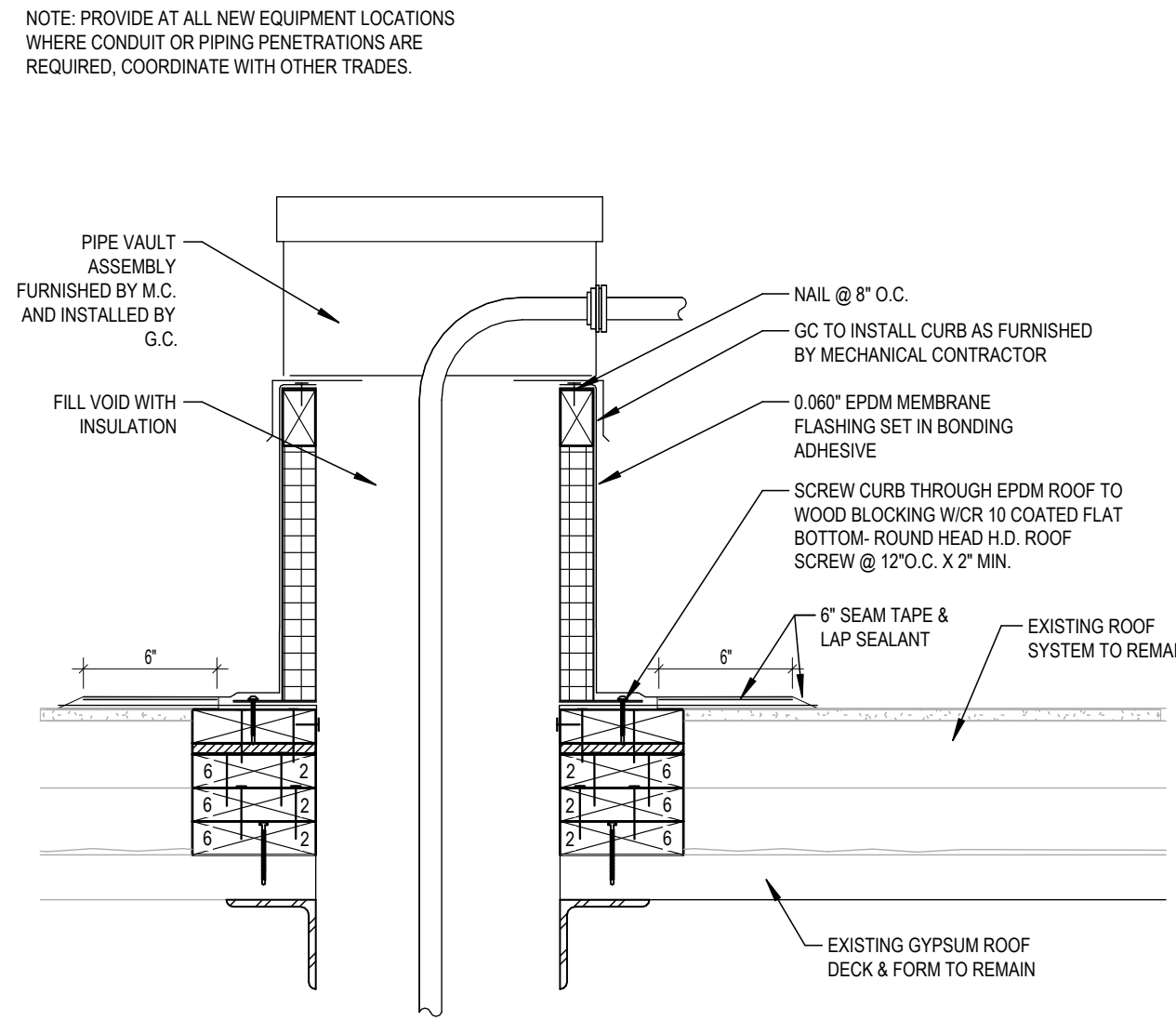
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CHECKED BY MLC	DATE 12/16/2024

ROOF REFERENCE PLAN - AREA 2

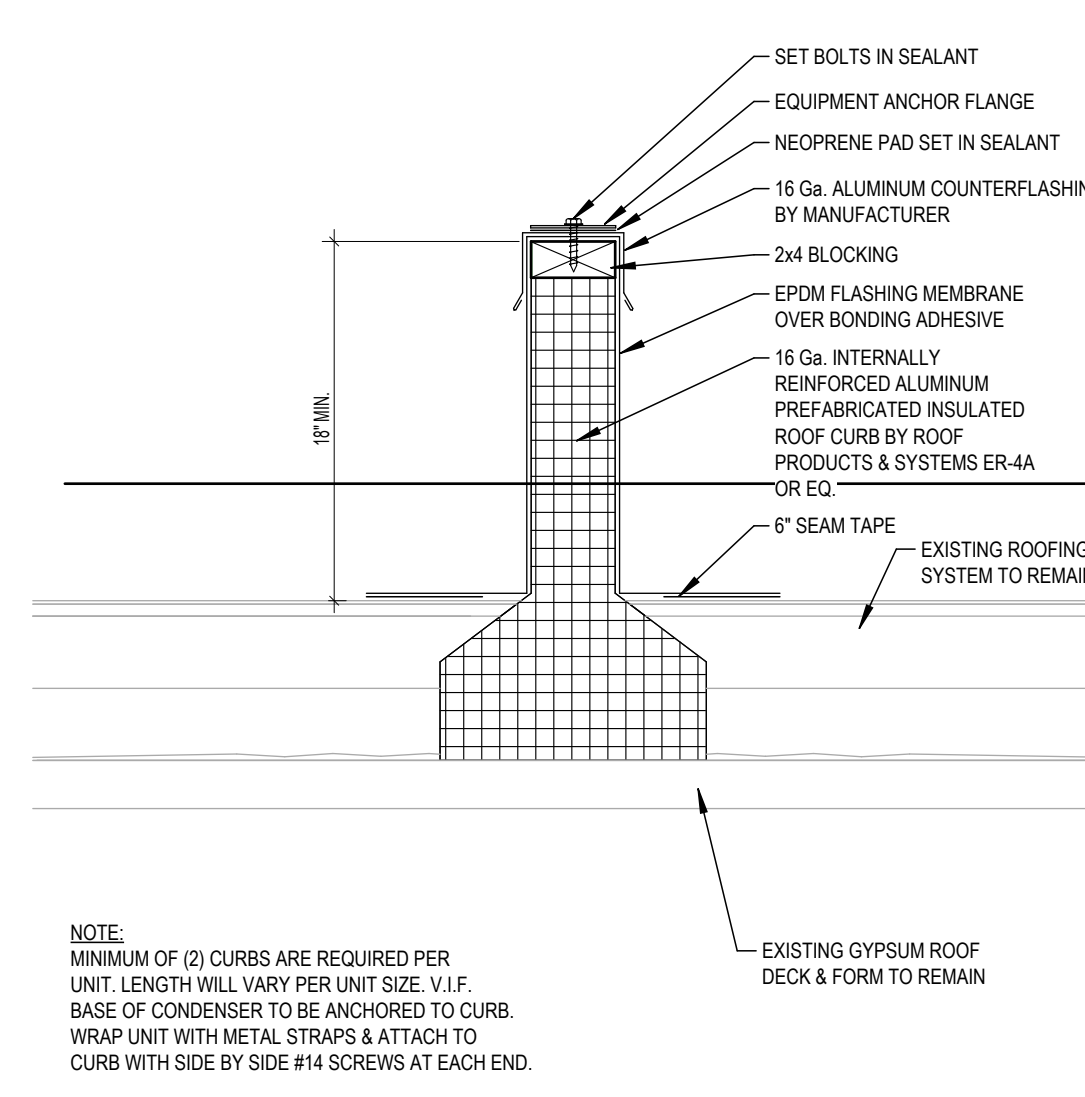
BUILDING NUMBER HS	SHEET NUMBER A401 BID
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1 ROOF REFERENCE PLAN - AREA 2
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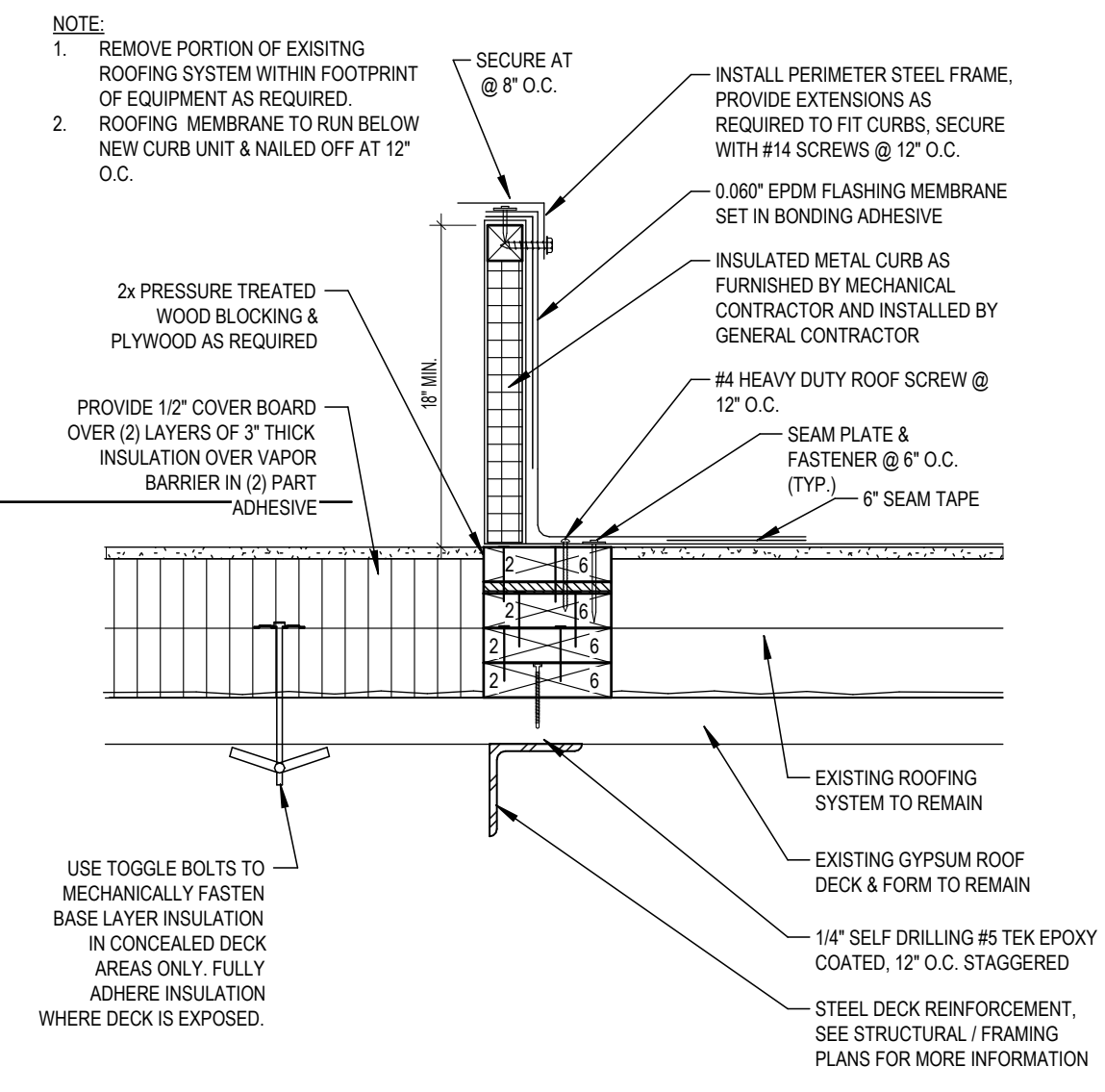
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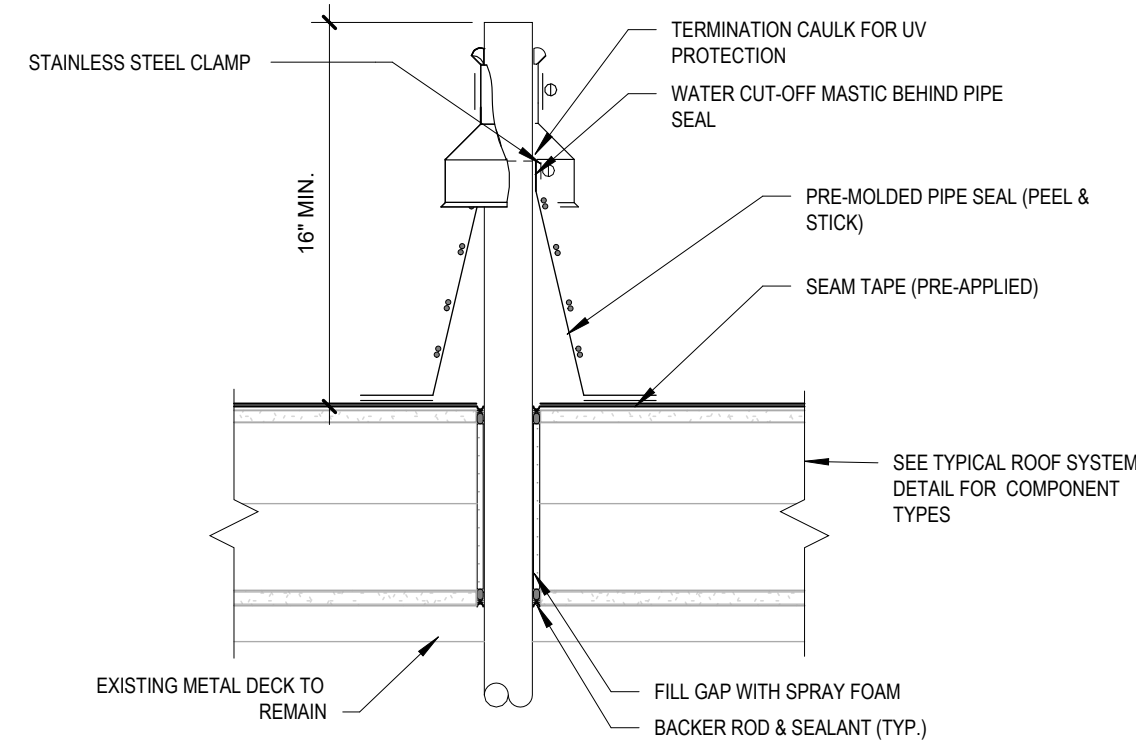
3 PIPE CURB ASSEMBLY EXISTING ROOF
SCALE: 1 1/2" = 1'-0"



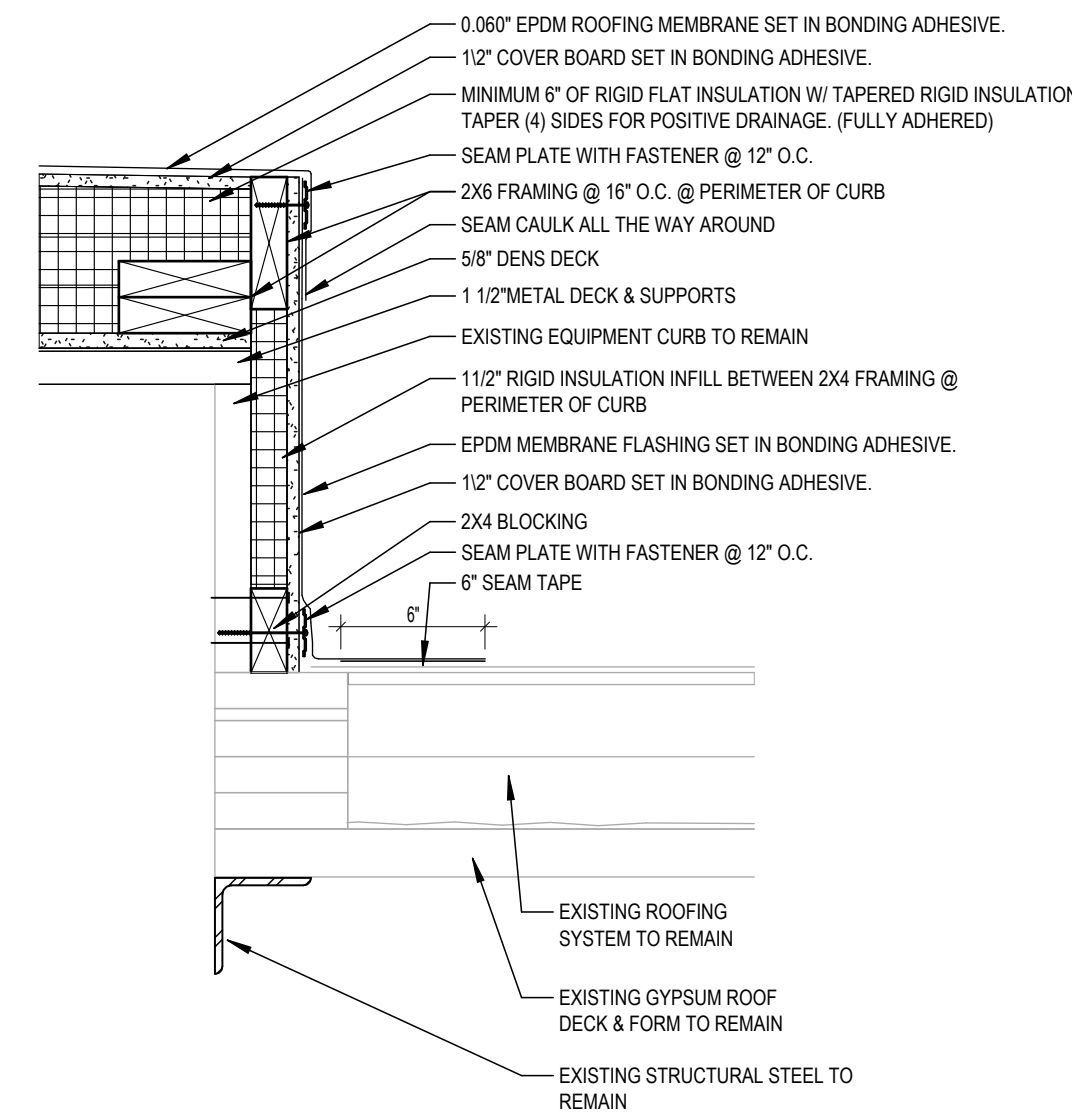
2 NEW ACCU CURB - EXISTING ROOF
SCALE: 1 1/2" = 1'-0"



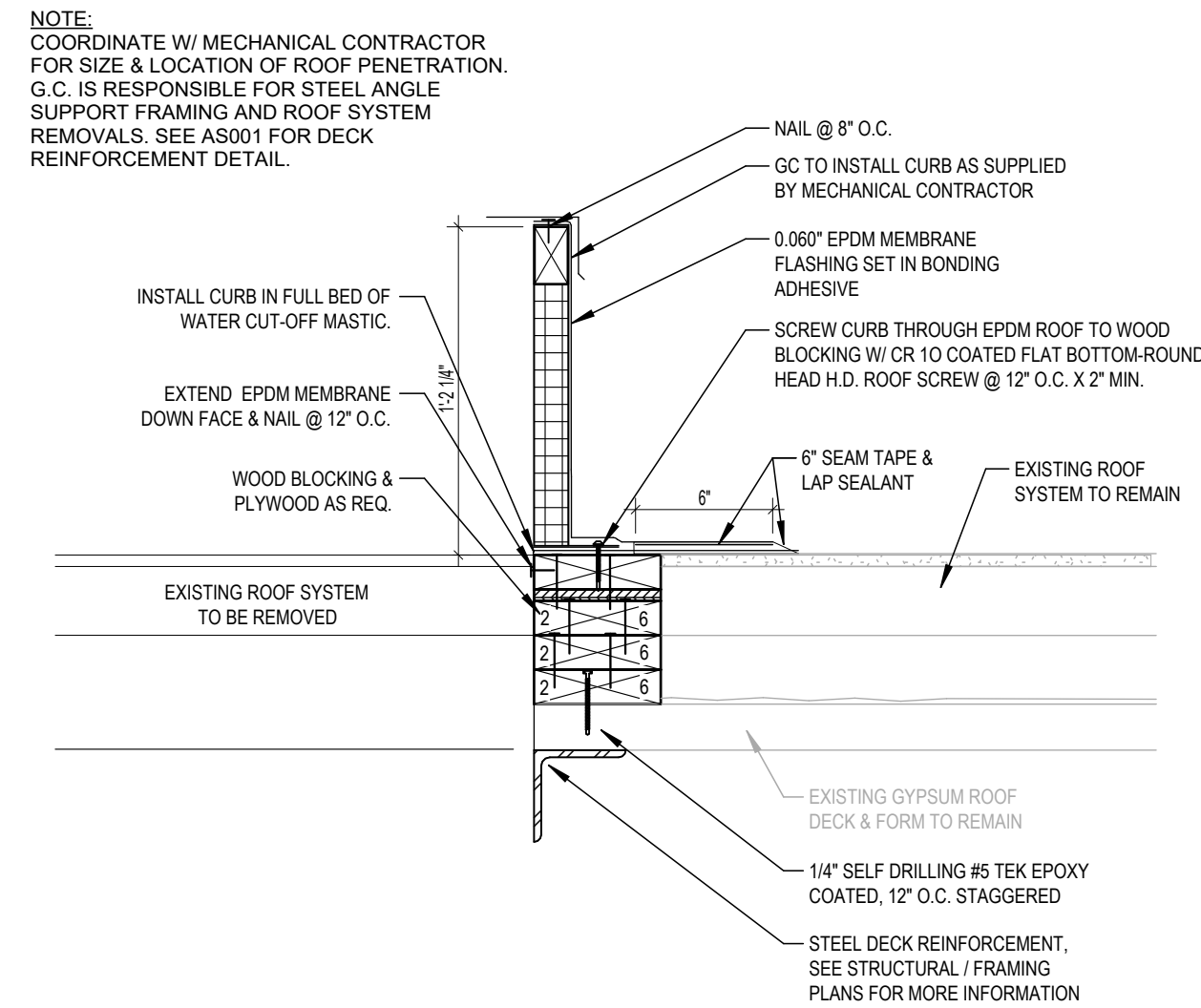
1 NEW RTU CURB - EXISTING ROOF
SCALE: 1 1/2" = 1'-0"



6 PLUMBING VENT - EXISTING ROOF
SCALE: 1 1/2" = 1'-0"



5 CURB CAP - EXISTING ROOF
SCALE: 1 1/2" = 1'-0"



4 EQUIPMENT ROOF CURB - EXISTING ROOF
SCALE: 1 1/2" = 1'-0"

KEY PLAN:

SED NO. 22-04-01-04-0-003-011

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ROOF DETAILS

SHEET NUMBER

A402
BID



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS

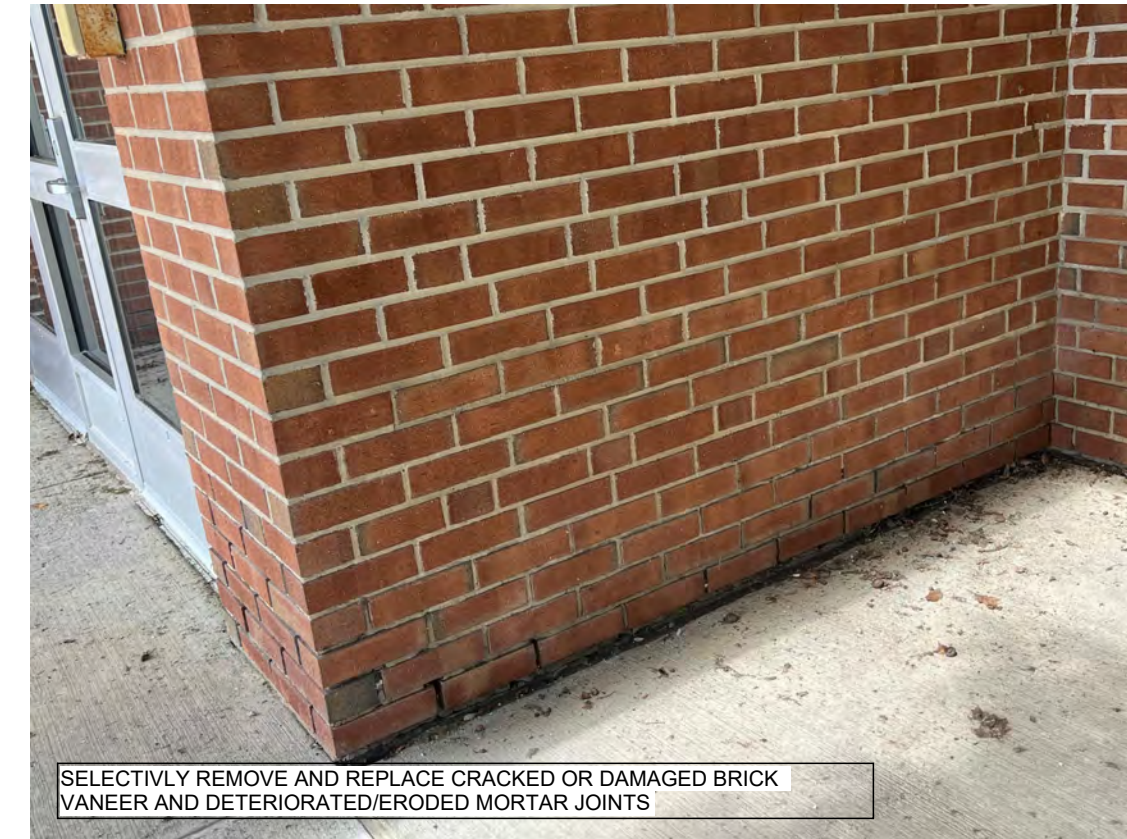
2 BRICK DAMAGE - LIBRARY
SCALE: 3/32" = 1'-0"



REMOVE AND REPLACE DETERIORATED/ERODED MORTAR JOINTS

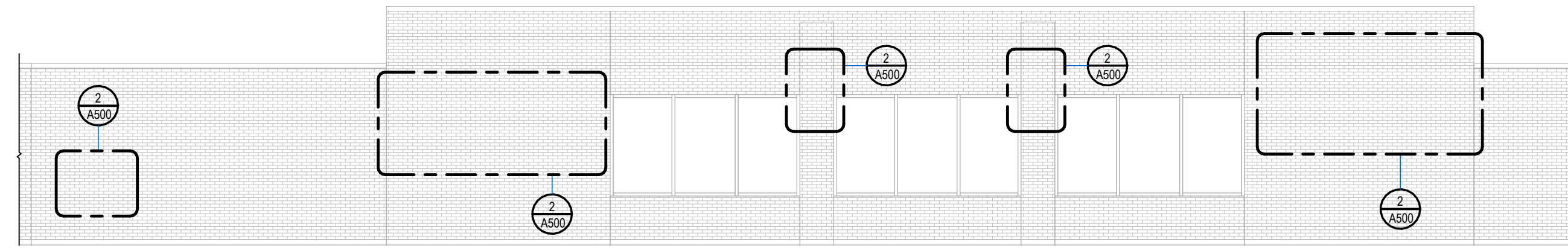


SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND DETERIORATED/ERODED MORTAR JOINTS

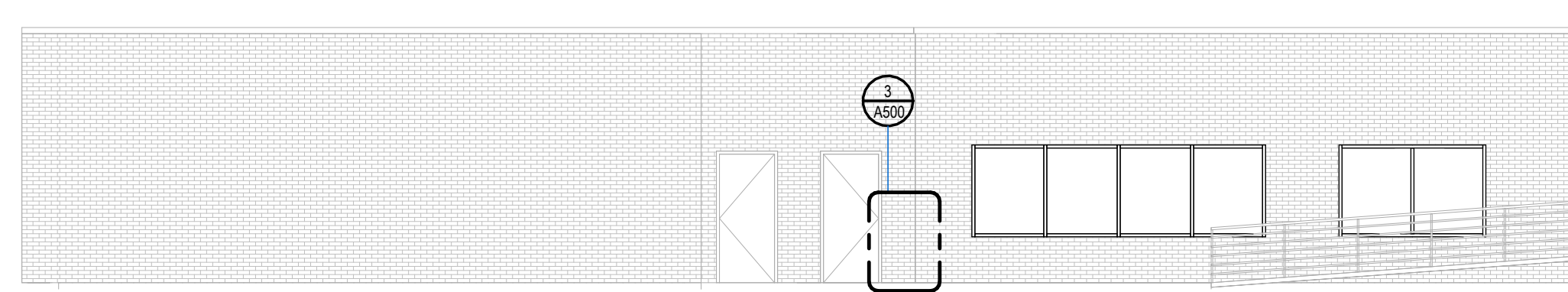


SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND DETERIORATED/ERODED MORTAR JOINTS

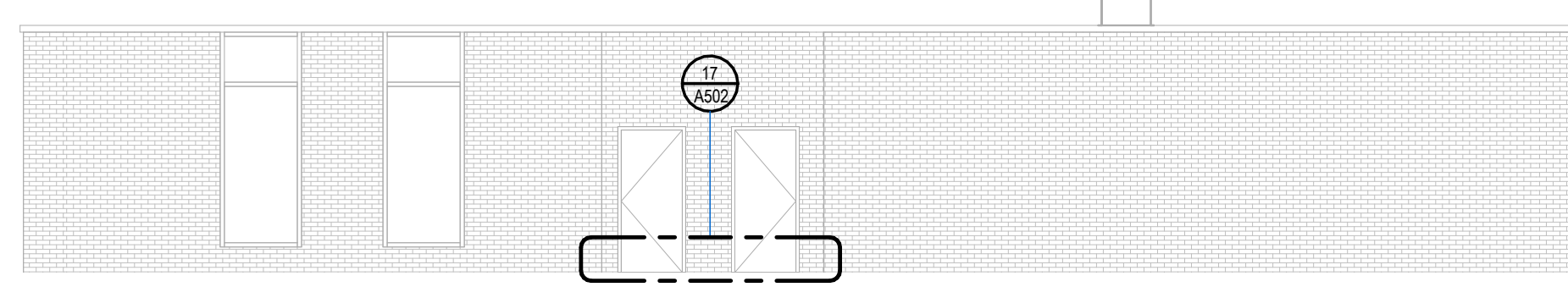
3 BRICK REPOINTING - DISTRICT WING 2
SCALE: 3/32" = 1'-0"



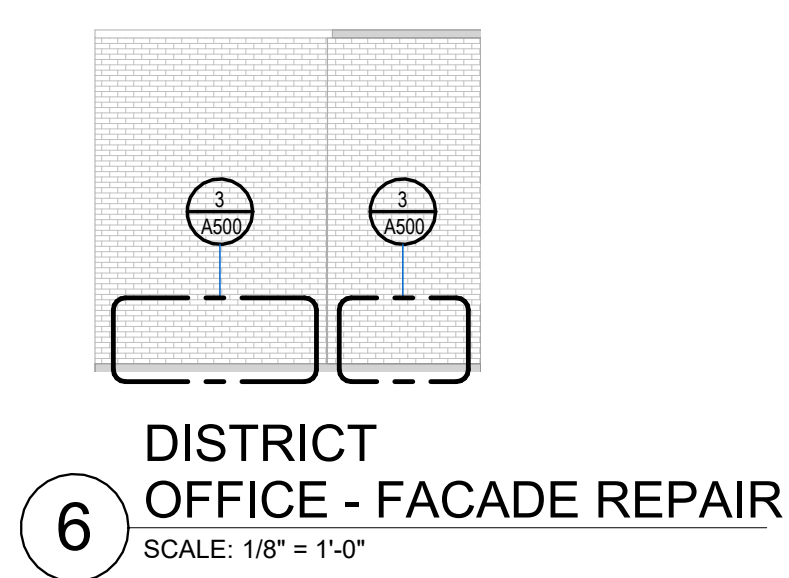
4 LIBRARY - FACADE REPAIR
SCALE: 1/8" = 1'-0"



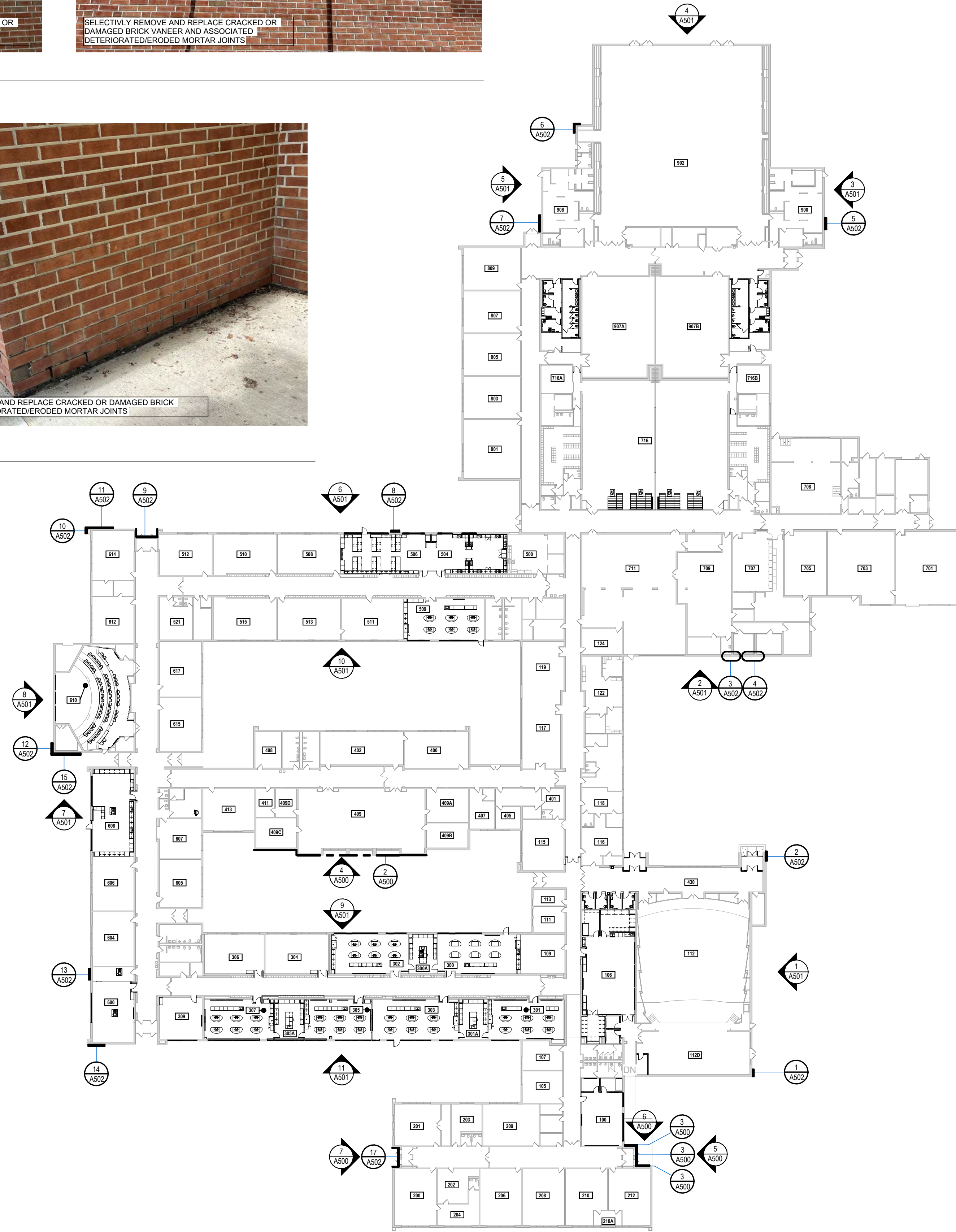
5 DISTRICT OFFICE - FACADE REPAIR AND WINDOW REPLACEMENT
SCALE: 1/8" = 1'-0"



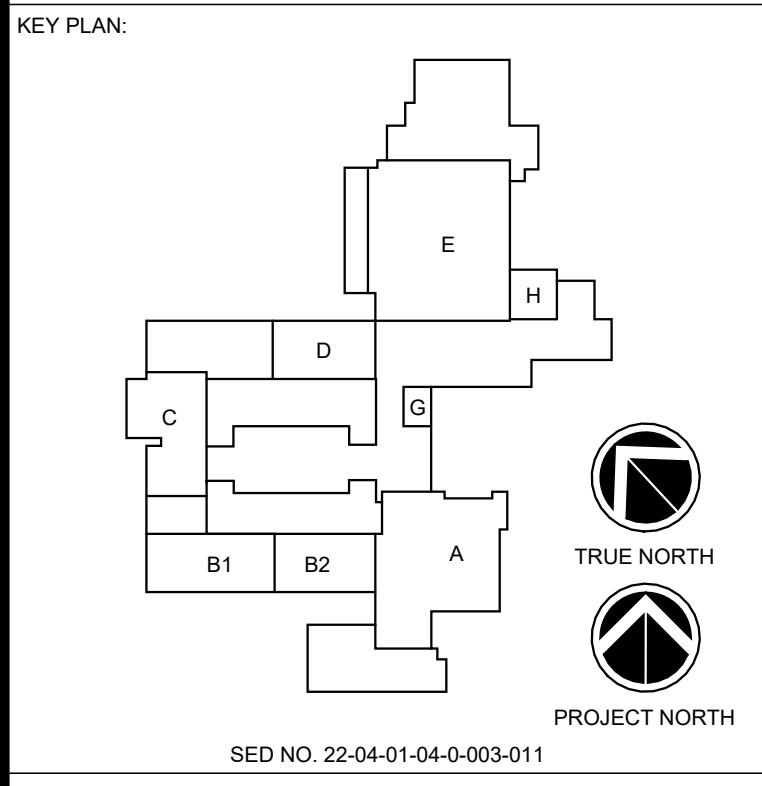
7 DISTRICT OFFICE - FACADE REPAIR
SCALE: 1/8" = 1'-0"



6 DISTRICT OFFICE - FACADE REPAIR
SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION KEY PLAN
SCALE: 1" = 40'-0"



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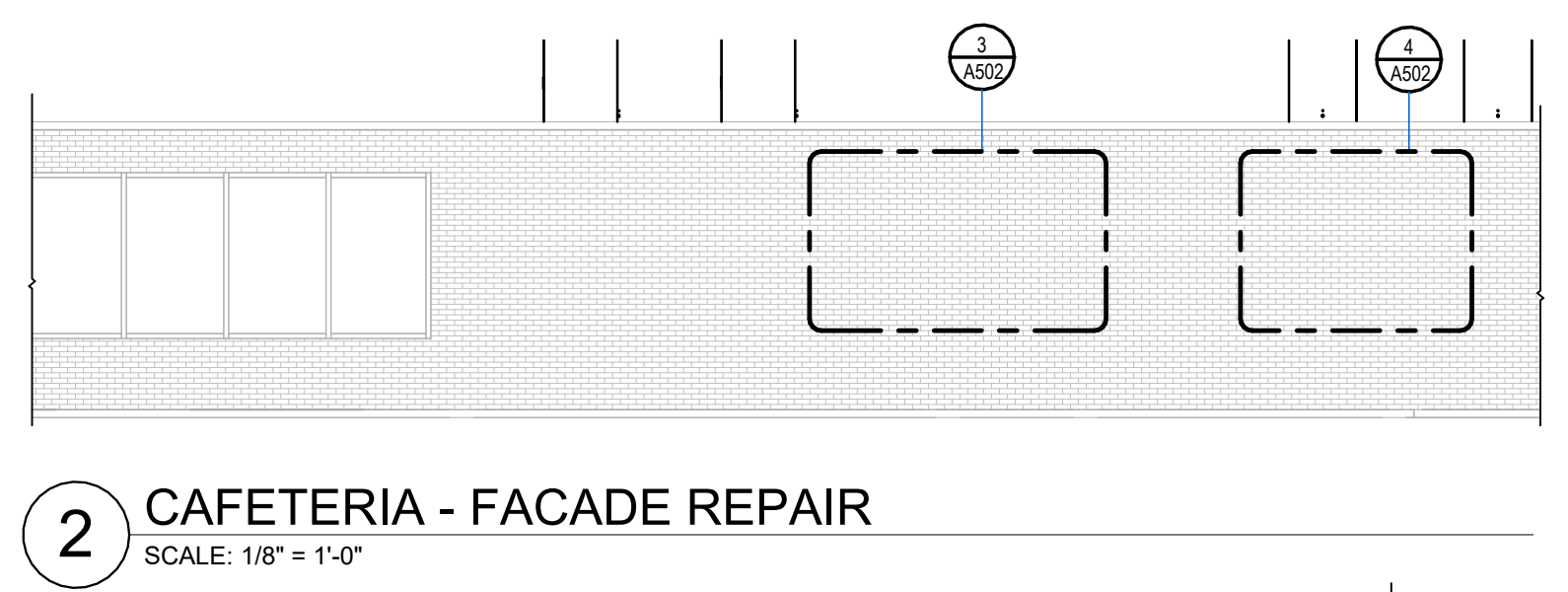
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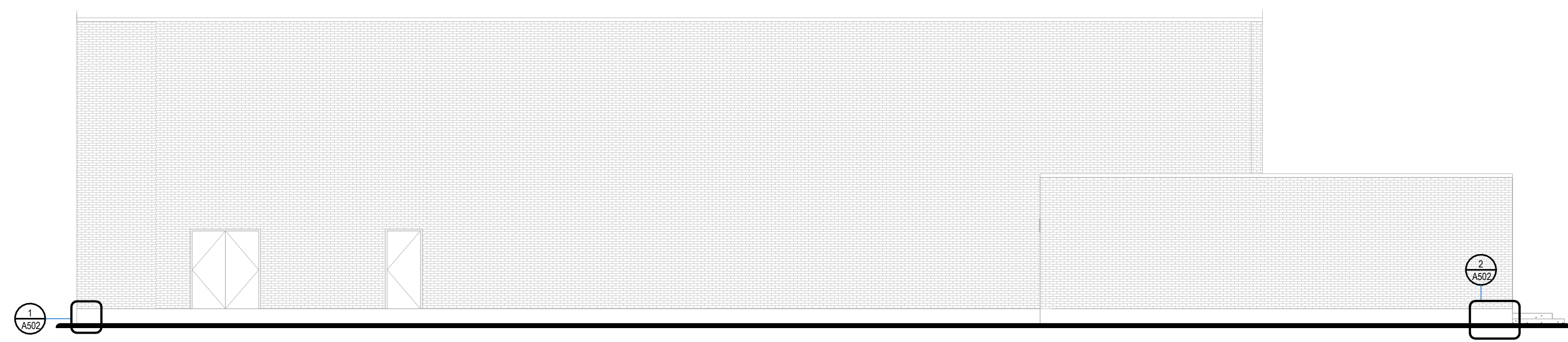
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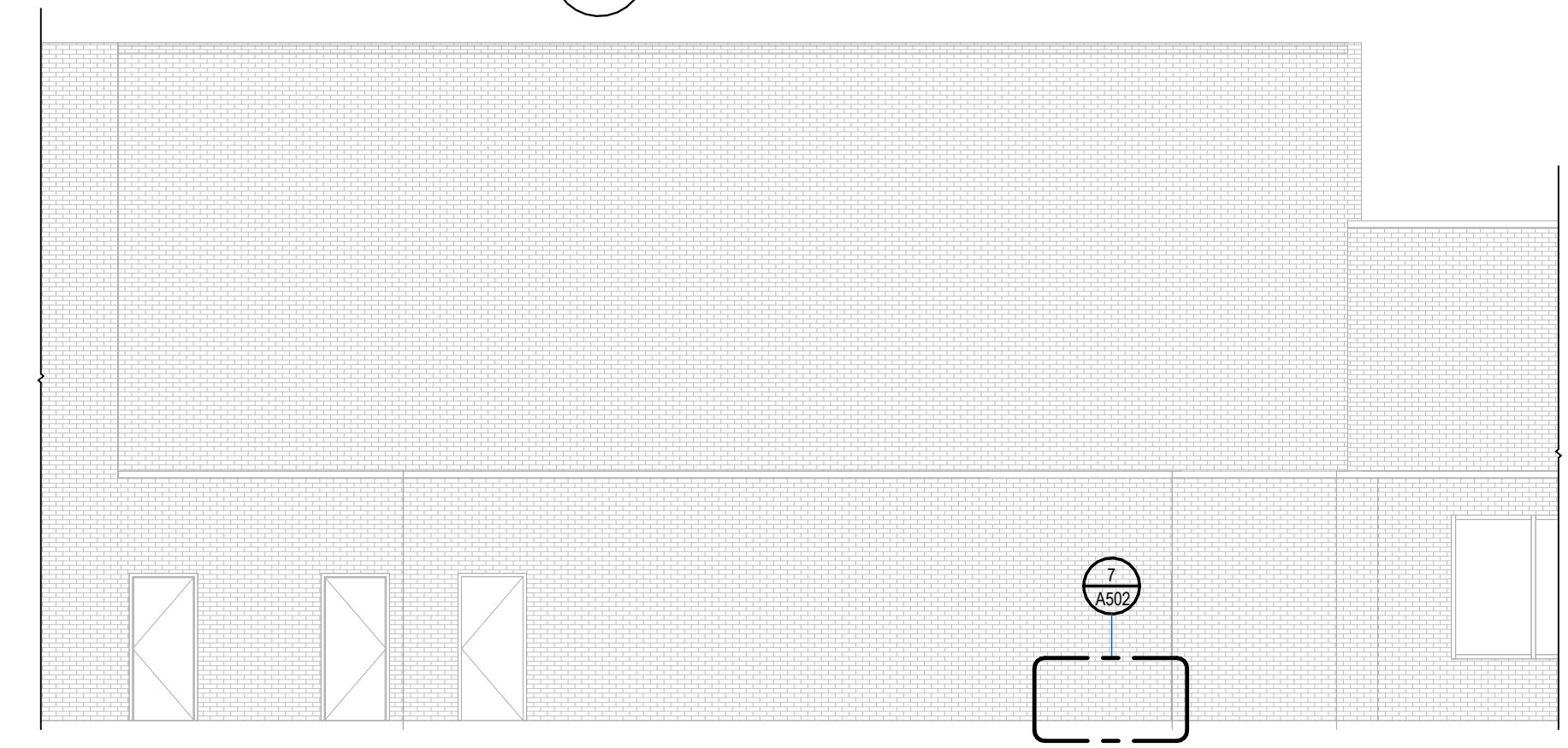
DRAWN BY MHK/JALS	PROJECT NUMBER 2023-105
CHECKED BY MLC	DATE 12/16/2024
EXTERIOR ELEVATION KEY PLAN AND ELEVATIONS	
BUILDING NUMBER HS	SHEET NUMBER A500 BID



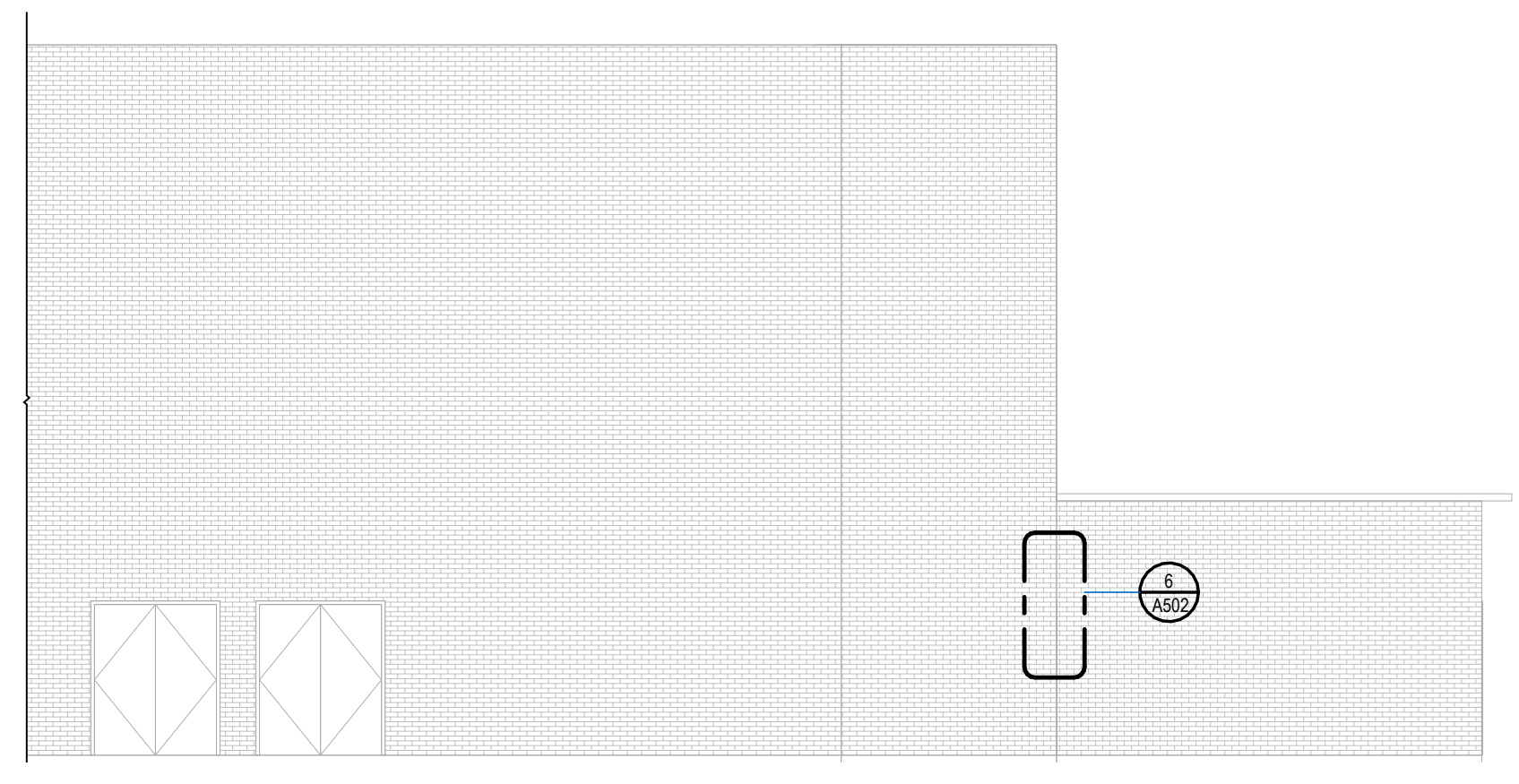
2 CAFETERIA - FACADE REPAIR
SCALE: 1/8" = 1'-0"



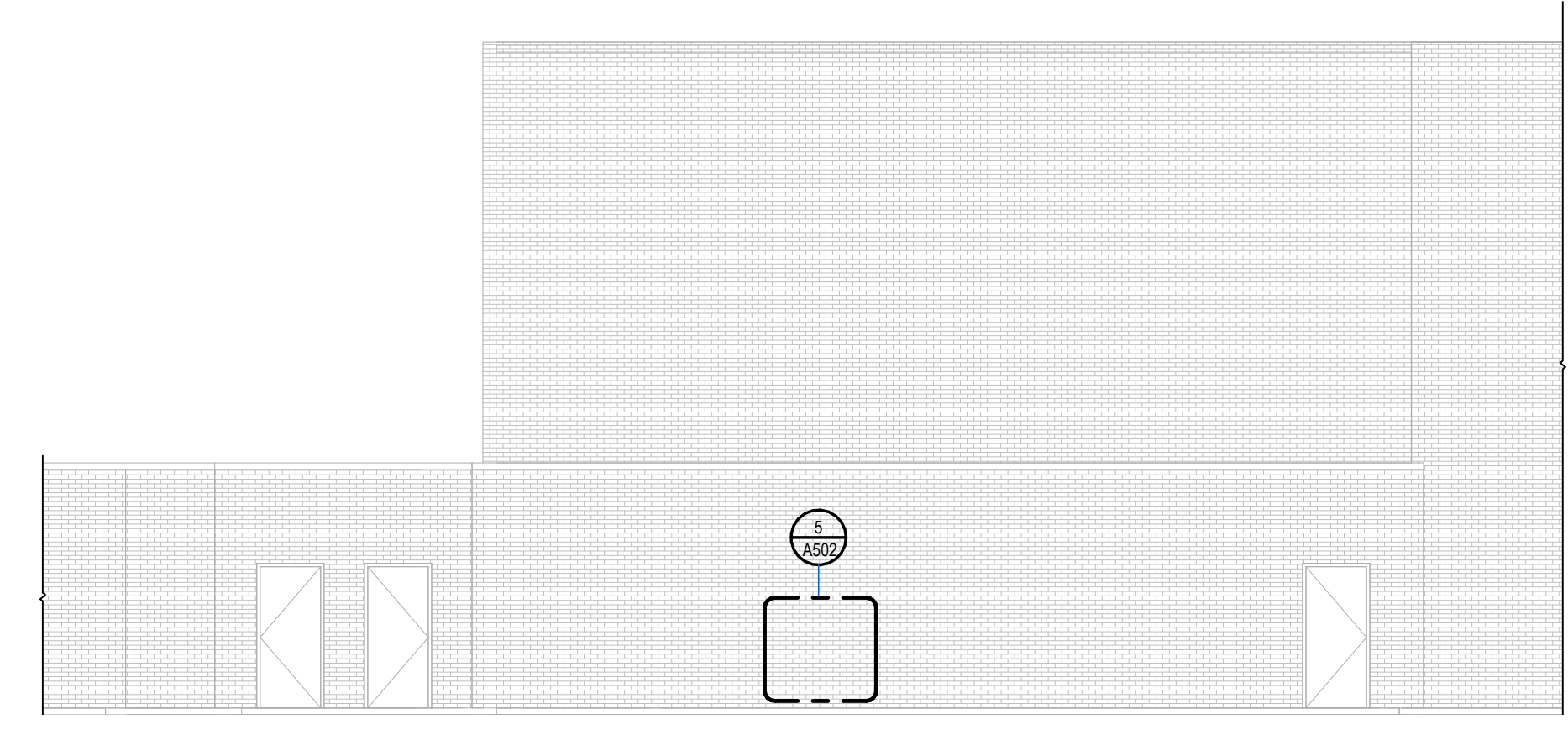
1 AUDITORIUM - FACADE / FOUNDATION REPAIR
SCALE: 1/8" = 1'-0"



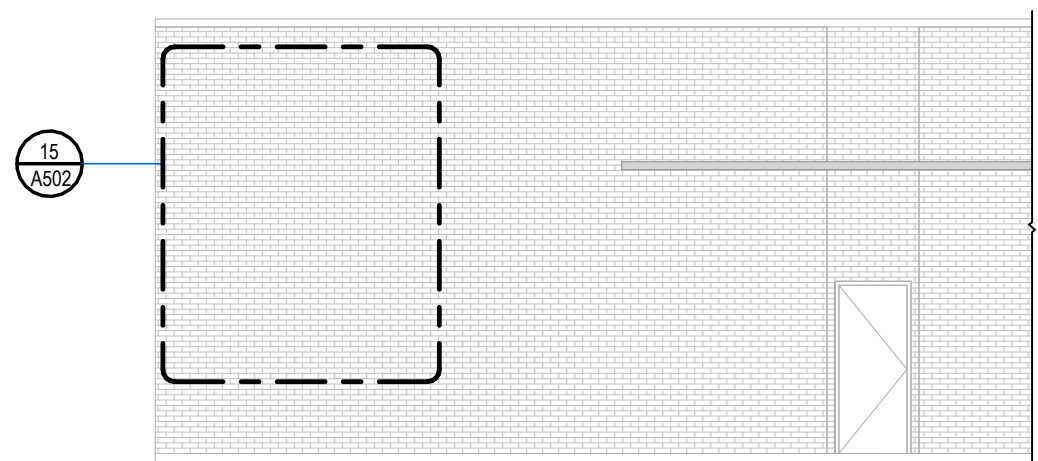
5 GIRLS LOCKER ROOM - FACADE REPAIR
SCALE: 1/8" = 1'-0"



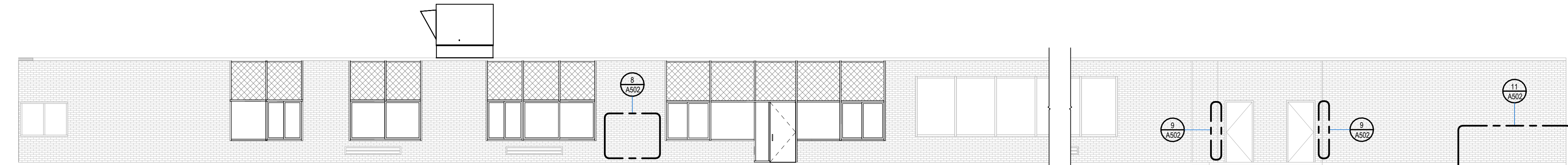
4 GYMNASIUM - FACADE REPAIR
SCALE: 1/8" = 1'-0"



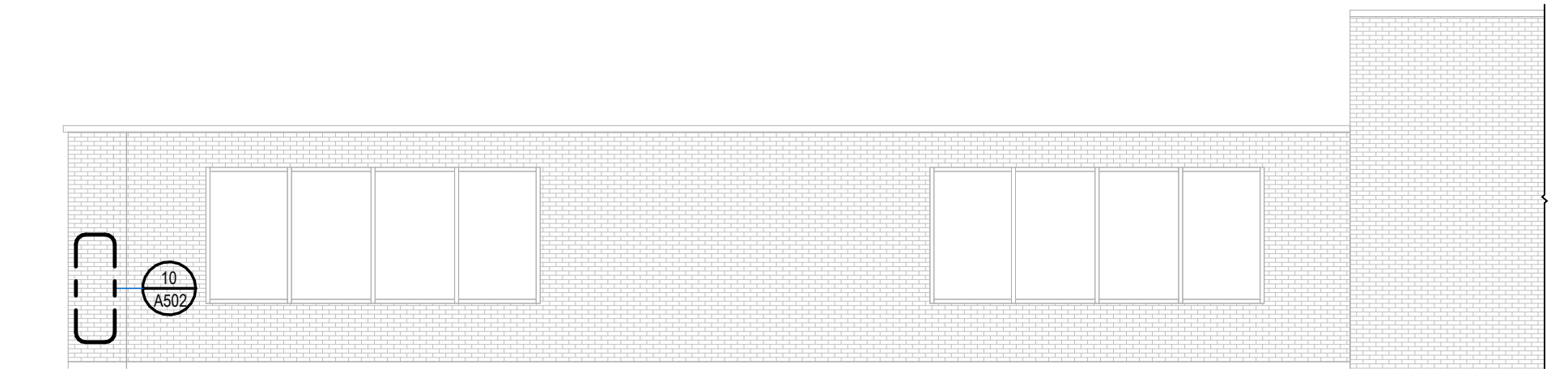
3 BOYS LOCKER ROOM - FACADE REPAIR
SCALE: 1/8" = 1'-0"



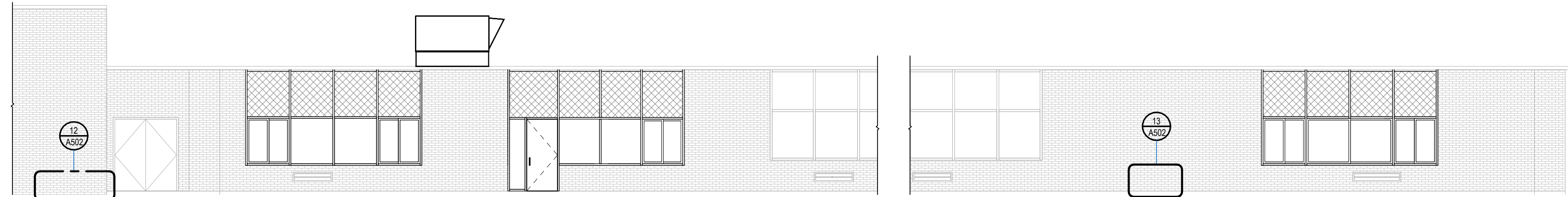
7 ALYSON ROOM - FACADE REPAIR
SCALE: 1/8" = 1'-0"



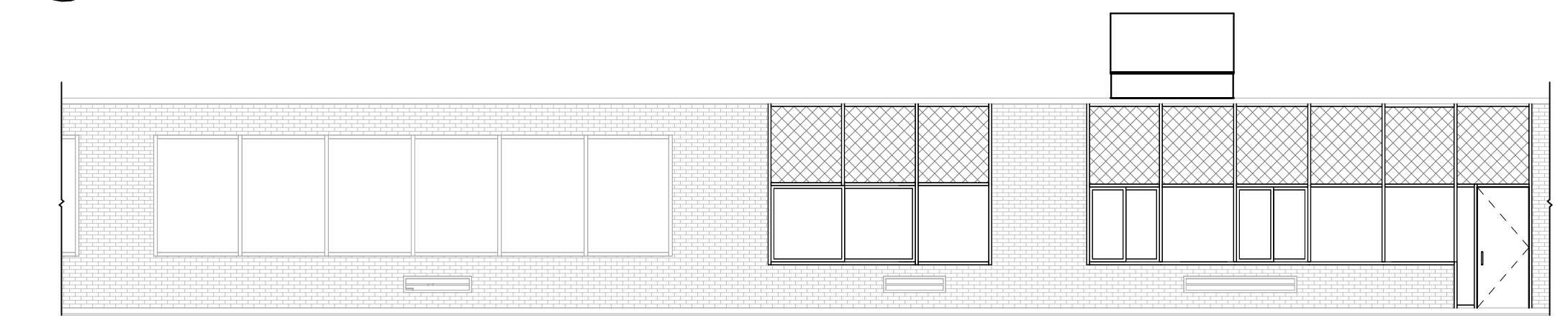
6 FAMILY & CONSUMER SCIENCE - WINDOW REPLACEMENT / FACADE REPAIR
SCALE: 1/8" = 1'-0"



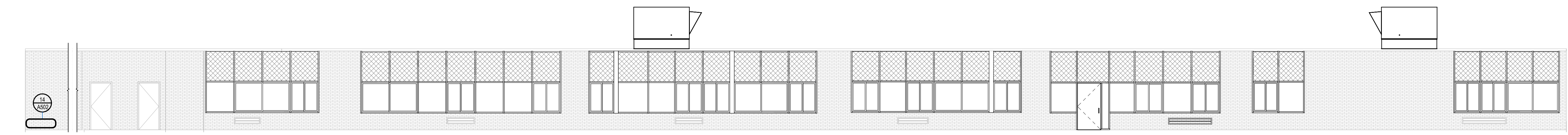
8 ALYSON ROOM - WINDOW REPLACEMENT / FACADE REPAIR
SCALE: 1/8" = 1'-0"



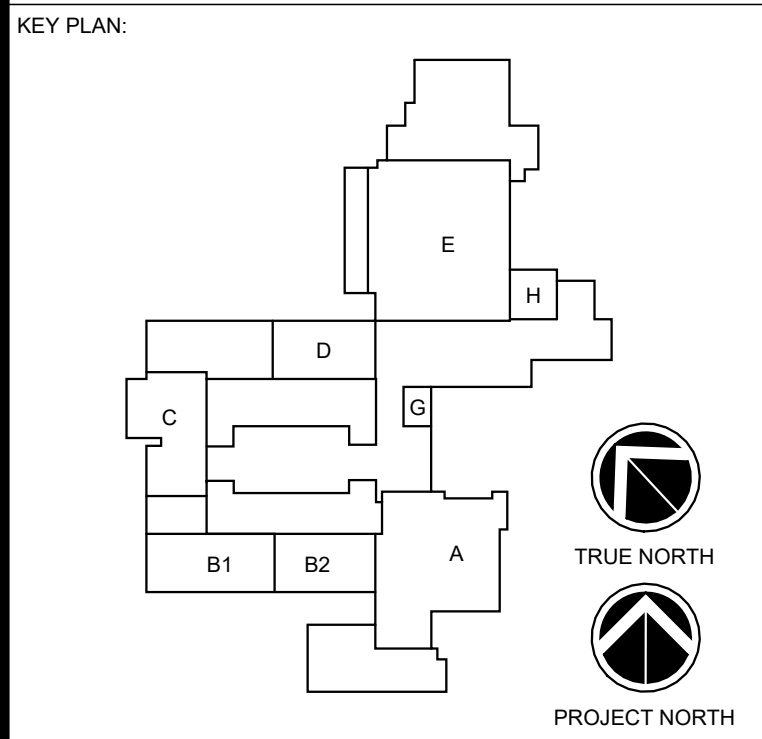
9 SCIENCE WING - WINDOW REPLACEMENT
SCALE: 1/8" = 1'-0"



10 MIDDLE SCHOOL SCIENCE - WINDOW REPLACEMENT (ALTERNATE)
SCALE: 1/8" = 1'-0"



11 SCIENCE WING - WINDOW REPLACEMENT / FACADE REPAIR
SCALE: 1/8" = 1'-0"



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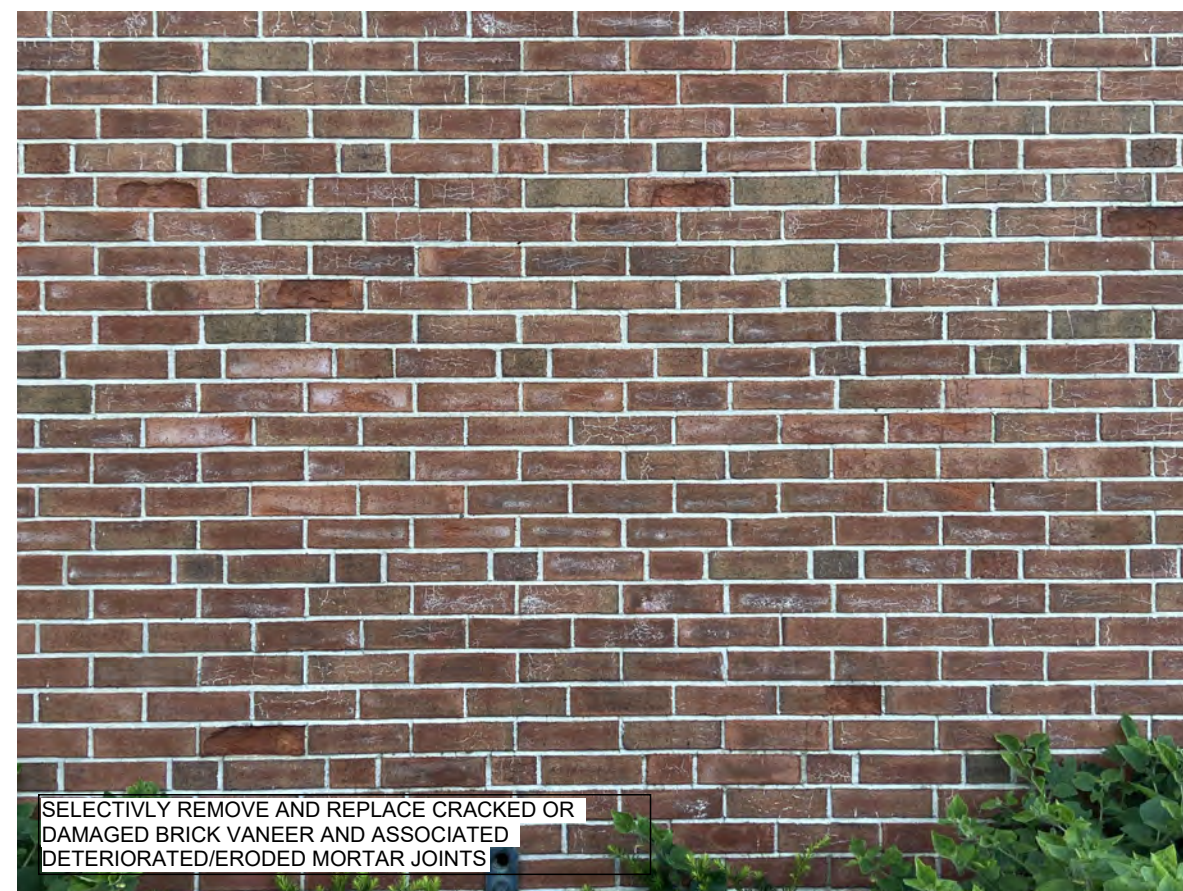
GENERAL BROWN CSD
JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
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REV	DATE	DESCRIPTION

DRAWN BY: MHK/ALS PROJECT NUMBER: 2023-105
CHECKED BY: MLC DATE: 12/16/2024
EXTERIOR ELEVATIONS

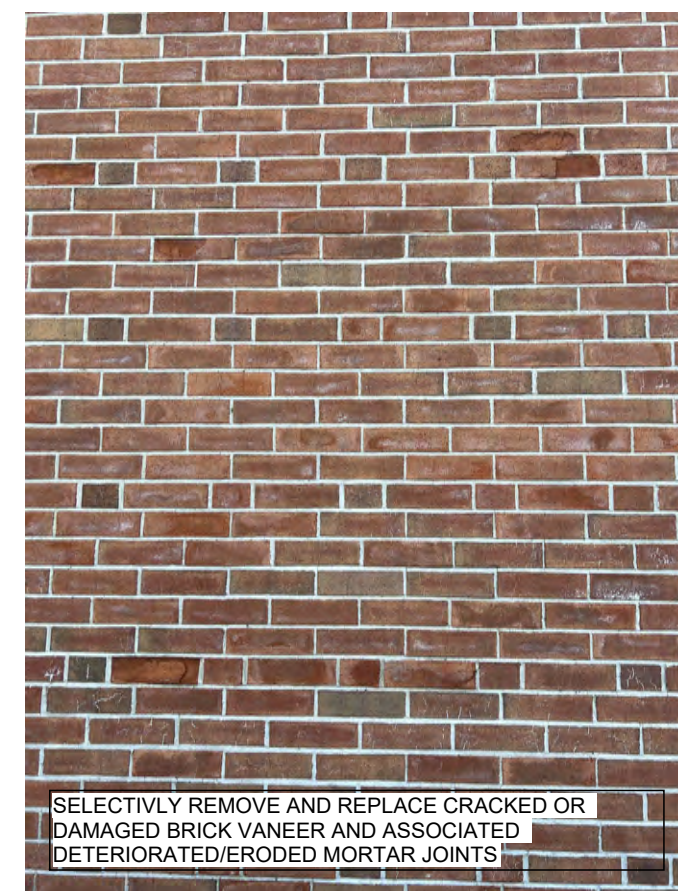
BUILDING NUMBER: HS SHEET NUMBER: A501
BID

12/17/2024 5:12:30 PM



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS

4 FACADE REPAIR
SCALE: NTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS

3 FACADE REPAIR
SCALE: NTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



REPAIR FOUNDATION CRACKS

2 FOUNDATION REPAIR
SCALE: NTS



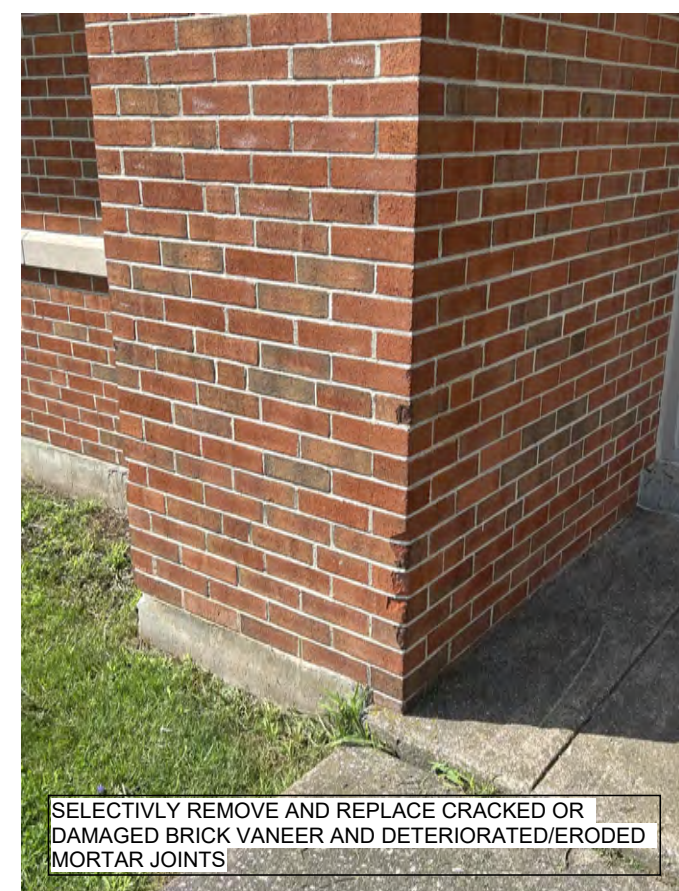
NOTE: REPAIR FOUNDATION CRACKS

1 FOUNDATION REPAIR
SCALE: NTS



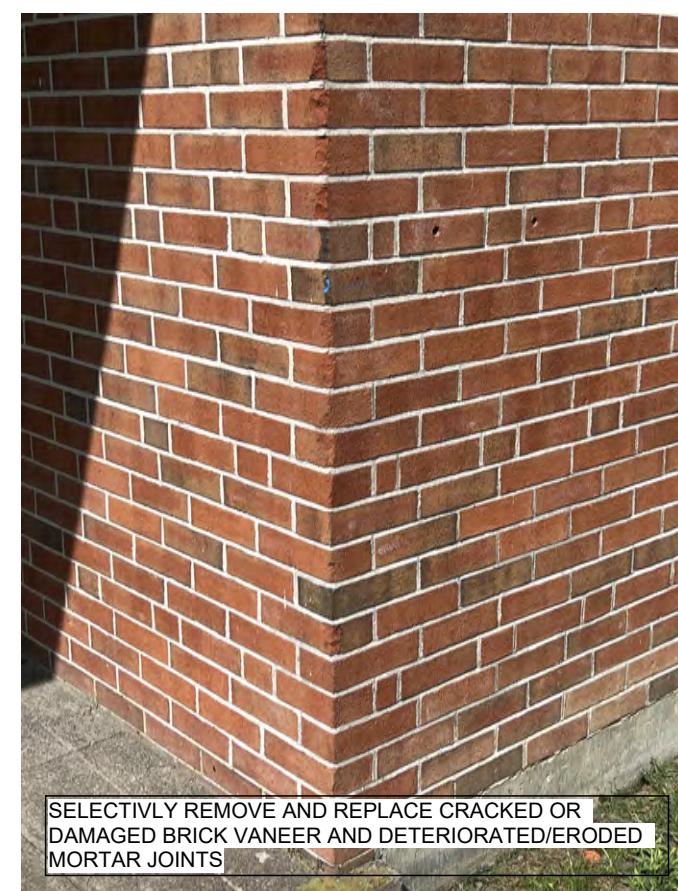
REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND DETERIORATED/ERODED MORTAR JOINTS

10 FACADE REPAIR
SCALE: 3/32" = 1'-0"



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND DETERIORATED/ERODED MORTAR JOINTS

9 FACADE REPAIR
SCALE: 3/32" = 1'-0"

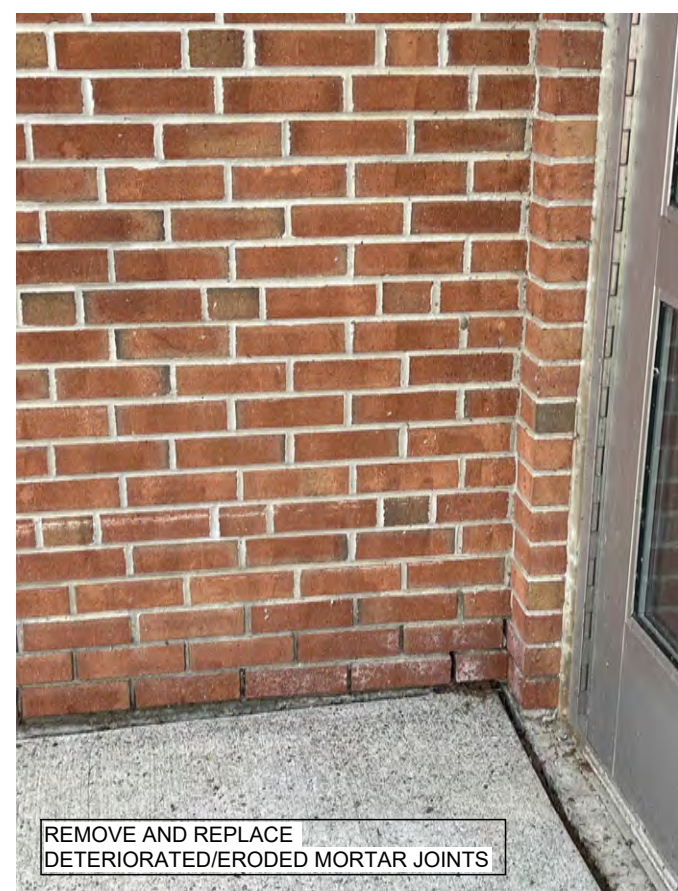


SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND DETERIORATED/ERODED MORTAR JOINTS



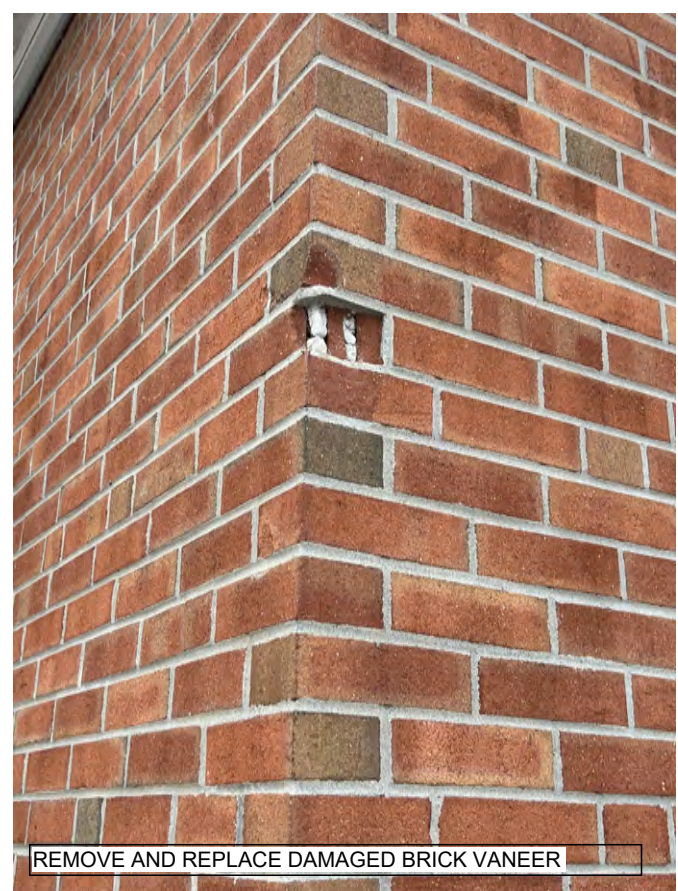
REMOVE AND REPLACE DAMAGED BRICK VANEER

8 FACADE REPAIR
SCALE: 3/32" = 1'-0"



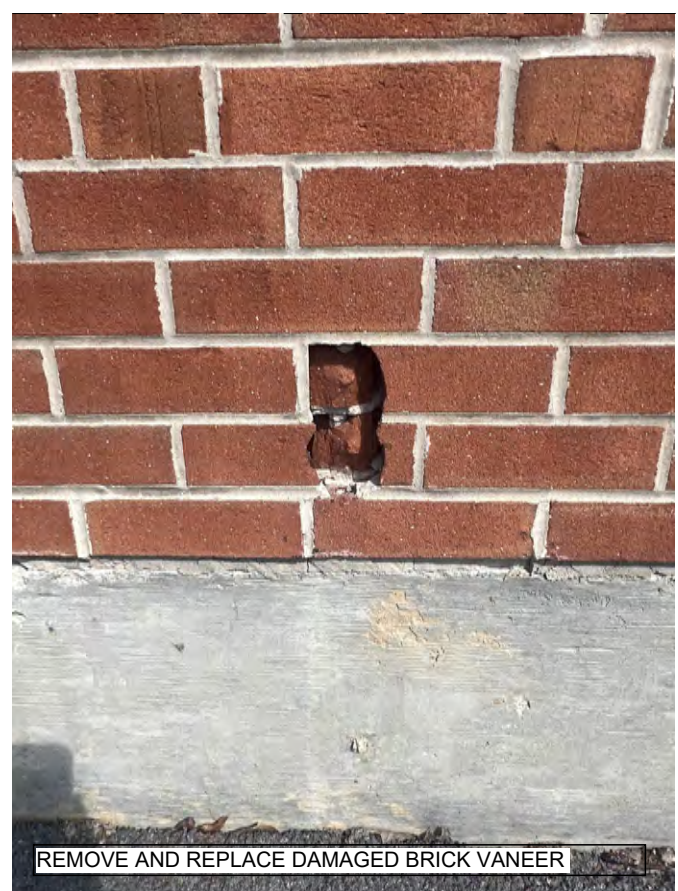
REMOVE AND REPLACE DETERIORATED/ERODED MORTAR JOINTS

7 FACADE REPAIR
SCALE: 3/32" = 1'-0"



REMOVE AND REPLACE DAMAGED BRICK VANEER

6 FACADE REPAIR
SCALE: 3/32" = 1'-0"



REMOVE AND REPLACE DAMAGED BRICK VANEER

5 FACADE REPAIR
SCALE: 3/32" = 1'-0"



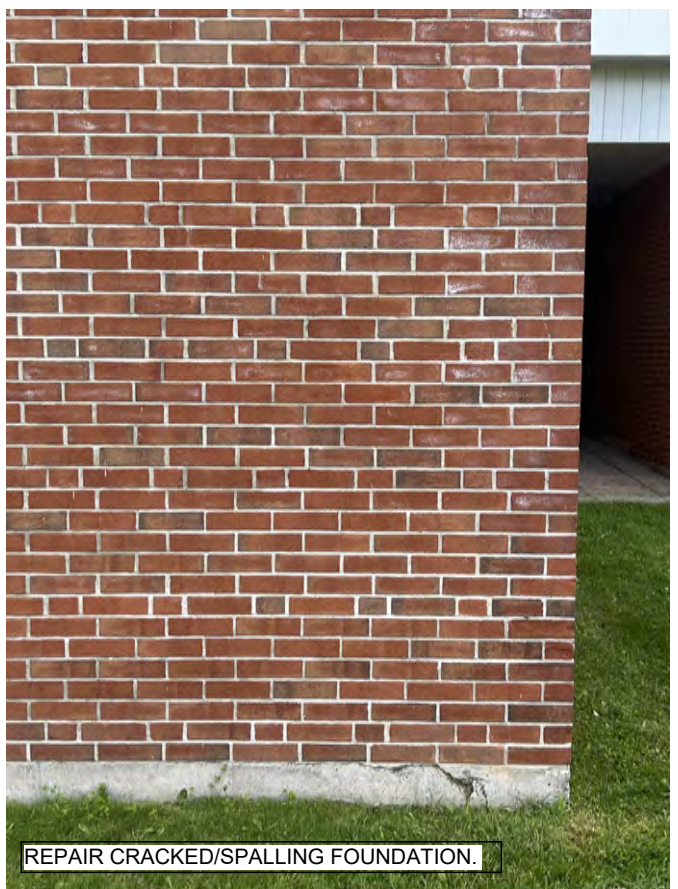
REPAIR CRACKED/SPALLING FOUNDATION

14 FOUNDATION REPAIR
SCALE: 3/32" = 1'-0"



REMOVE AND REPLACE DAMAGED BRICK VANEER; REPAIR CRACKING/SPALLING FOUNDATION

13 BRICK FACADE REPAIR
SCALE: 3/32" = 1'-0"



REPAIR CRACKED/SPALLING FOUNDATION

12 FOUNDATION REPAIR
SCALE: 3/32" = 1'-0"



REMOVE AND REPLACE DAMAGED BRICK VANEER; REPAIR SPALLING FOUNDATION

11 FOUNDATION AND FACADE REPAIR
SCALE: 3/32" = 1'-0"



REMOVE AND REPLACE DAMAGED BRICK VANEER; REPAIR CRACKED/SPALLING FOUNDATION



REMOVE AND REPLACE DETERIORATED/ERODED MORTAR JOINTS

17 BRICK FACADE REPAIR
SCALE: 3/32" = 1'-0"

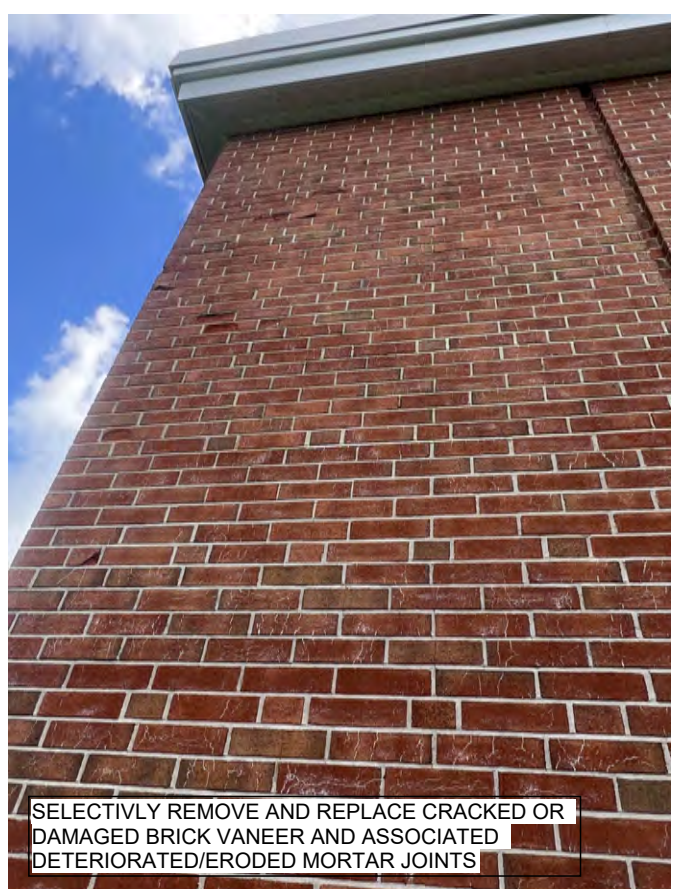


REMOVE AND REPLACE DETERIORATED/ERODED MORTAR JOINTS

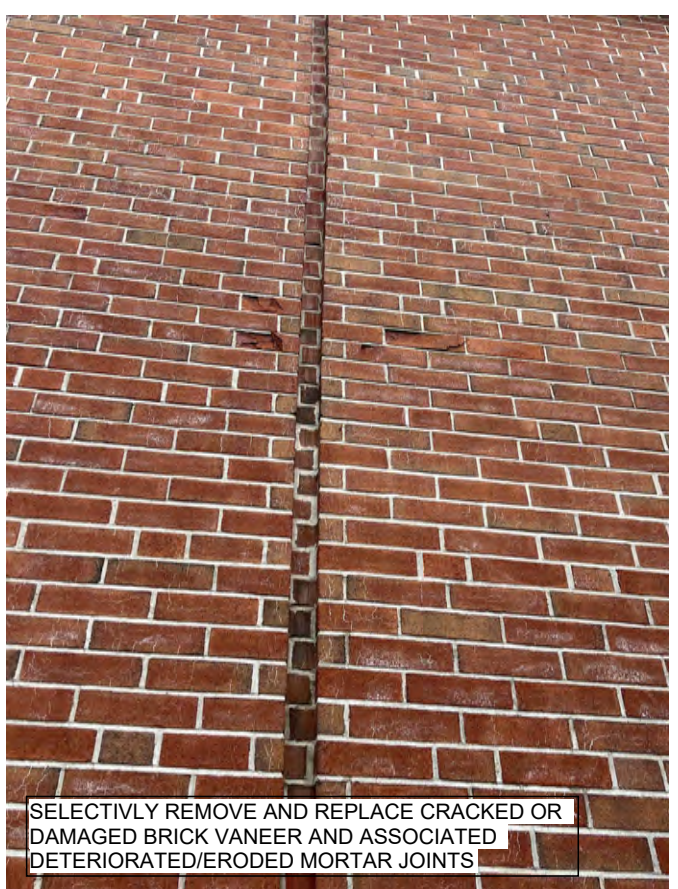


SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS

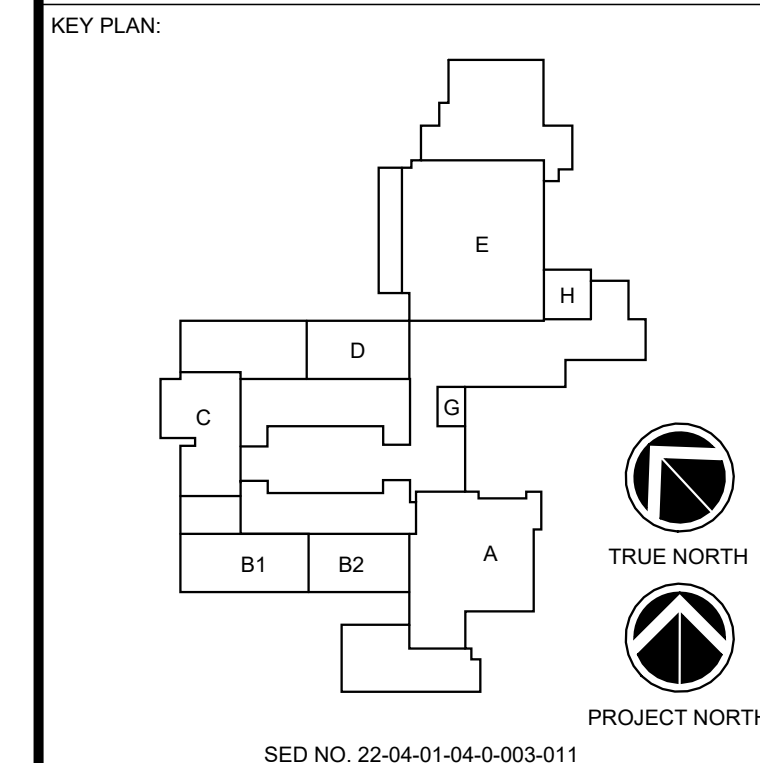
15 BRICK FACADE REPAIR
SCALE: 3/32" = 1'-0"



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



SELECTIVELY REMOVE AND REPLACE CRACKED OR DAMAGED BRICK VANEER AND ASSOCIATED DETERIORATED/ERODED MORTAR JOINTS



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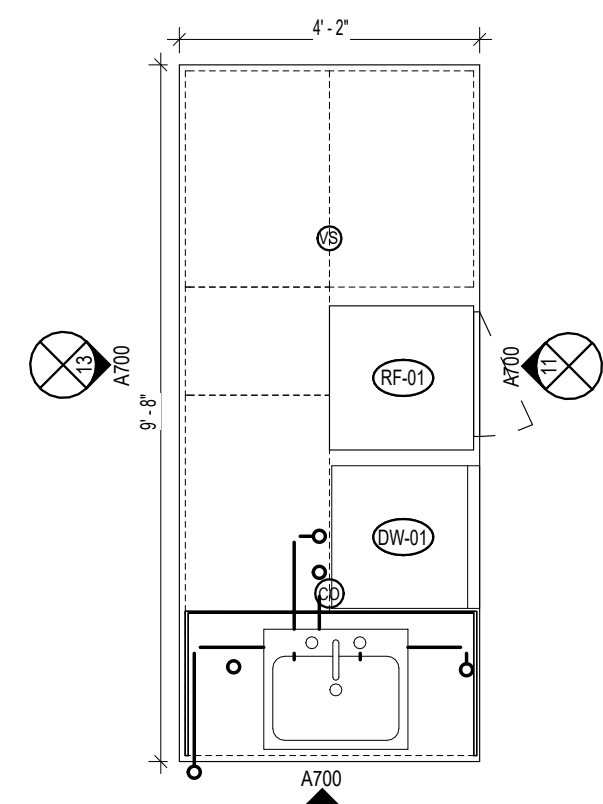
REV	DATE	DESCRIPTION

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PROJECT NUMBER: 2023-105
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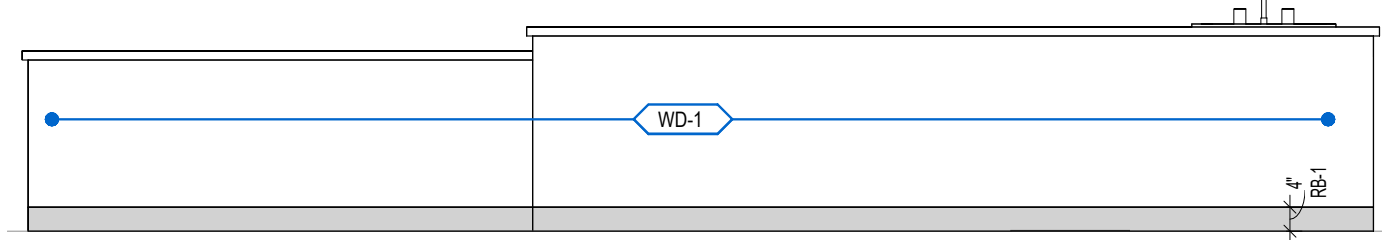
BRICK DAMAGE PHOTOS

BUILDING NUMBER: HS
SHEET NUMBER: A502
BID

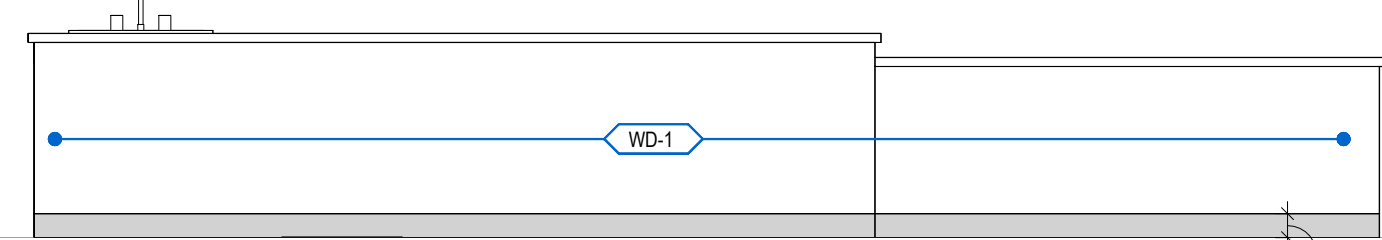
12/17/2024 5:12:41 PM



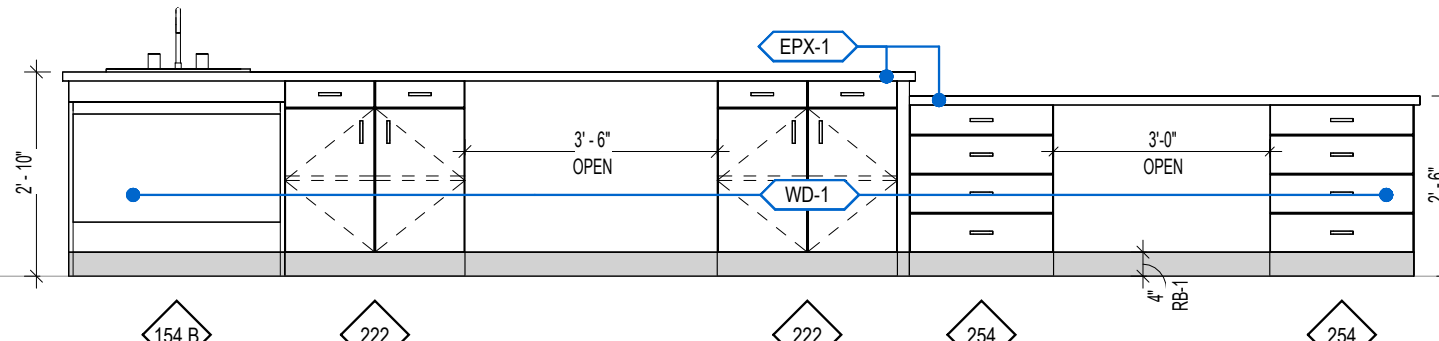
10 PREP ISLAND
SCALE: 3/8" = 1'-0"



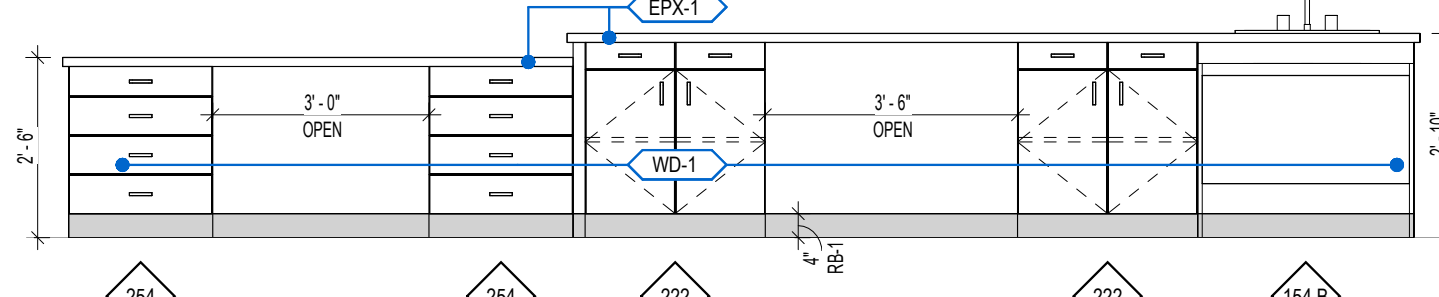
3 INSTRUCTOR TABLE 1 - BACK
SCALE: 3/8" = 1'-0"



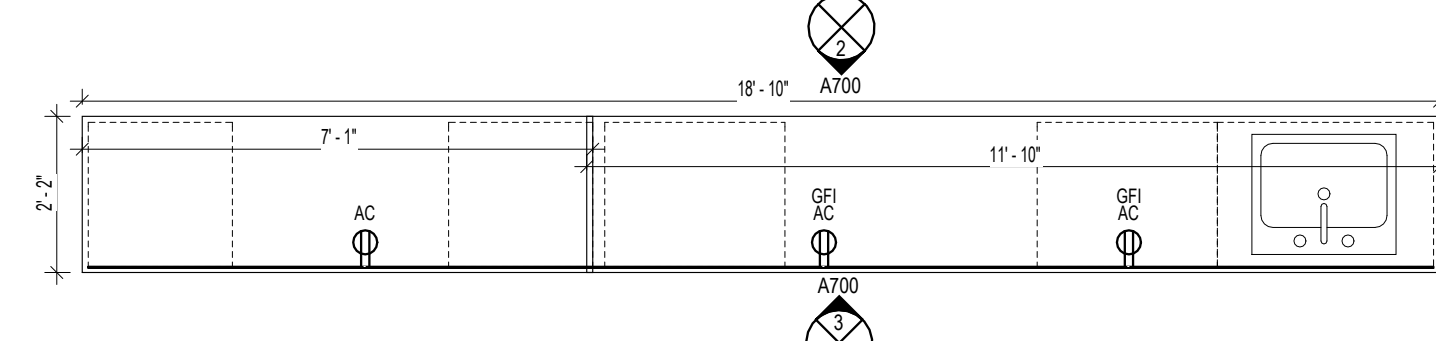
6 INSTRUCTOR TABLE 2 - BACK
SCALE: 3/8" = 1'-0"



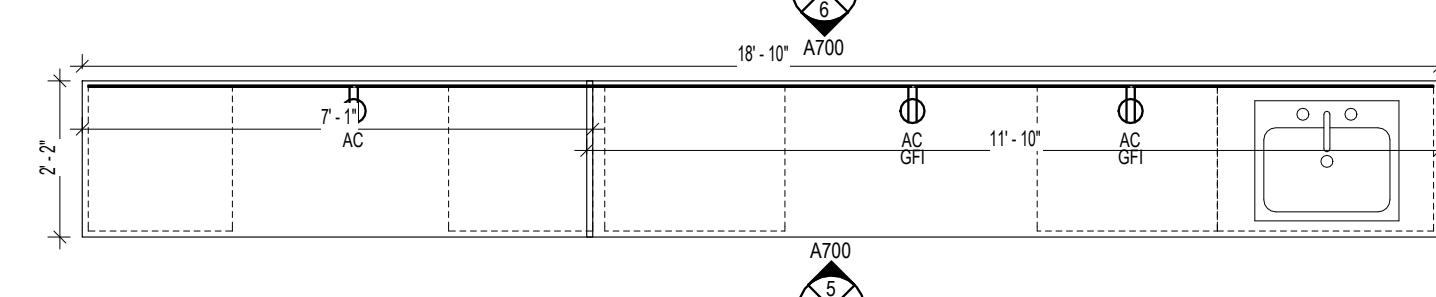
2 INSTRUCTOR TABLE 1 - FRONT
SCALE: 3/8" = 1'-0"



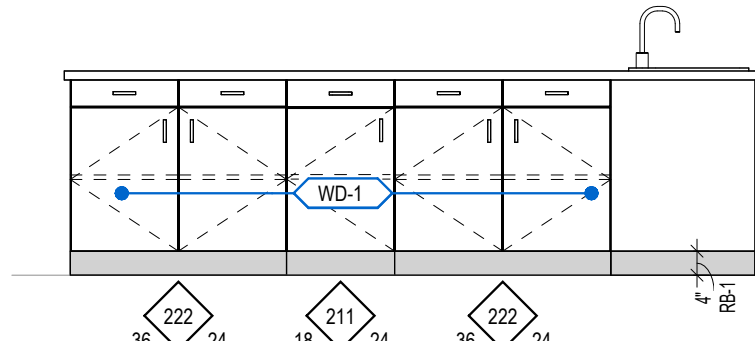
5 INSTRUCTOR TABLE 2 - FRONT
SCALE: 3/8" = 1'-0"



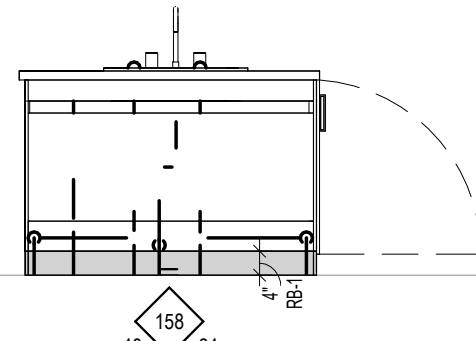
1 INSTRUCTOR TABLE 1
SCALE: 3/8" = 1'-0"



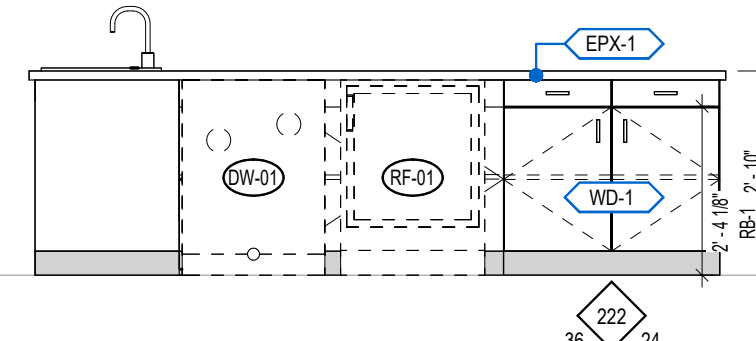
4 INSTRUCTOR TABLE 2
SCALE: 3/8" = 1'-0"



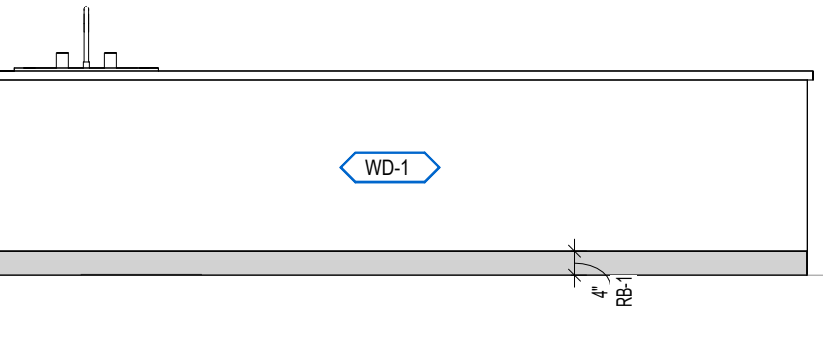
13 PREP ISLAND
SCALE: 3/8" = 1'-0"



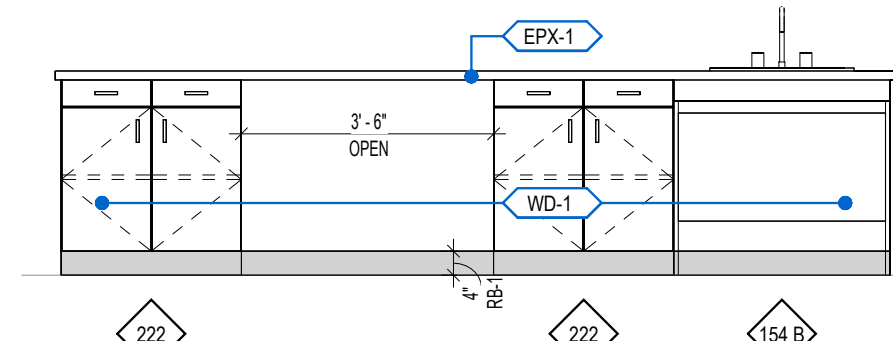
12 PREP ISLAND
SCALE: 3/8" = 1'-0"



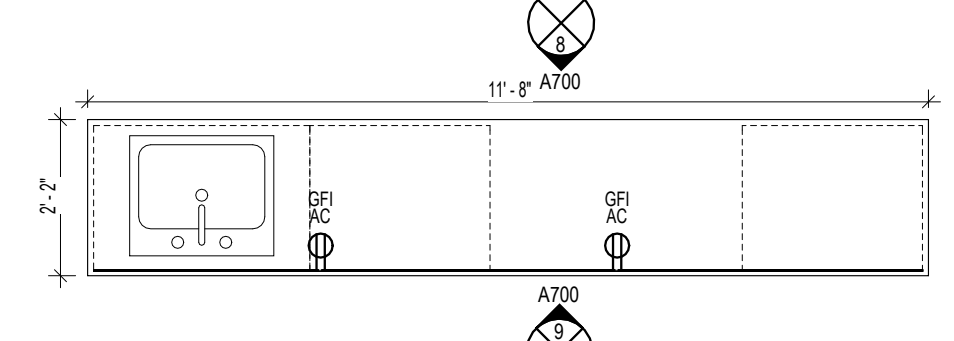
11 PREP ISLAND
SCALE: 3/8" = 1'-0"



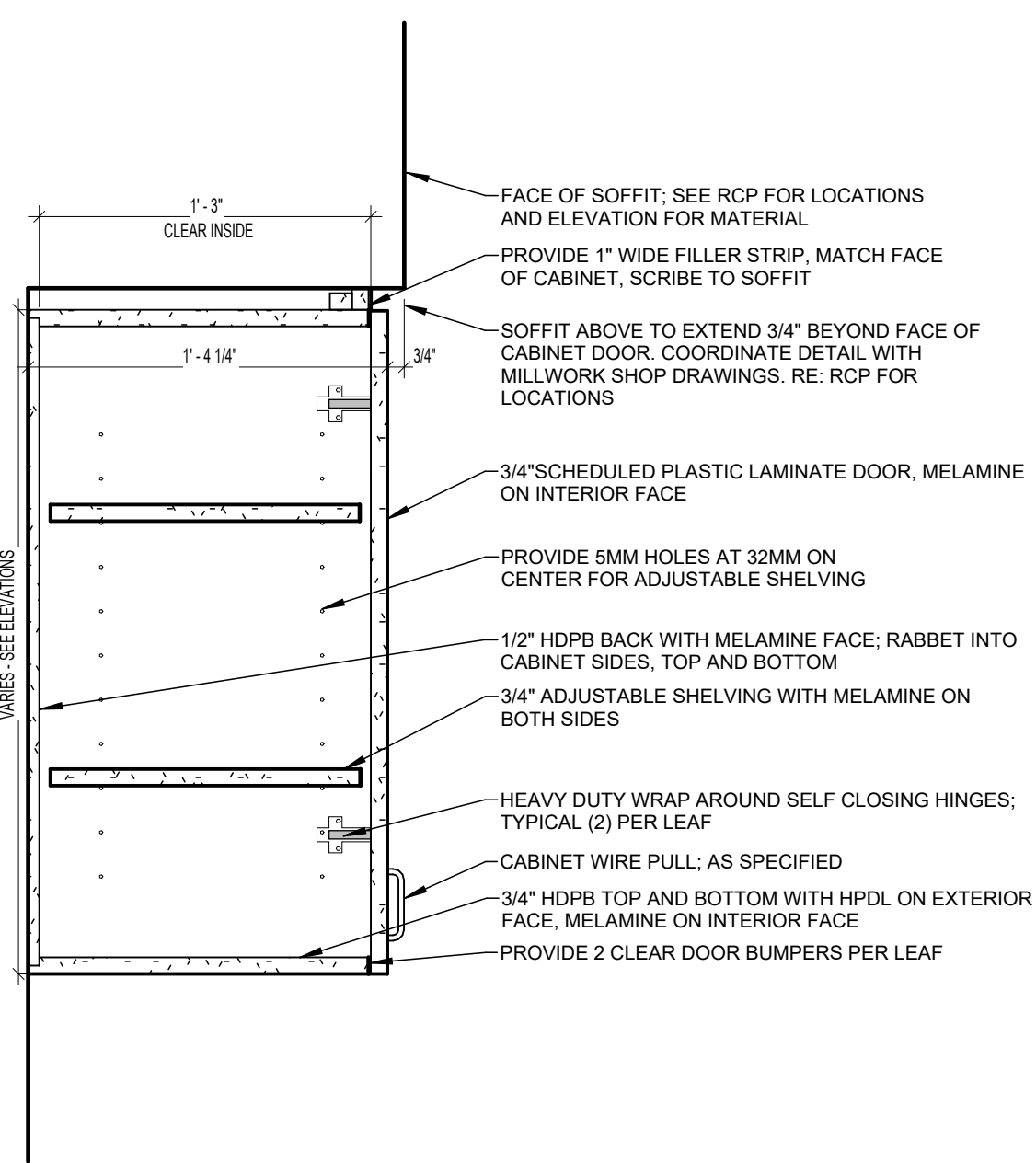
9 INSTRUCTOR TABLE 3 - BACK
SCALE: 3/8" = 1'-0"



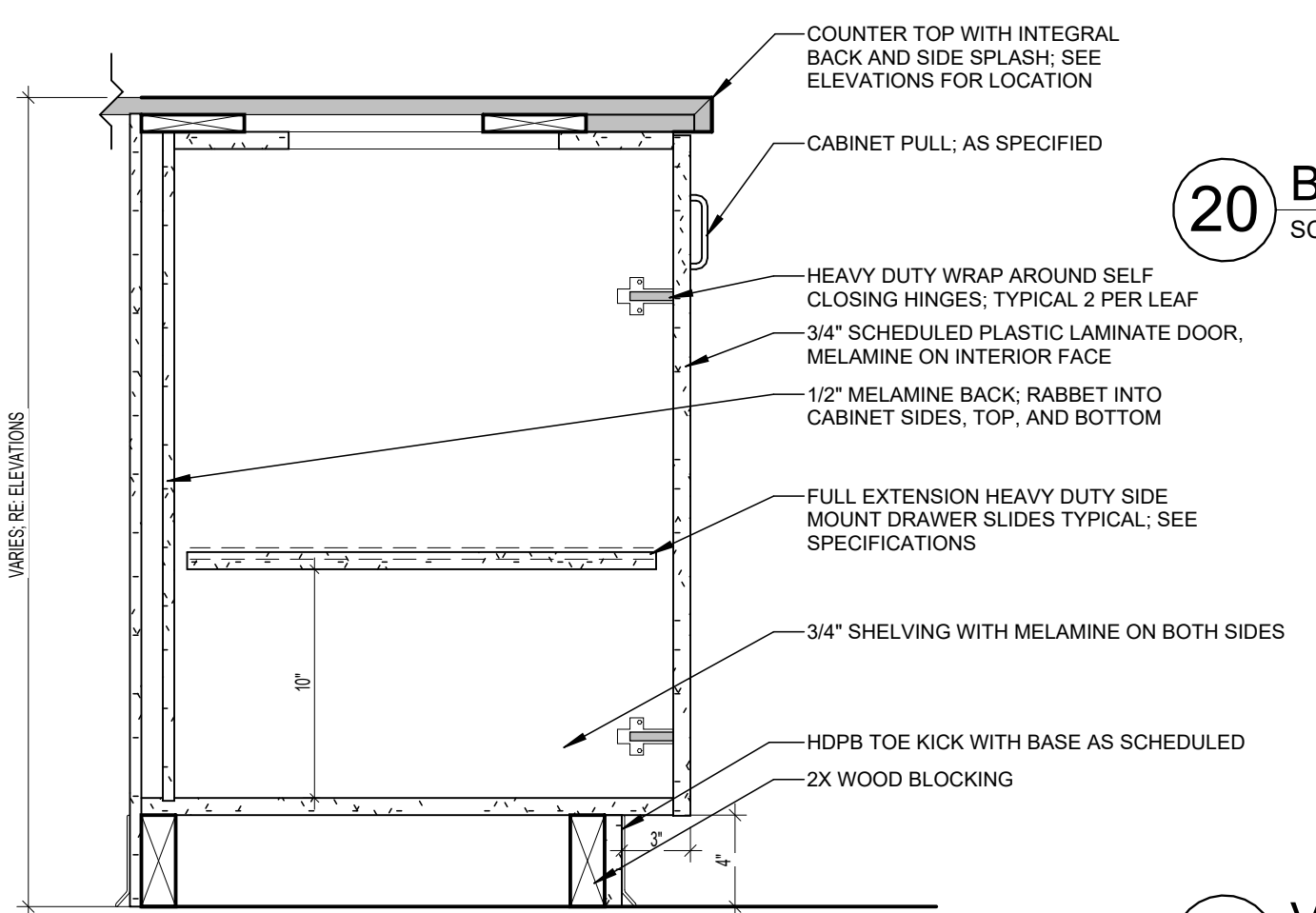
8 INSTRUCTOR TABLE 3 - FRONT
SCALE: 3/8" = 1'-0"



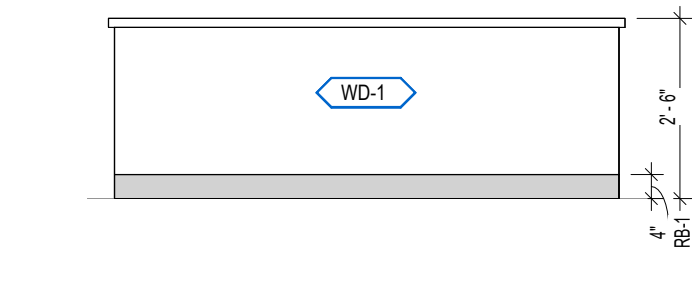
7 INSTRUCTOR TABLE 3
SCALE: 3/8" = 1'-0"



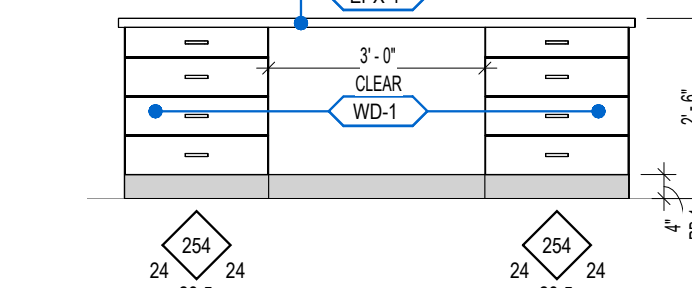
27 CASEWORK SECTION - SEWING
SCALE: 1 1/2" = 1'-0"



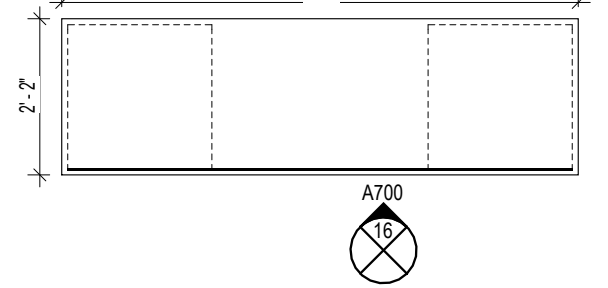
20 BAND ROOM - COLUMN 2
SCALE: 1/4" = 1'-0"



16 TEACHER DESK - BACK
SCALE: 3/8" = 1'-0"

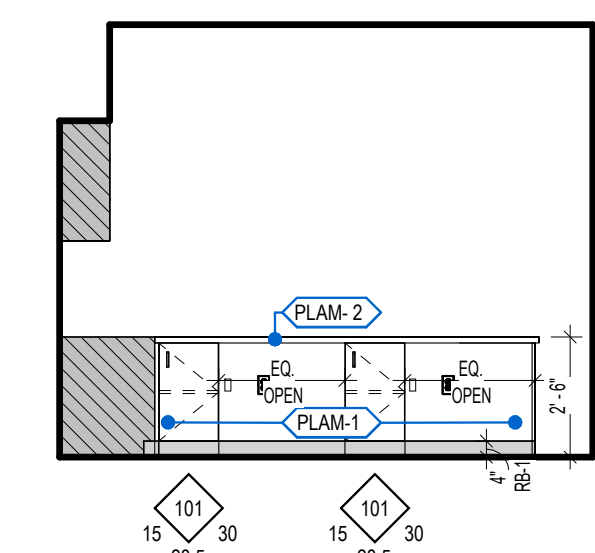


15 TEACHER DESK - FRONT
SCALE: 3/8" = 1'-0"

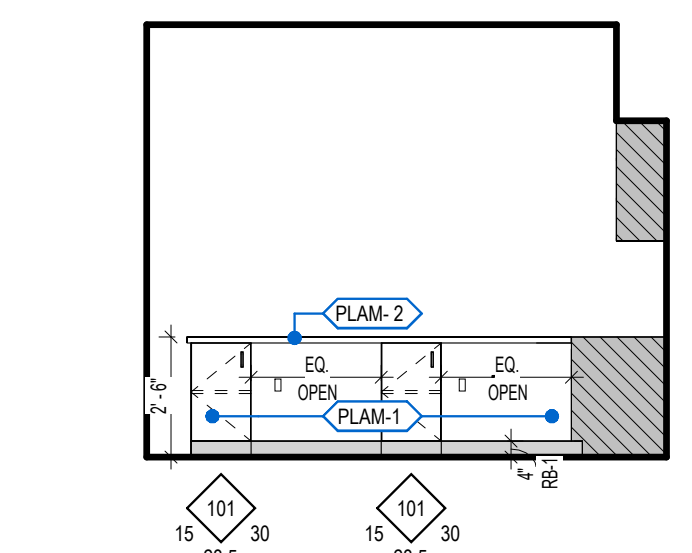


14 TEACHER DESK
SCALE: 3/8" = 1'-0"

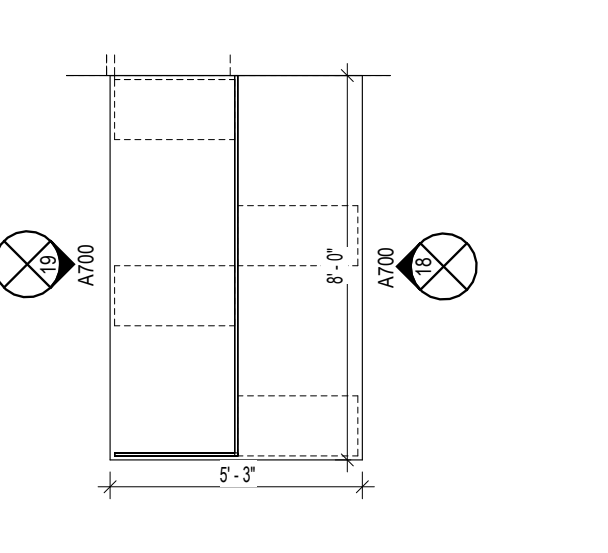
21 VERTICAL WINDOW MULLION
SCALE: 1 1/2" = 1'-0"



19 TYP. STATION - LEFT
SCALE: 1/4" = 1'-0"

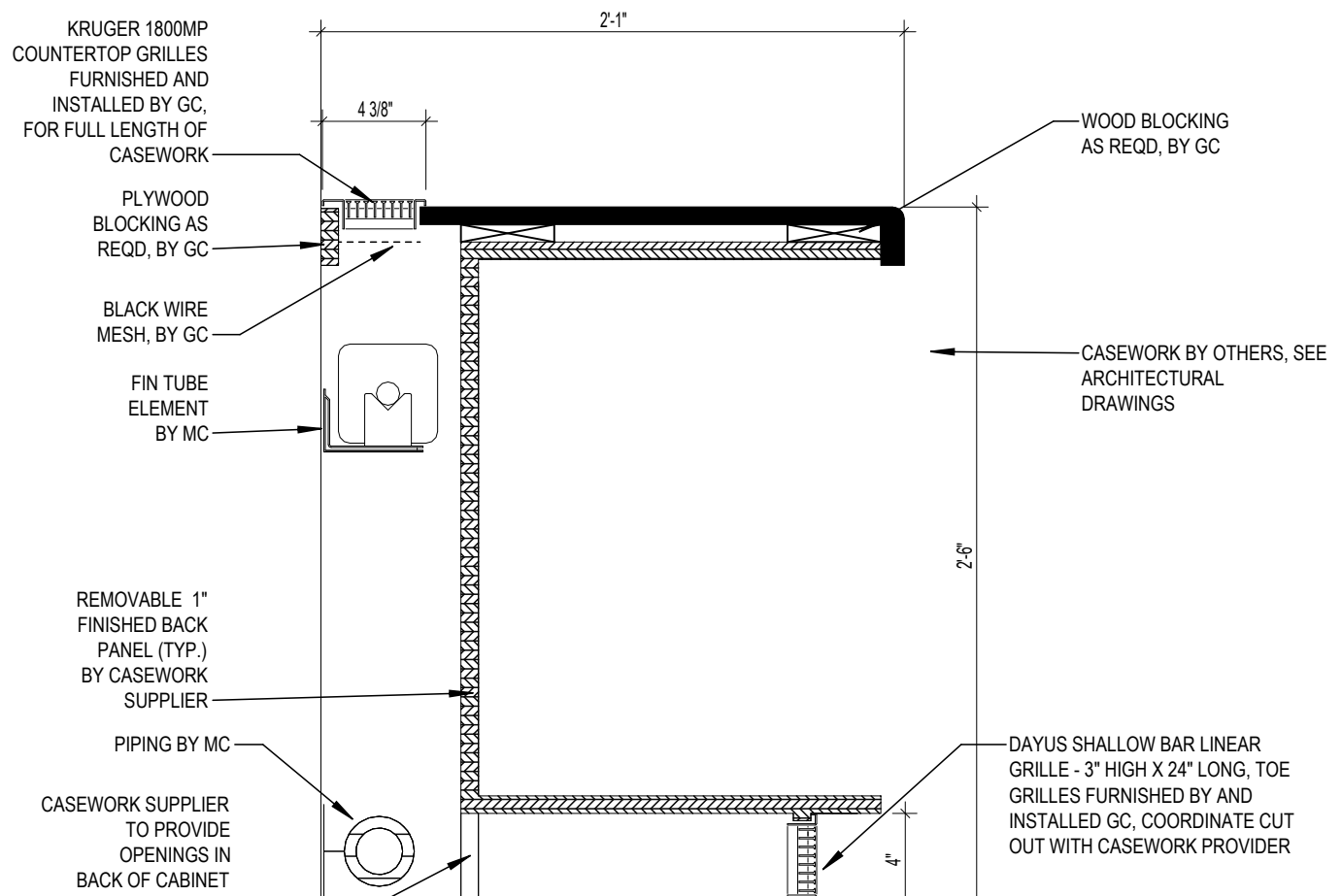


18 TYP. STATION - RIGHT
SCALE: 1/4" = 1'-0"

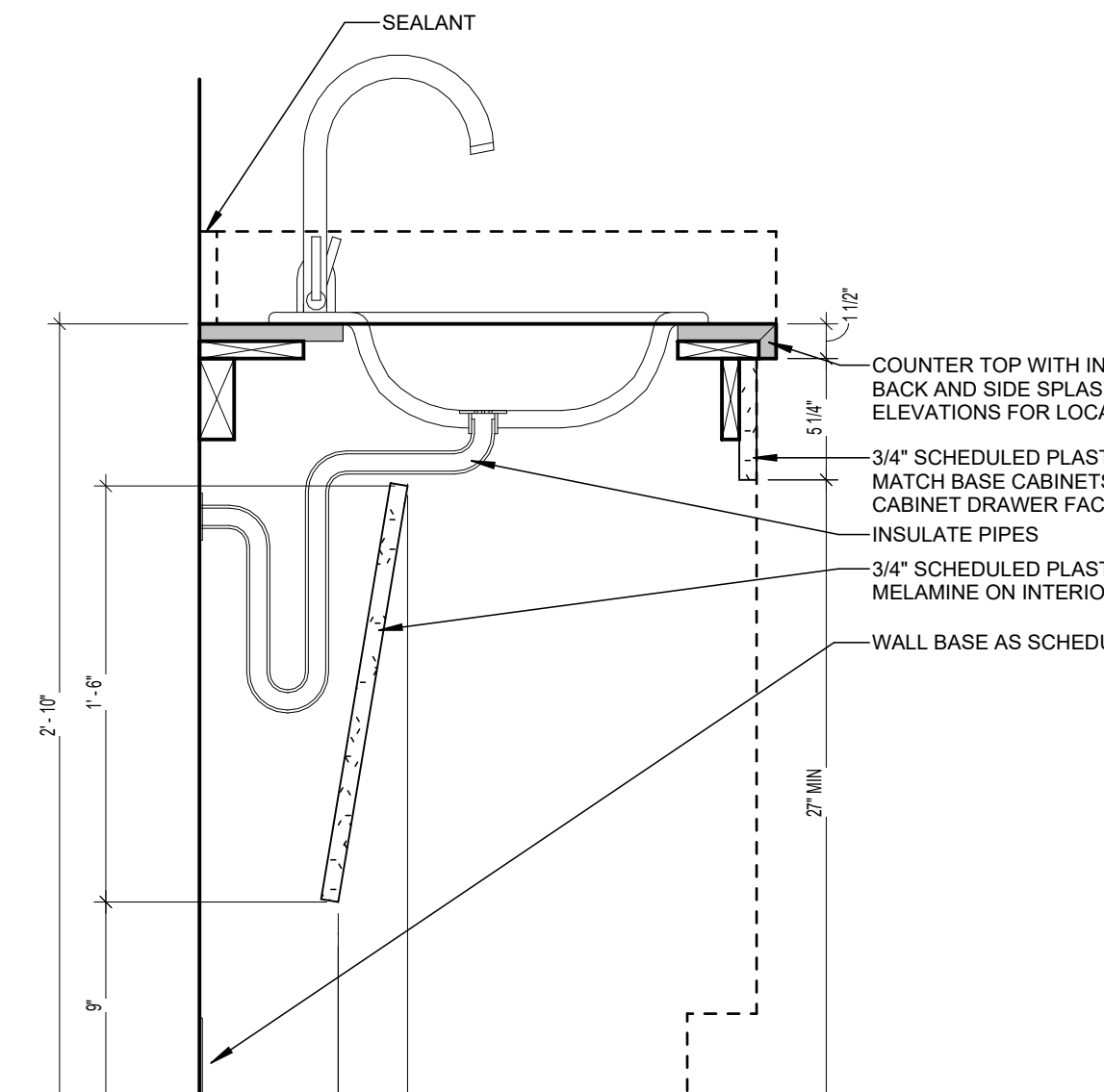


17 TYP. SEWING STATION
SCALE: 1/4" = 1'-0"

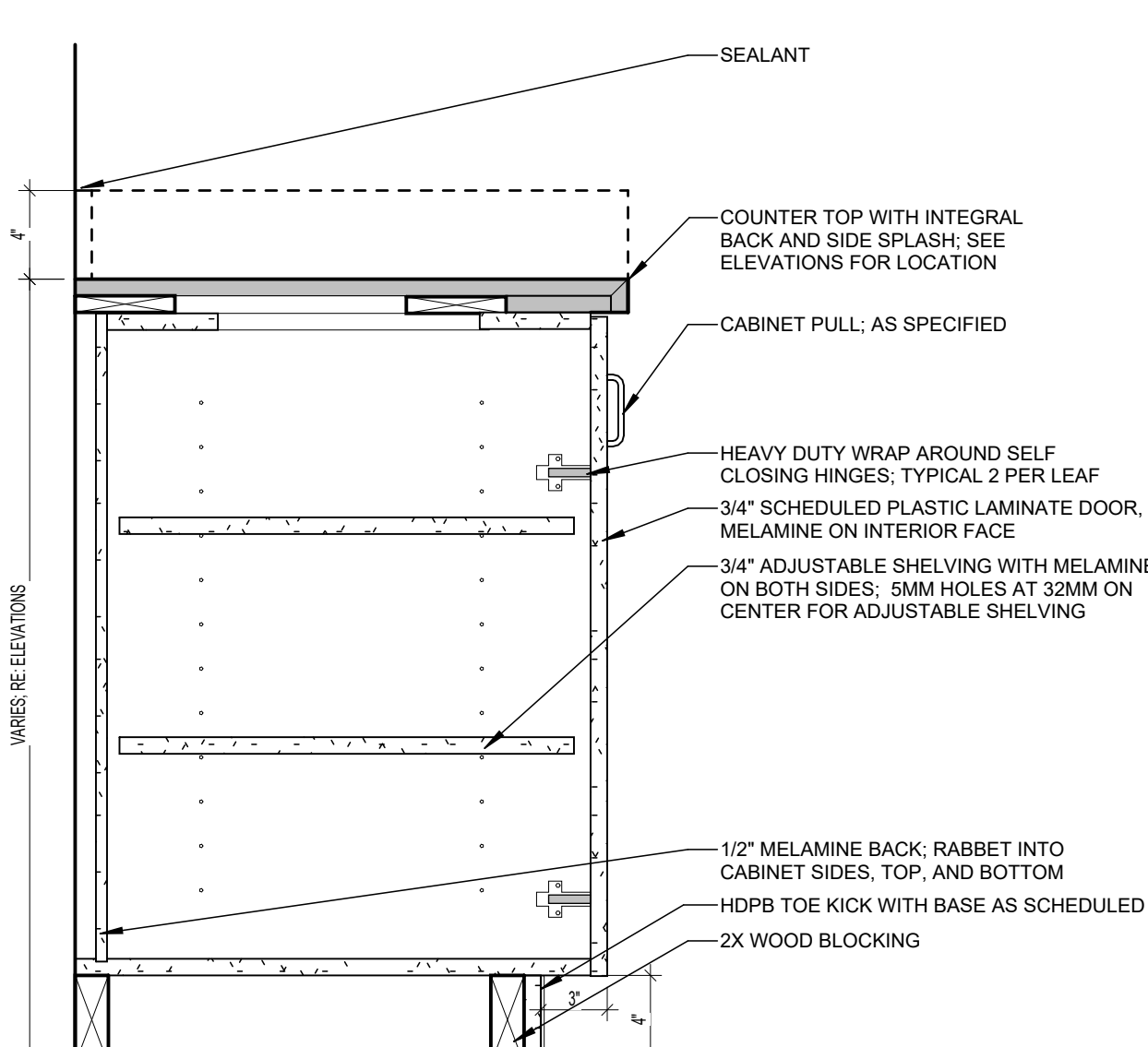
22 CASEWORK SECTION - UPPER CABINET
SCALE: 1 1/2" = 1'-0"



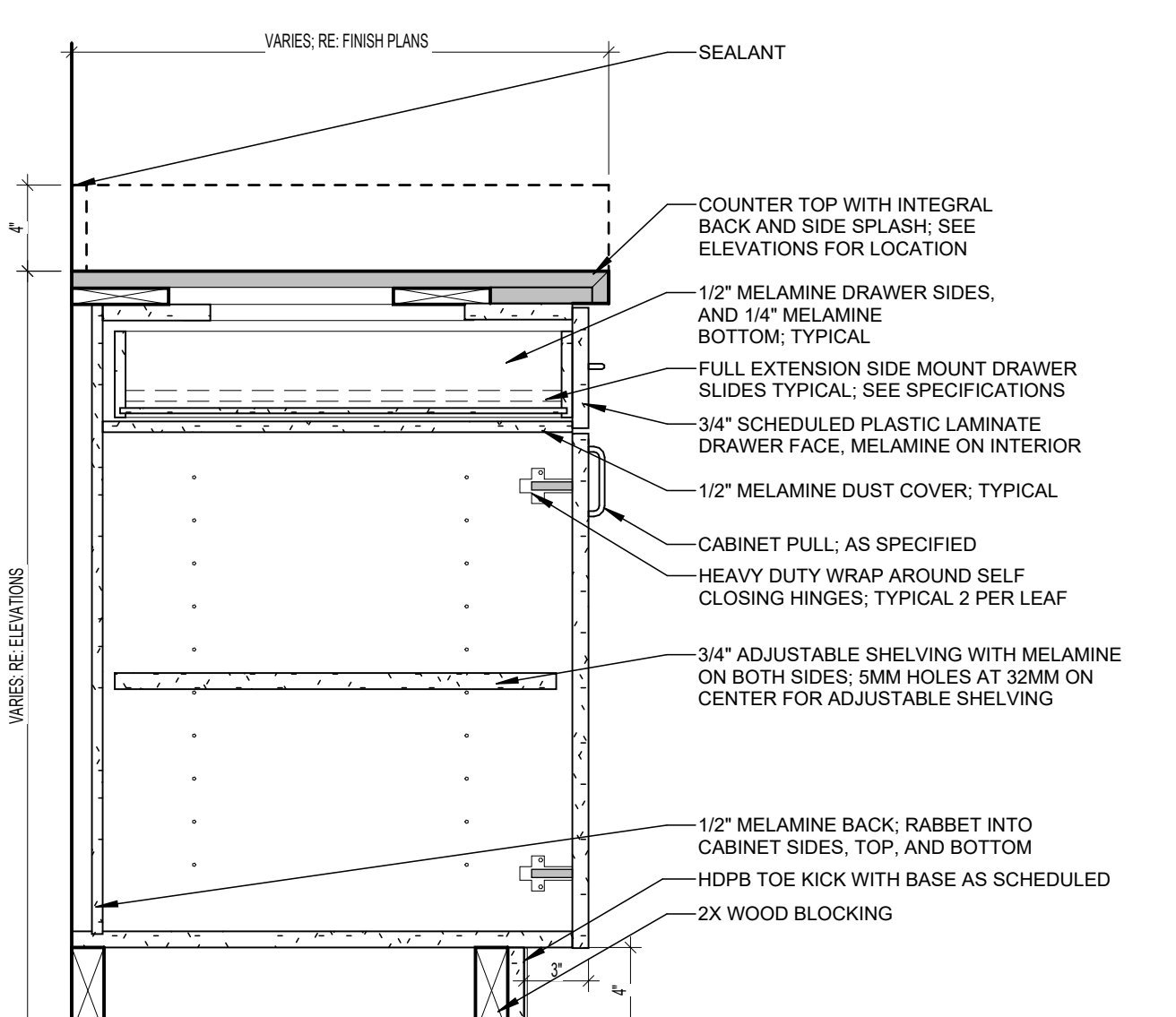
26 CASEWORK UTILITY CHASE
SCALE: 1 1/2" = 1'-0"



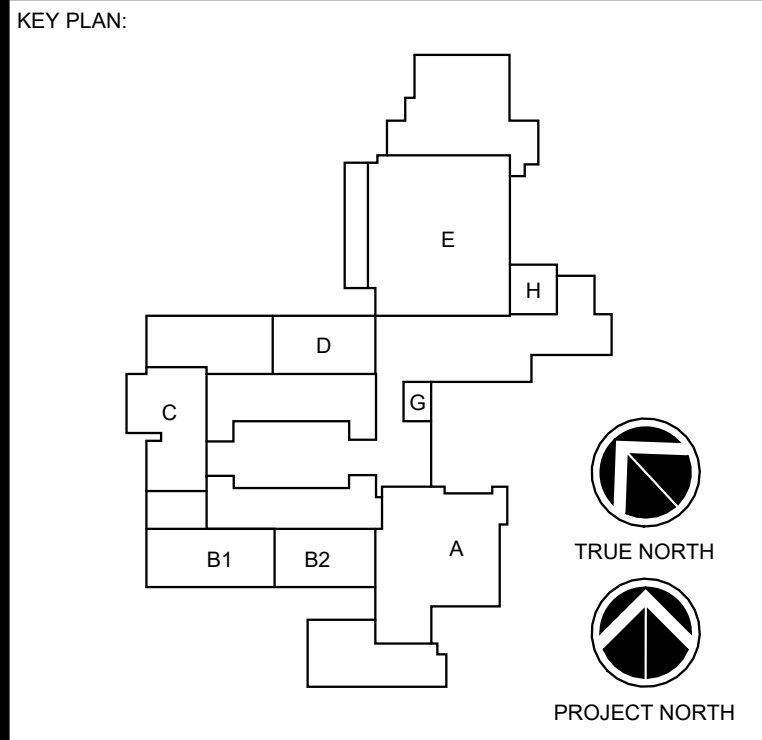
25 CASEWORK - ADA COMPLIANT SINK
SCALE: 1 1/2" = 1'-0"



24 CASEWORK SECTION
SCALE: 1 1/2" = 1'-0"



23 CASEWORK SECTION - BASE WITH DRAWER
SCALE: 1 1/2" = 1'-0"



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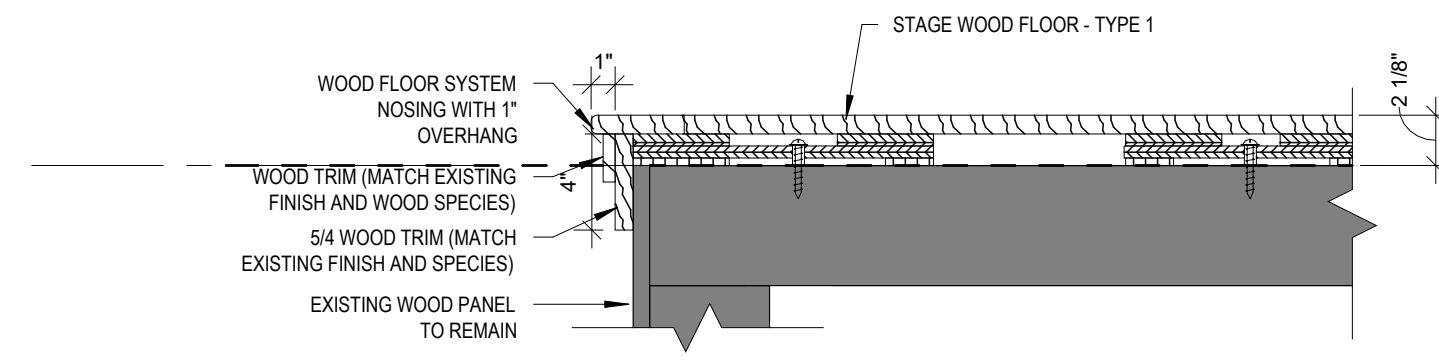


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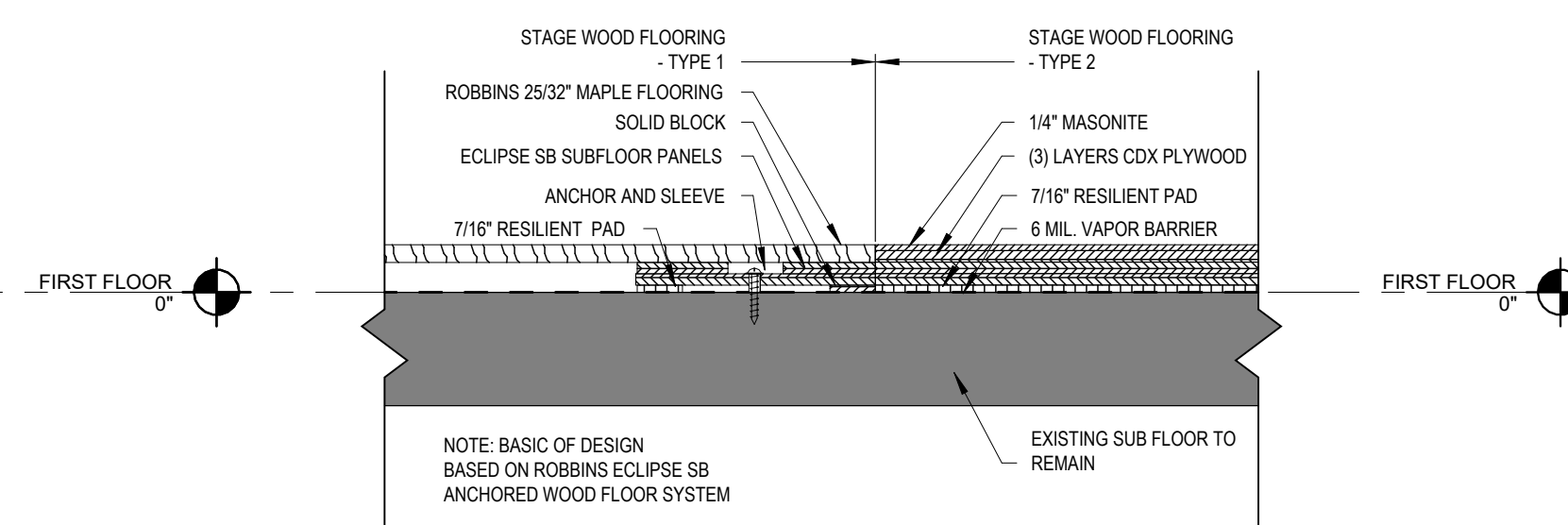
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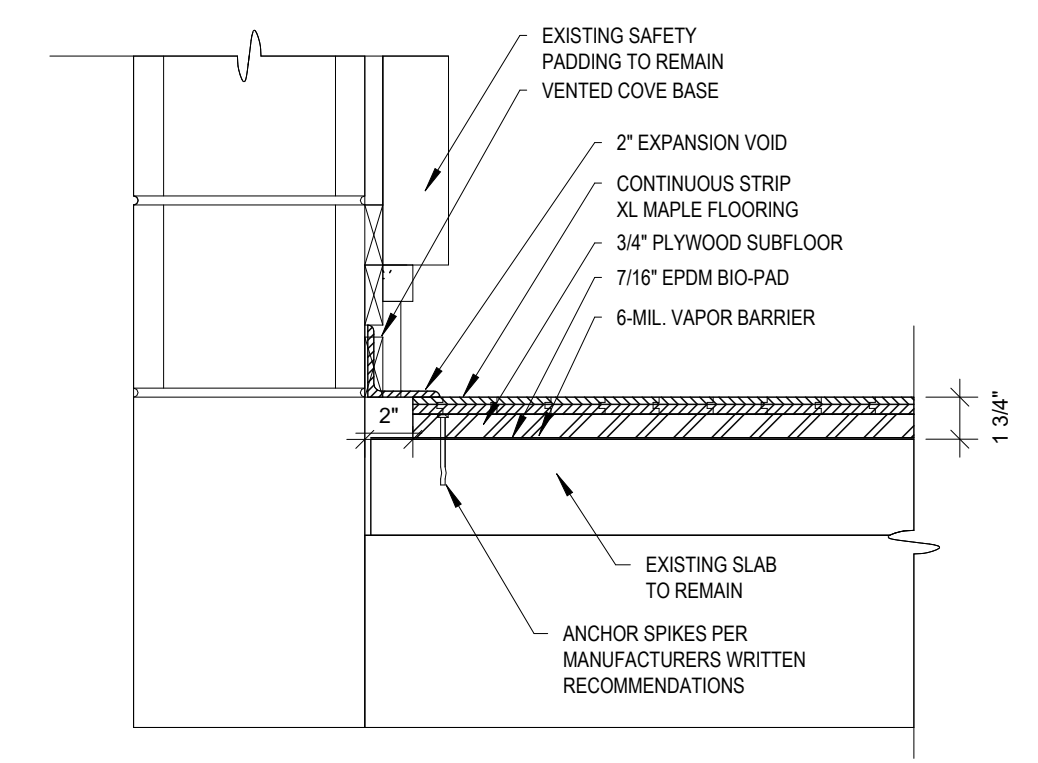
PLAN DETAILS
BUILDING NUMBER: HS SHEET NUMBER: A700
BID



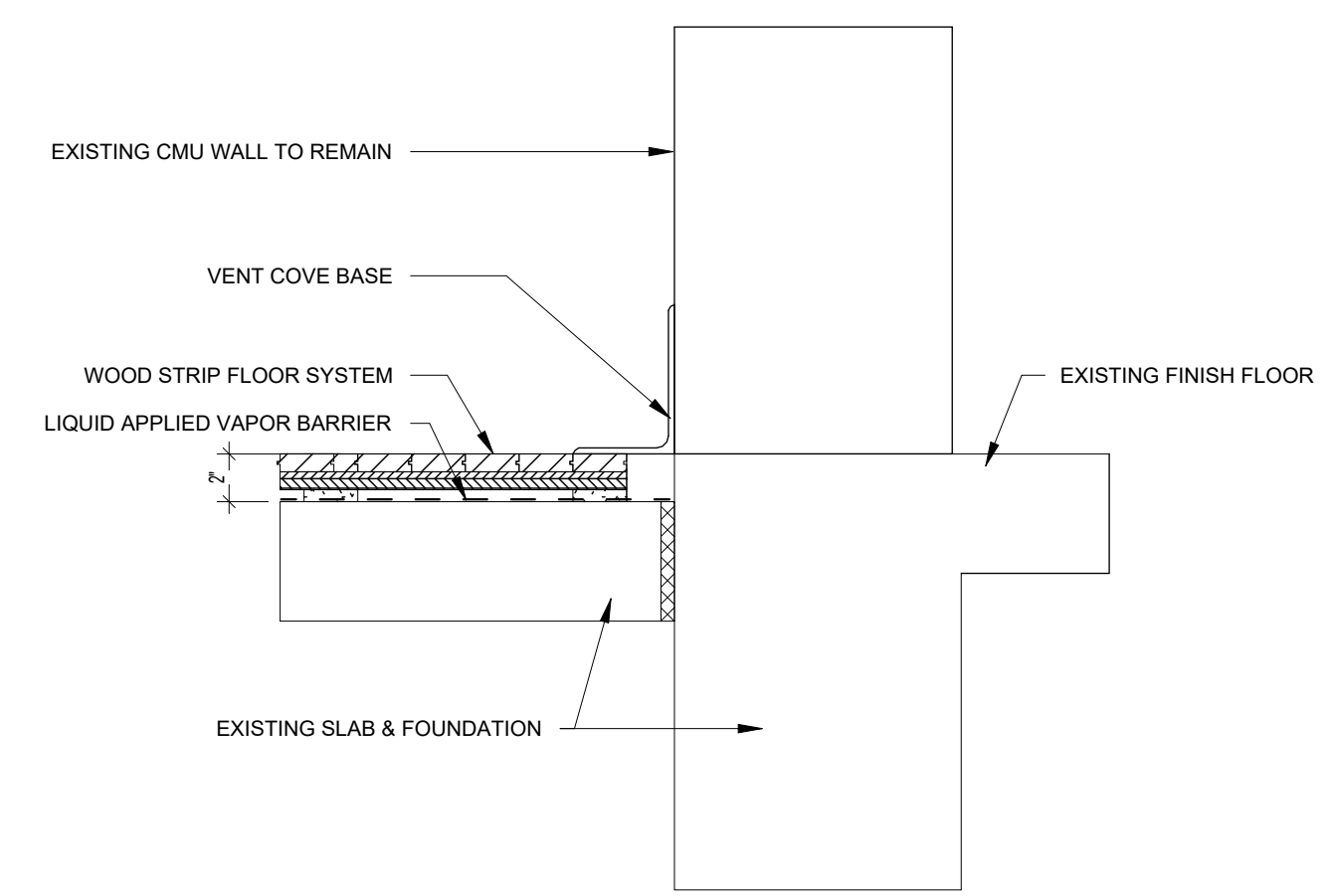
6 STAGE FRONT DETAIL
SCALE: 1 1/2" = 1'-0"



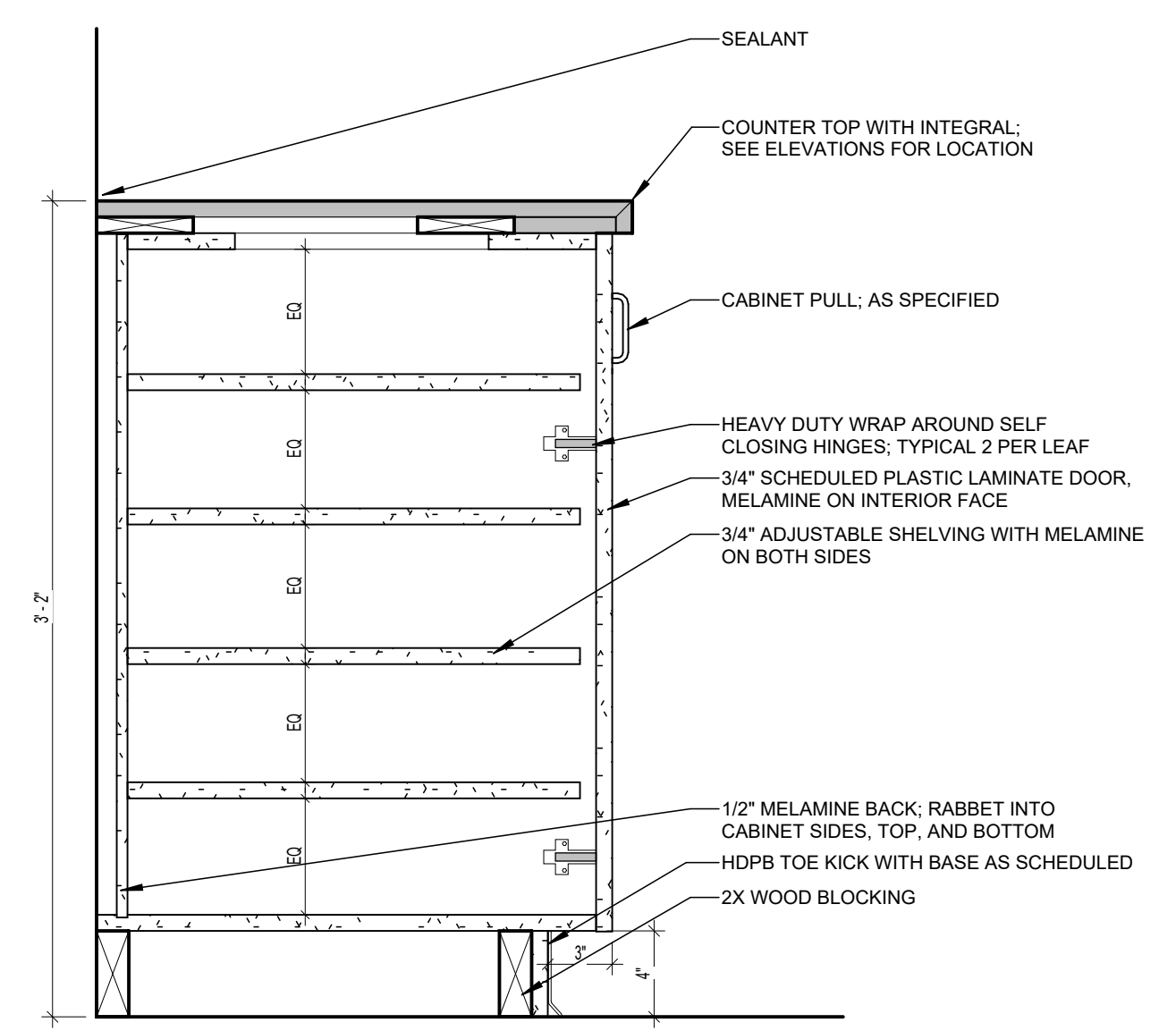
5 STAGE FLOOR SECTION
SCALE: 1 1/2" = 1'-0"



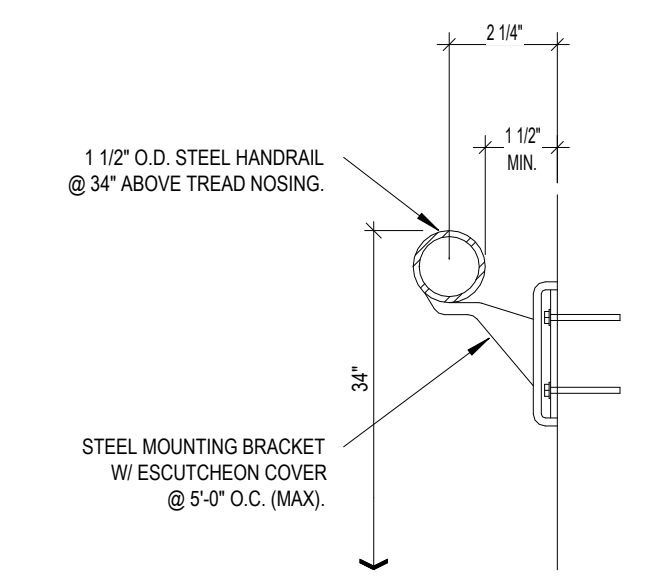
1 WOOD FLOOR - BASE DETAIL
SCALE: 1 1/2" = 1'-0"



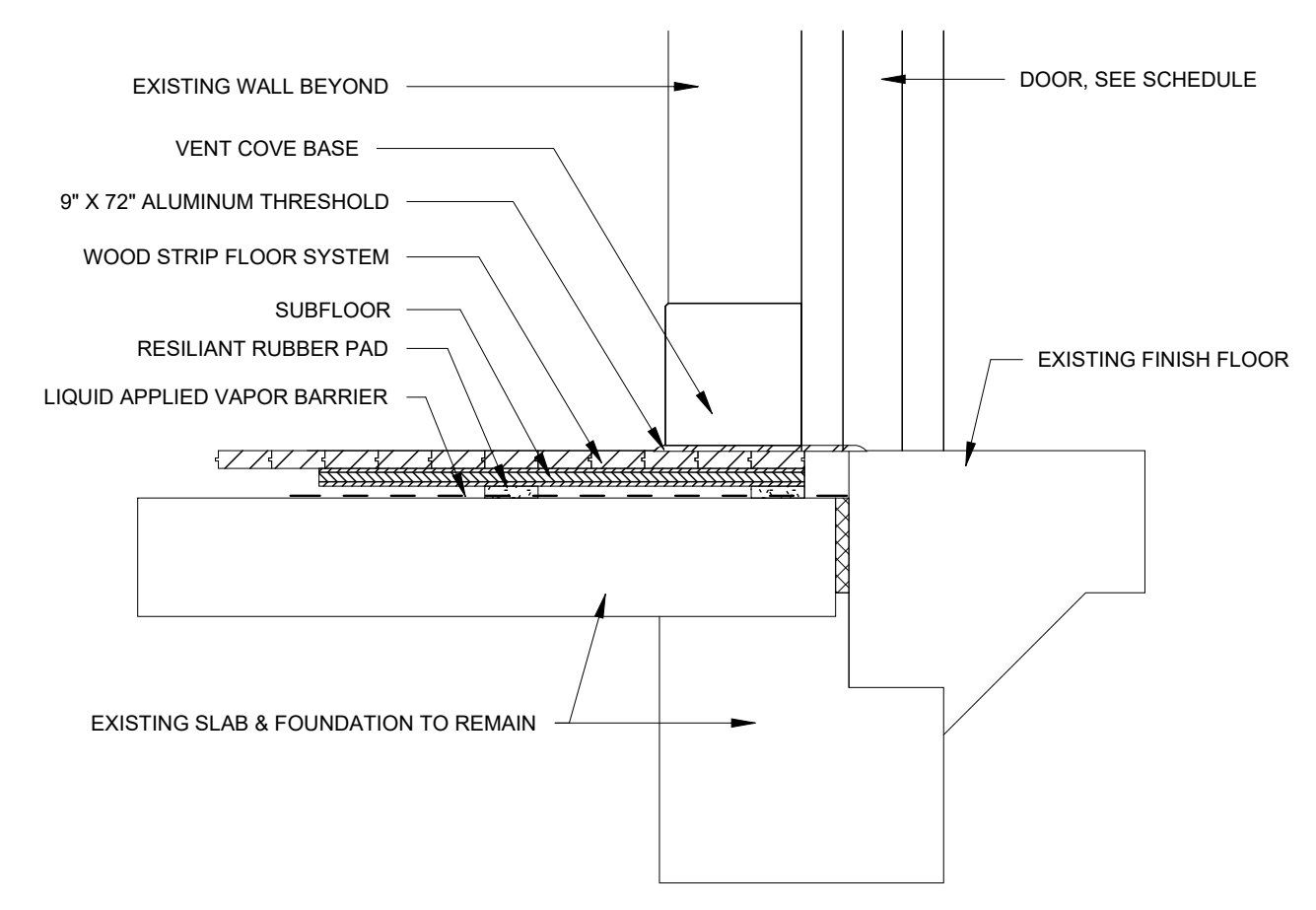
8 GYM FLOOR DETAIL
SCALE: 1 1/2" = 1'-0"



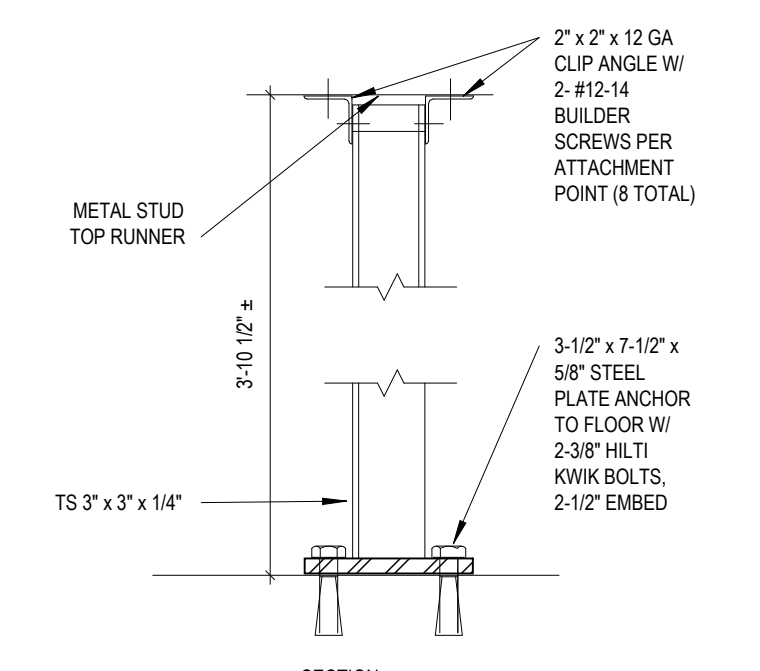
7 CASEWORK SECTION - KEYBOARD STORAGE
SCALE: 1 1/2" = 1'-0"



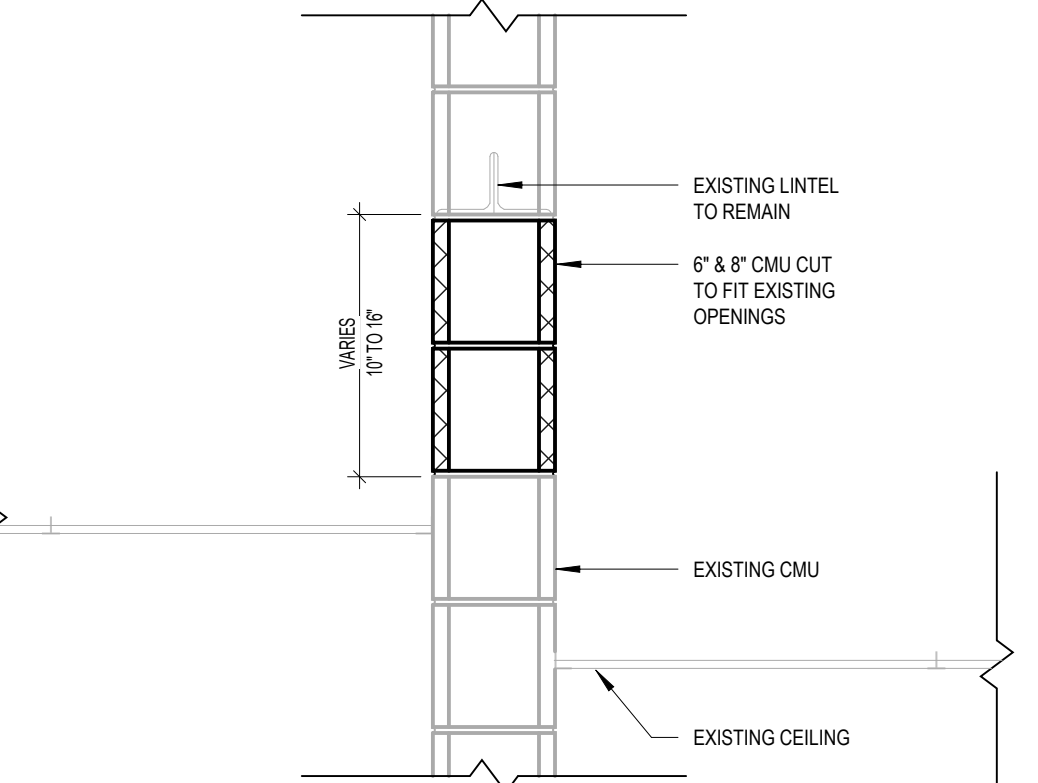
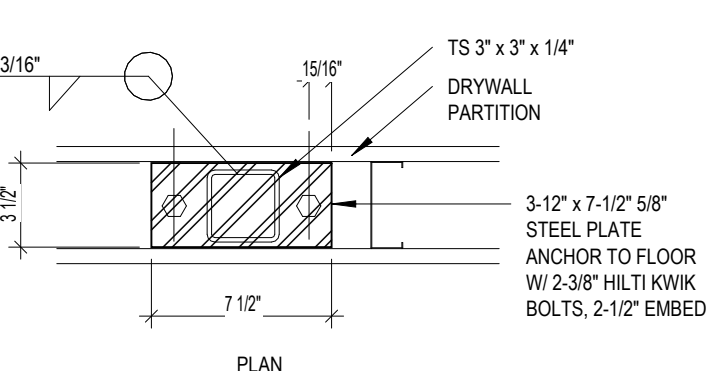
2 RAILING DETAIL
SCALE: 3" = 1'-0"



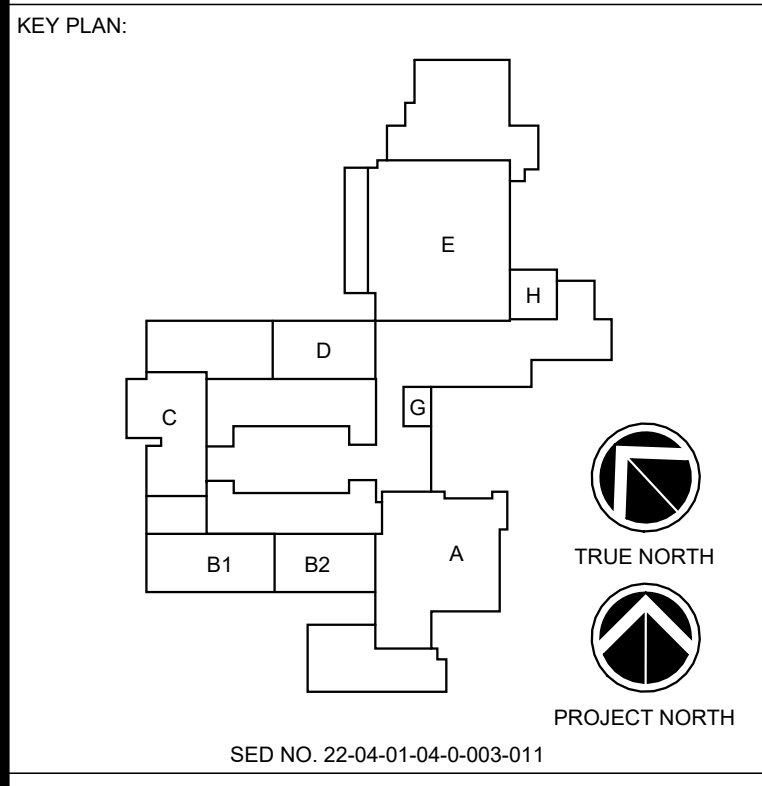
9 GYM FLOOR DETAIL AT DOOR
SCALE: 1 1/2" = 1'-0"



3 LOW WALL STIFFENER DETAIL
SCALE: 1 1/2" = 1'-0"



4 TYPICAL CMU INFILL DETAIL
SCALE: 1" = 1'-0"



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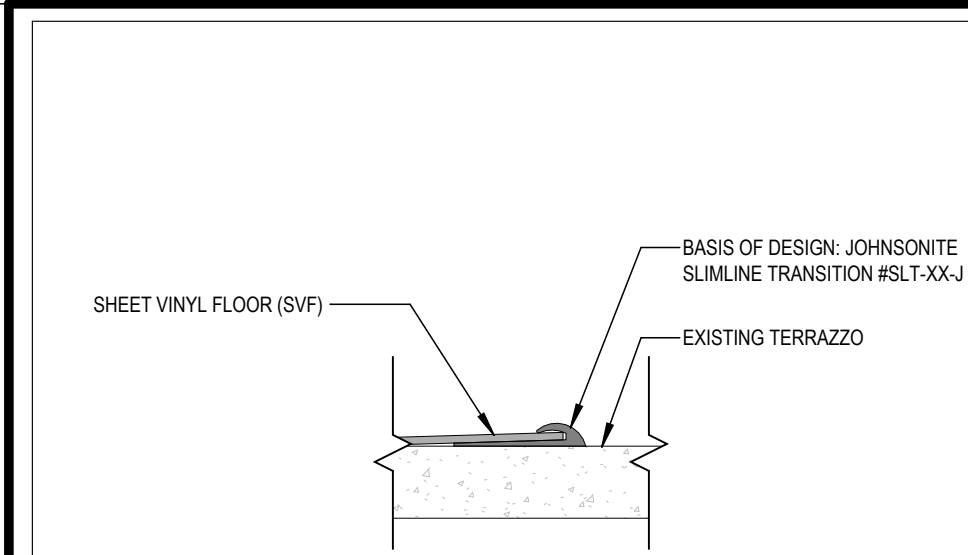


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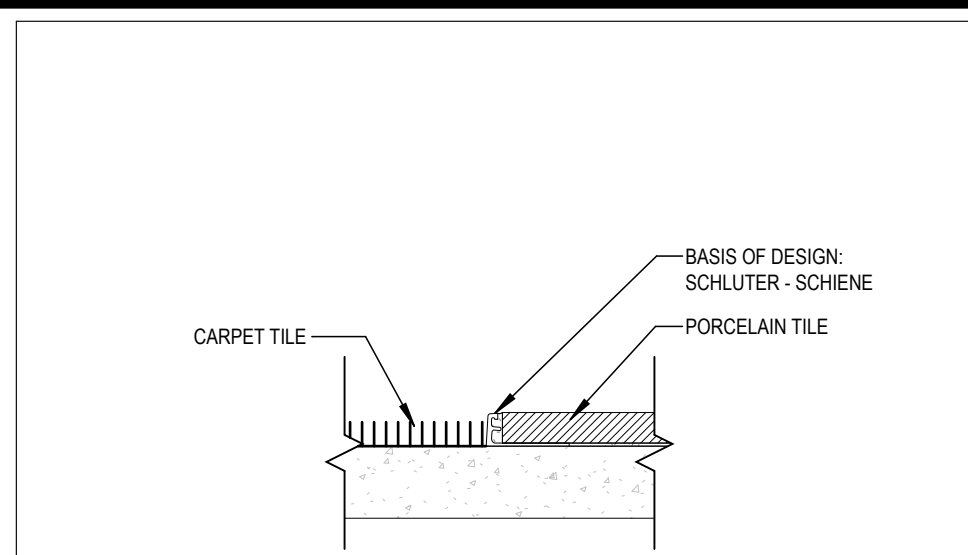
REV	DATE	DESCRIPTION

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CHECKED BY: MLC DATE: 12/16/2024

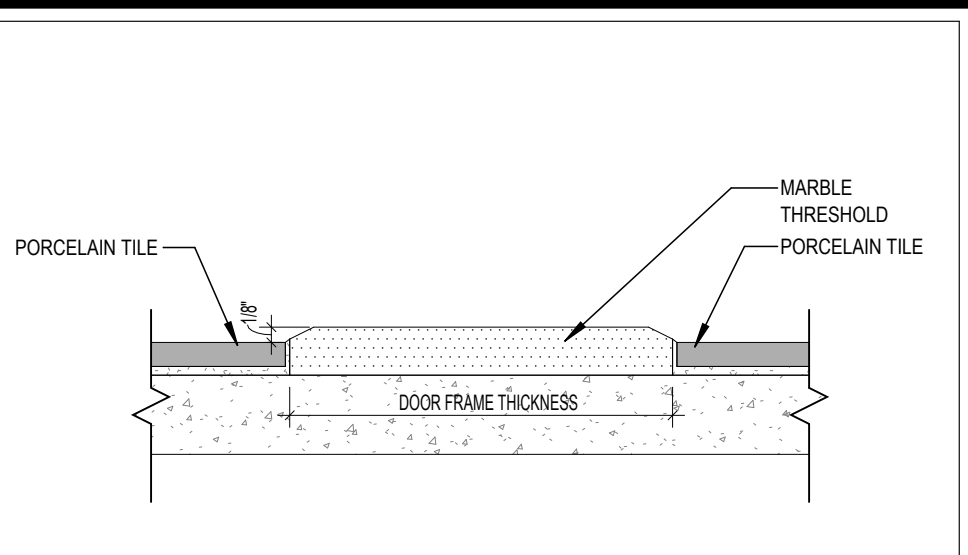
DETAILS
BUILDING NUMBER: **HS** SHEET NUMBER: **A701**
BID



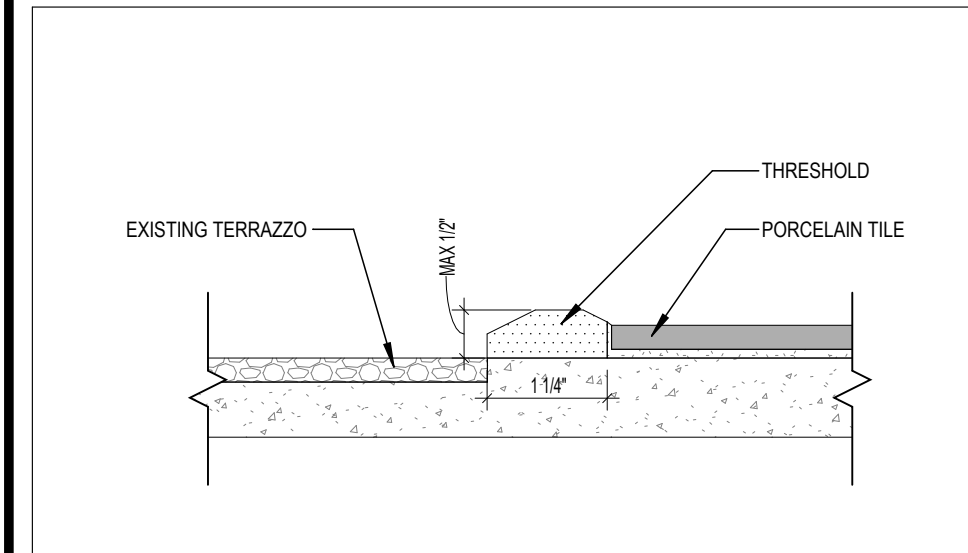
A LVT/VCT/SV @ TERRAZZO
SCALE: 6" = 1'-0"



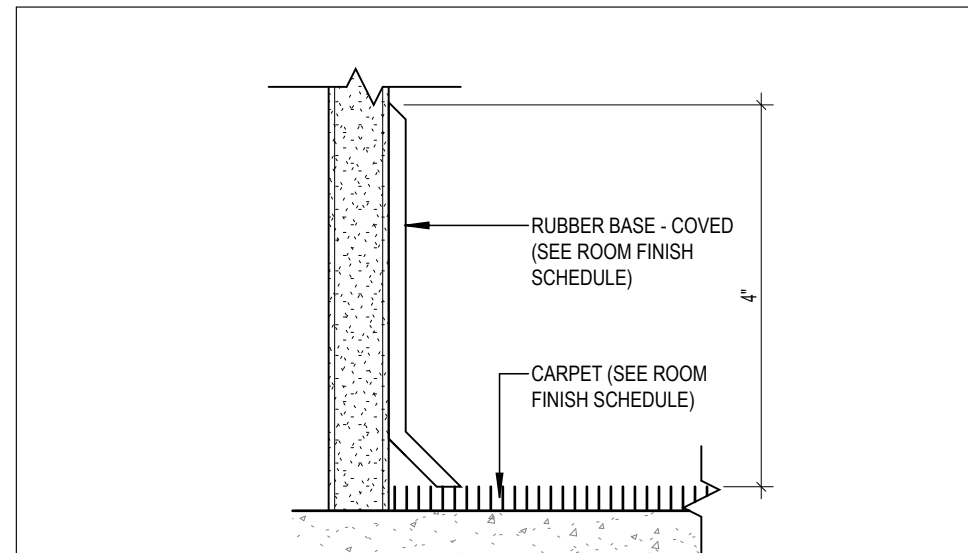
B CARPET @ PORCELAIN TILE
SCALE: 6" = 1'-0"



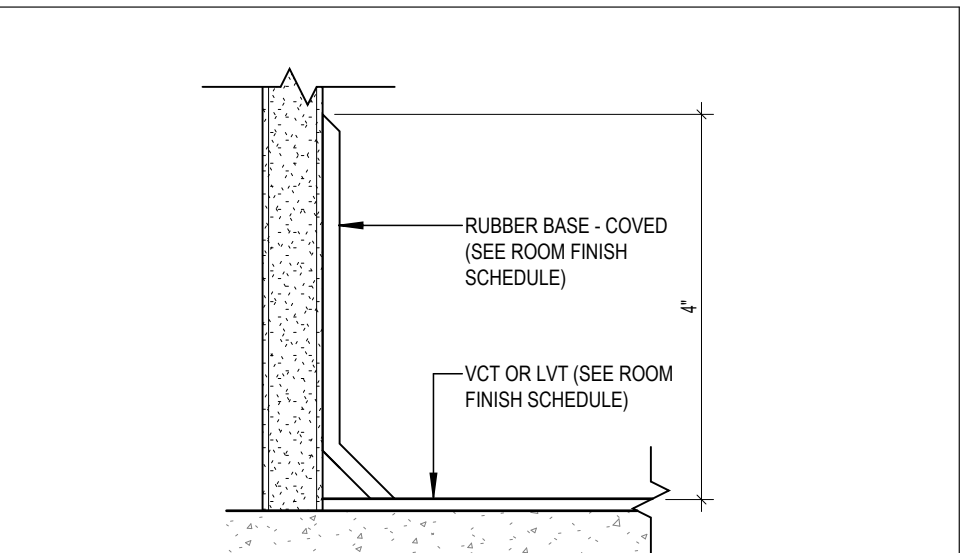
C MARBLE THRESHOLD
SCALE: 6" = 1'-0"



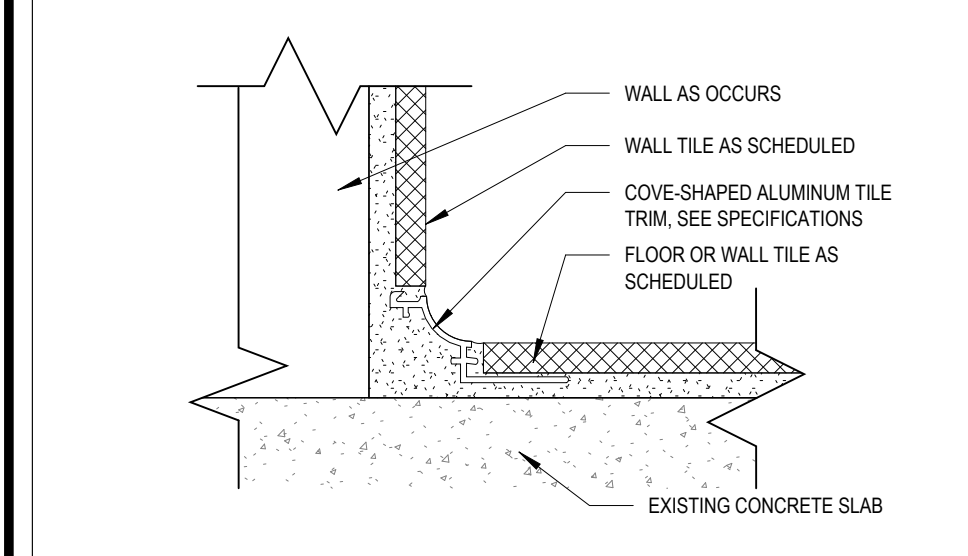
D PORCELAIN TILE @ TERRAZZO
SCALE: 6" = 1'-0"



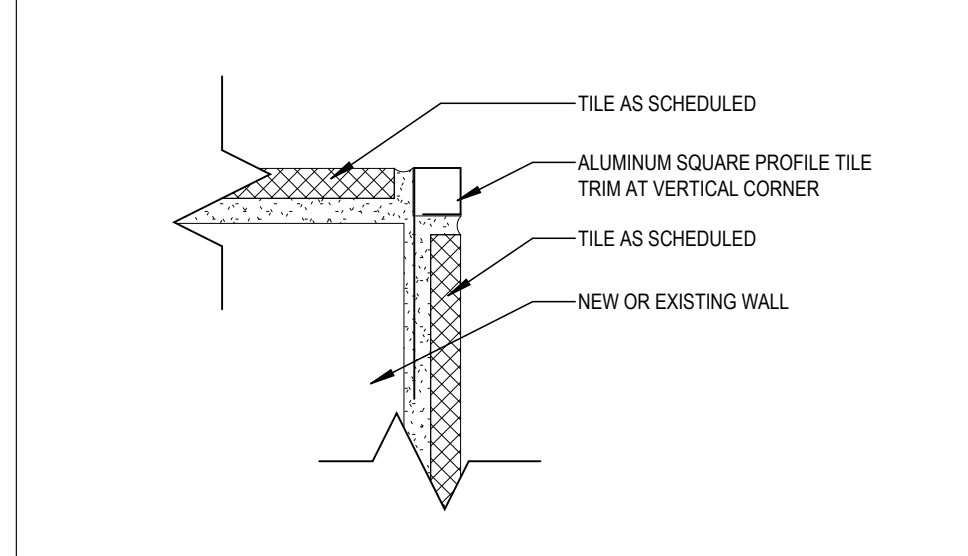
E RUBBER BASE @ CARPET
SCALE: 6" = 1'-0"



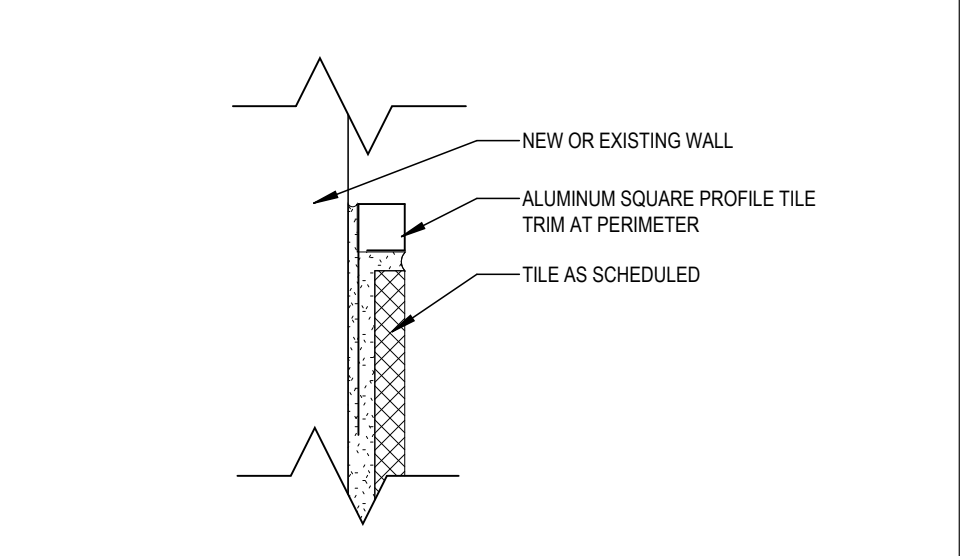
F RUBBER BASE @ LVT/VCT
SCALE: 6" = 1'-0"



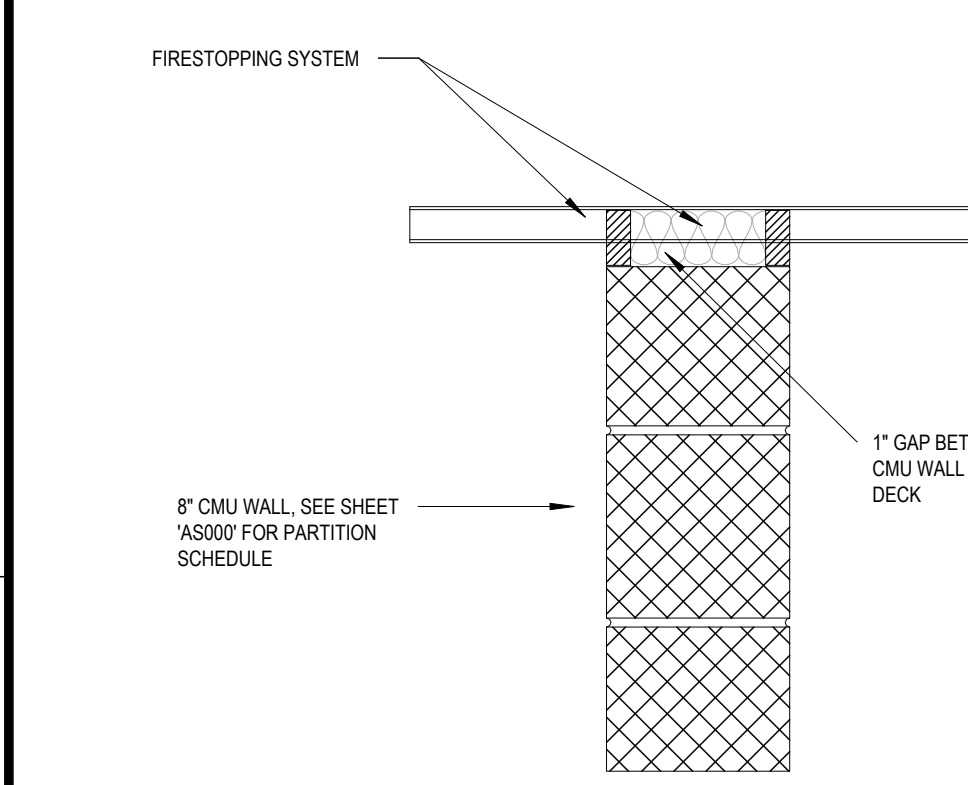
G PORCELAIN TILE WALL TO FLOOR
SCALE: 6" = 1'-0"



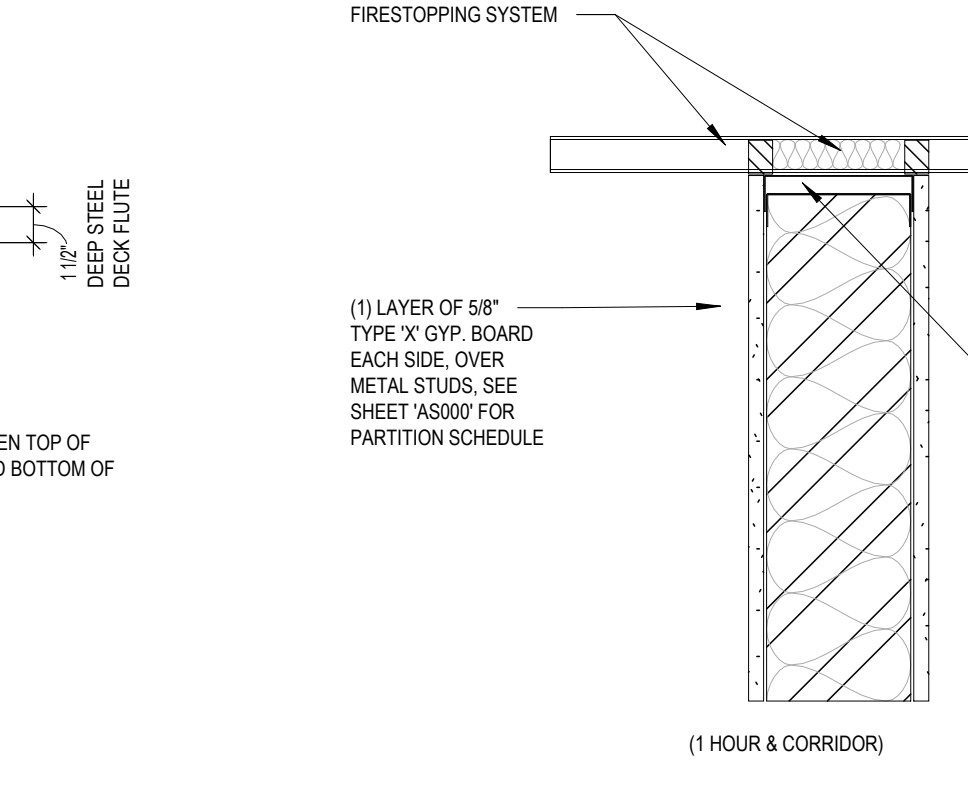
H TILE TRIM @ VERTICAL CORNER
SCALE: 6" = 1'-0"



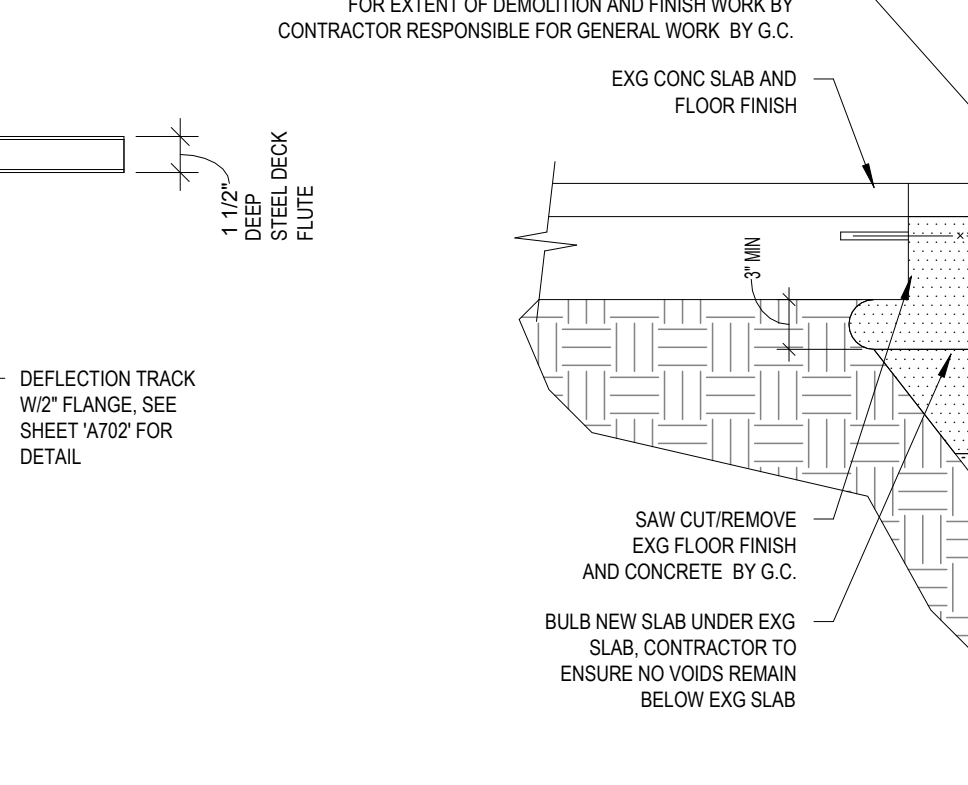
I TILE TRIM @ WAINSCOT TOP
SCALE: 6" = 1'-0"



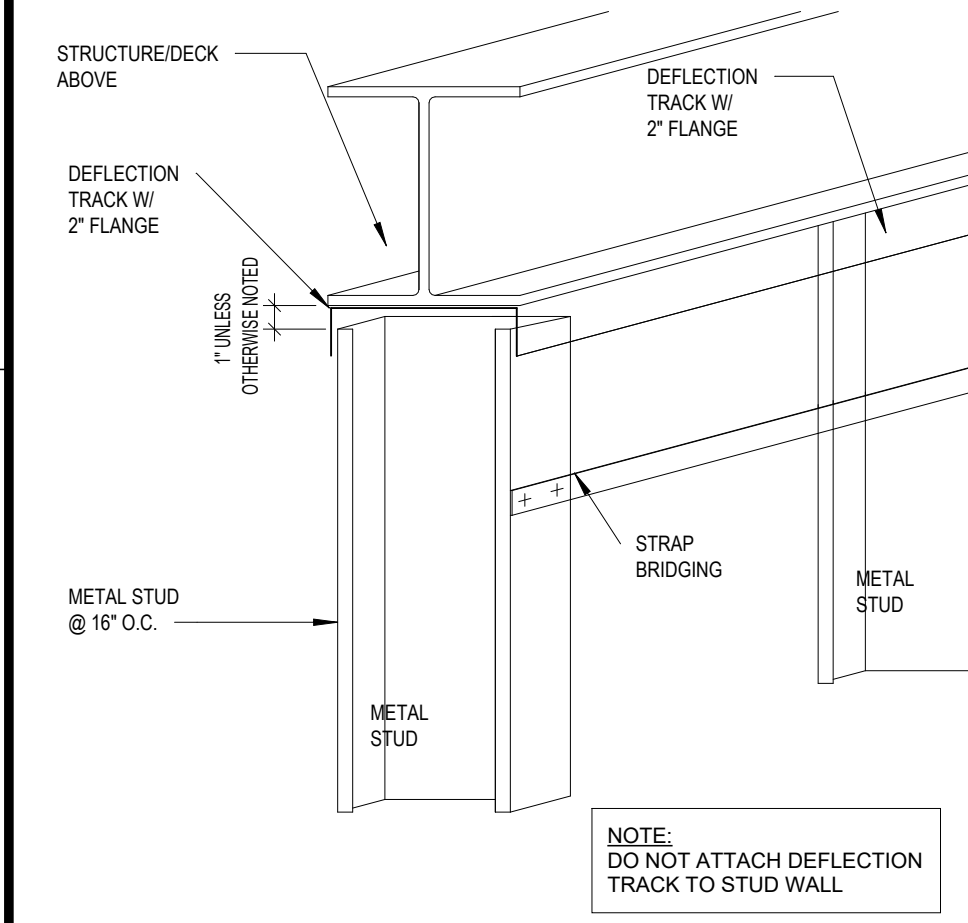
9 FIRE STOPPING DETAIL - C
SCALE: 1 1/2" = 1'-0"



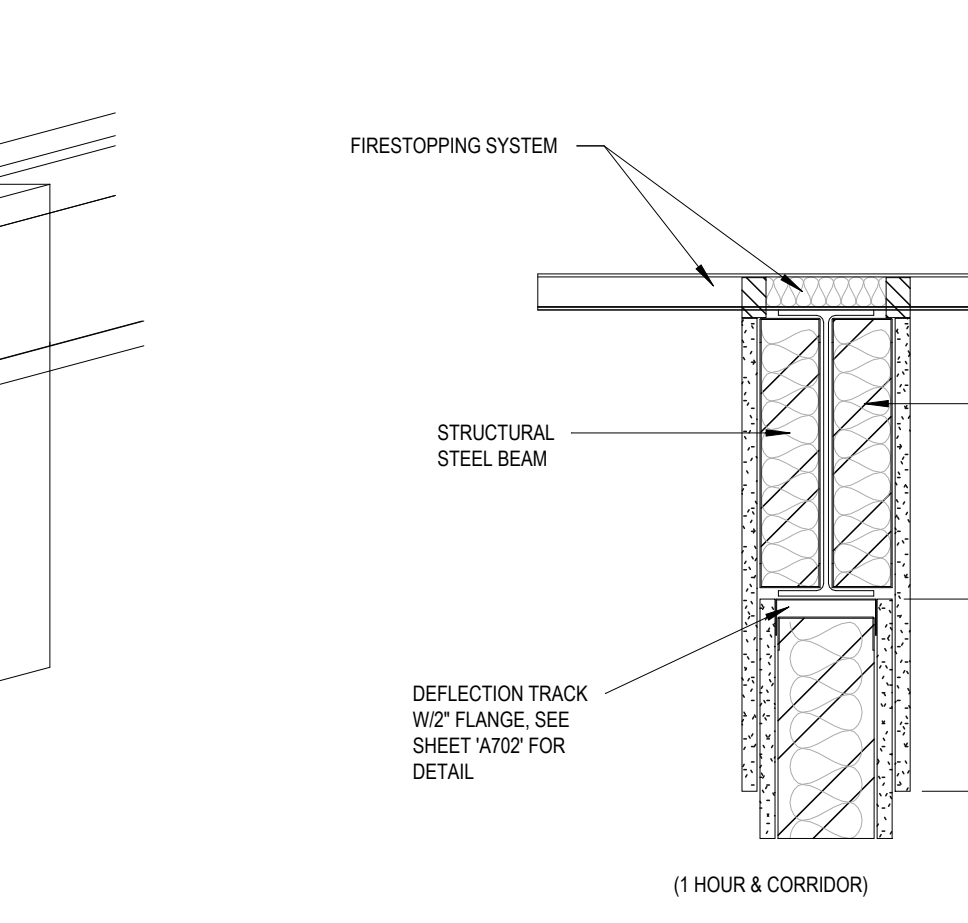
7 FIRE STOPPING DETAIL - A
SCALE: 1 1/2" = 1'-0"



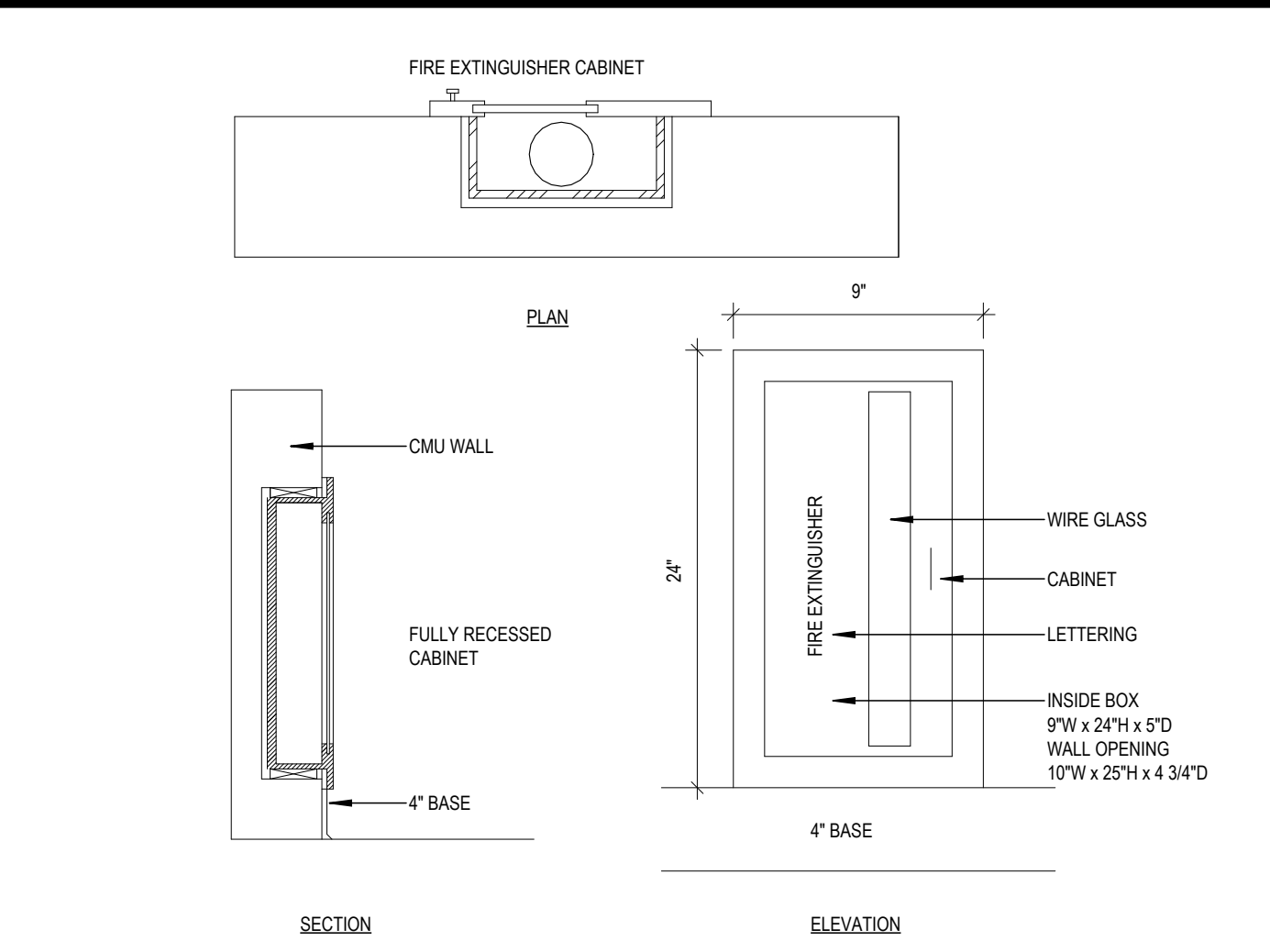
6 TRENCHING BELOW EXISTING SLAB
SCALE: 1 1/2" = 1'-0"



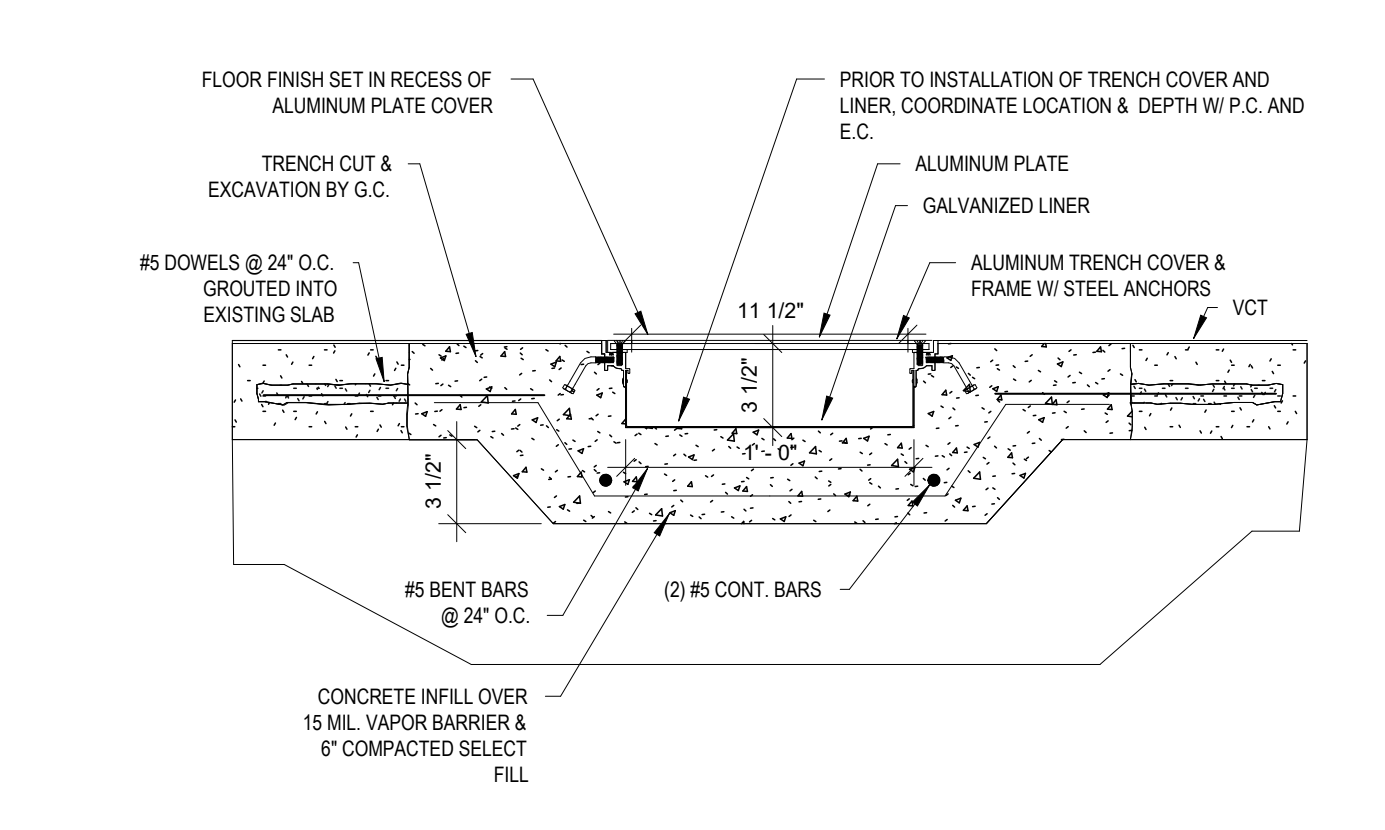
11 METAL STUD SUPPORT DETAIL
SCALE: 1 1/2" = 1'-0"



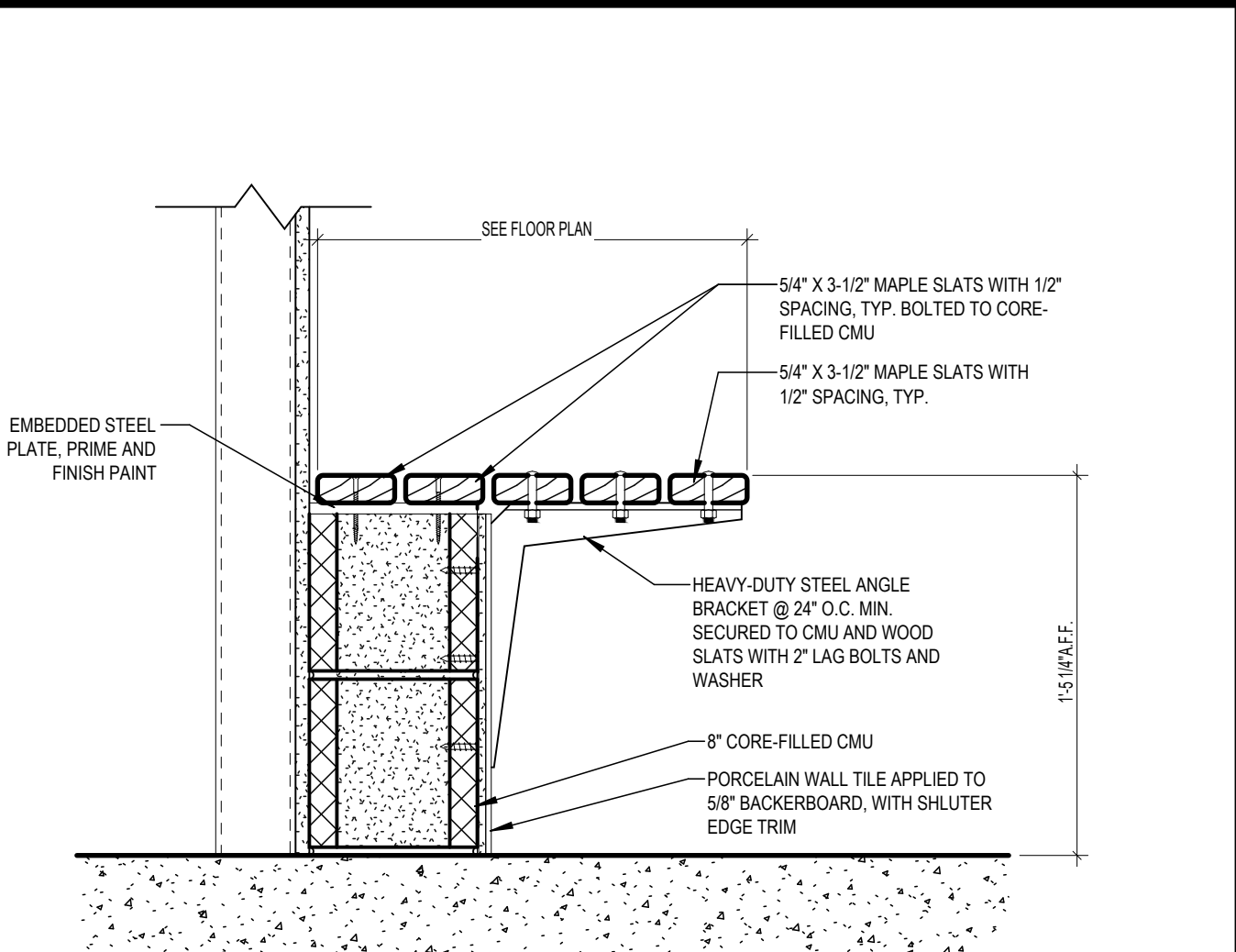
8 FIRE STOPPING DETAIL - B
SCALE: 1 1/2" = 1'-0"



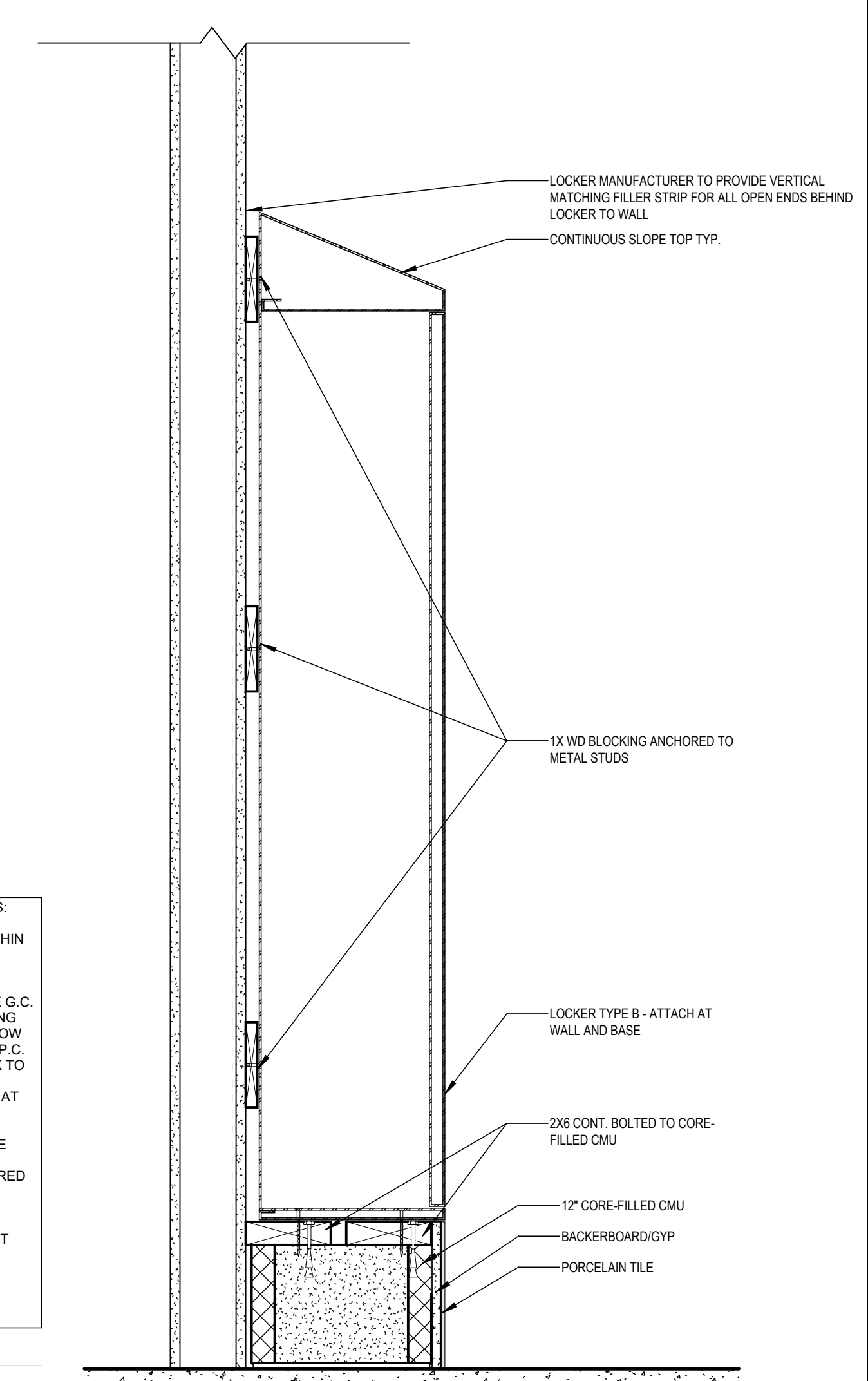
4 FIRE EXTINGUISHER DETAIL
SCALE: 1 1/2" = 1'-0"



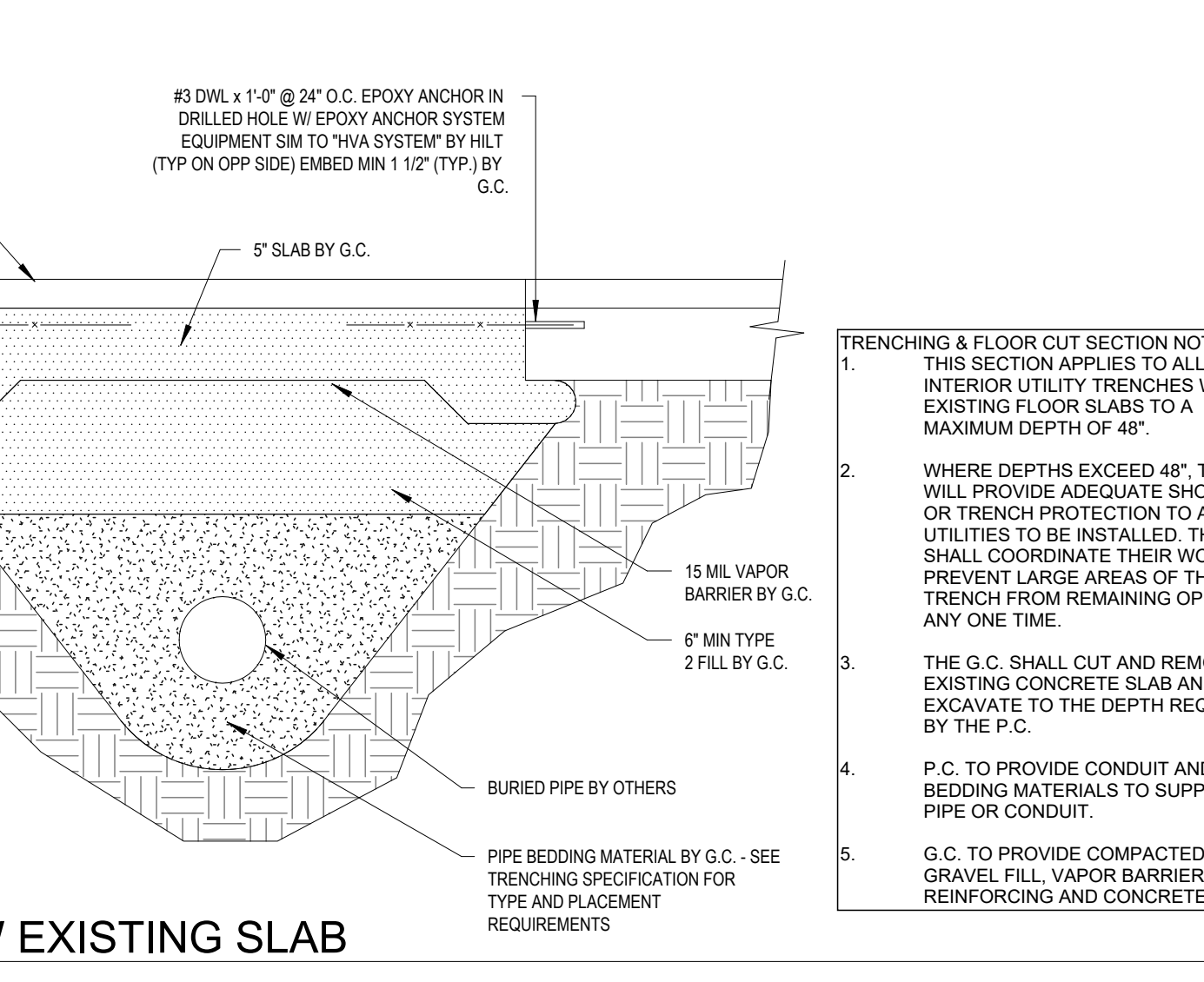
5 ALUMINUM TRENCH COVER & LINER SECTION
SCALE: 1 1/2" = 1'-0"



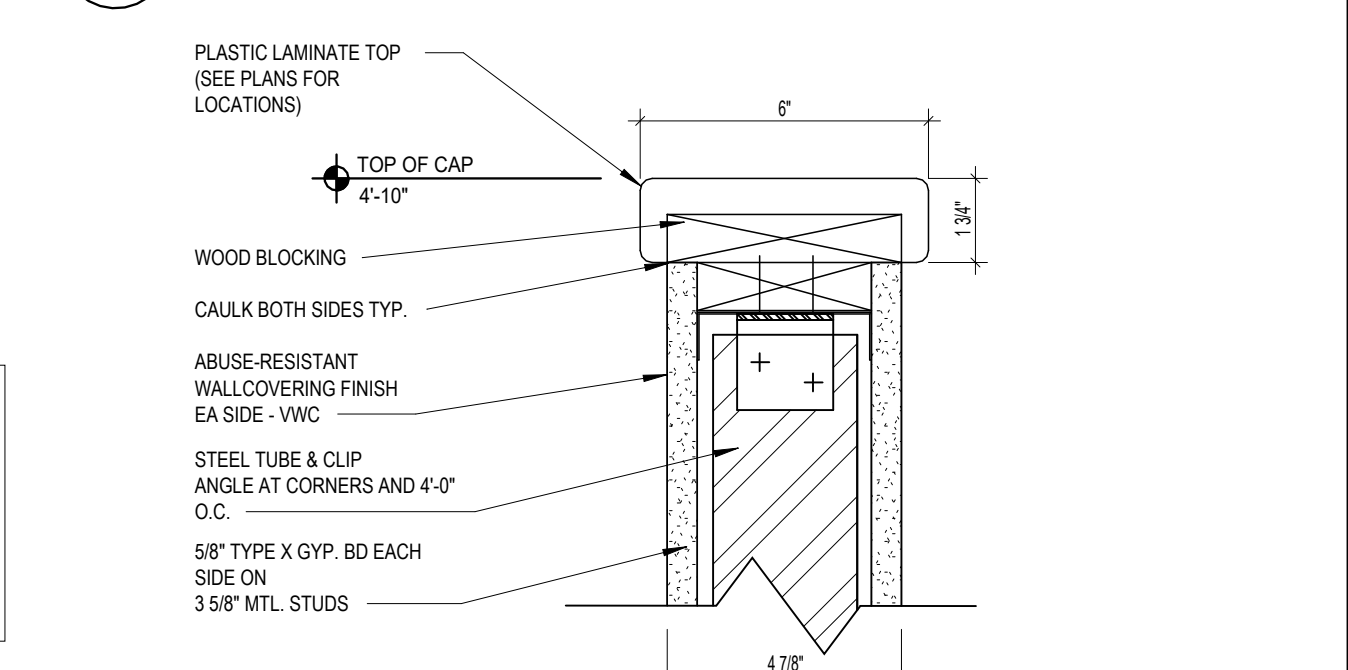
1 LOCKER ROOM BENCH SECTION
SCALE: 1 1/2" = 1'-0"



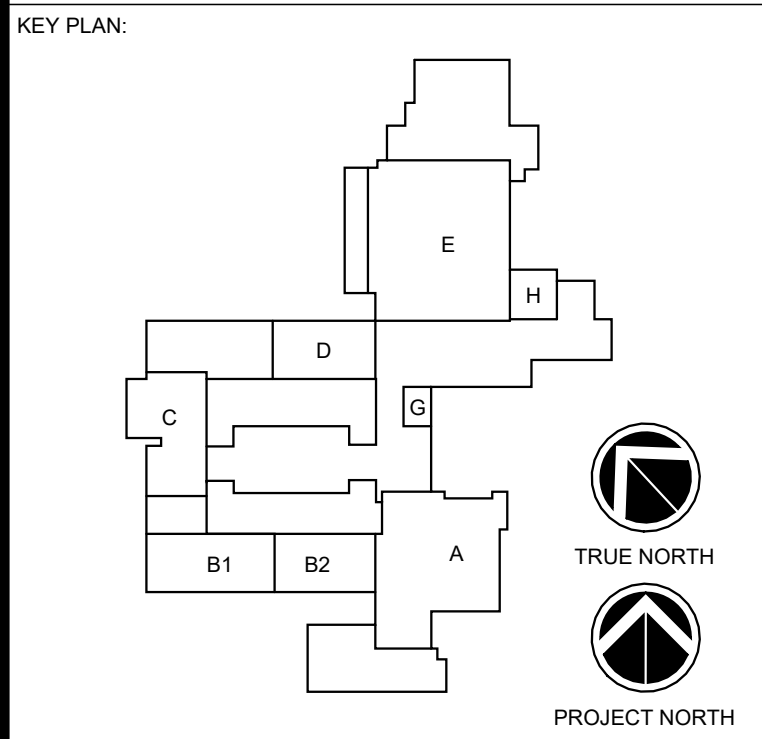
2 LOCKER SECTION
SCALE: 1 1/2" = 1'-0"



12 LOCKER TYPES
SCALE: 3/4" = 1'-0"

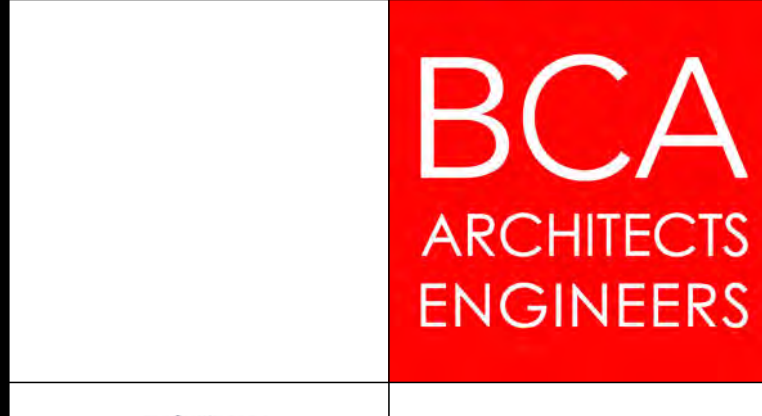


3 LOW WALL CAP DETAIL
SCALE: 3" = 1'-0"



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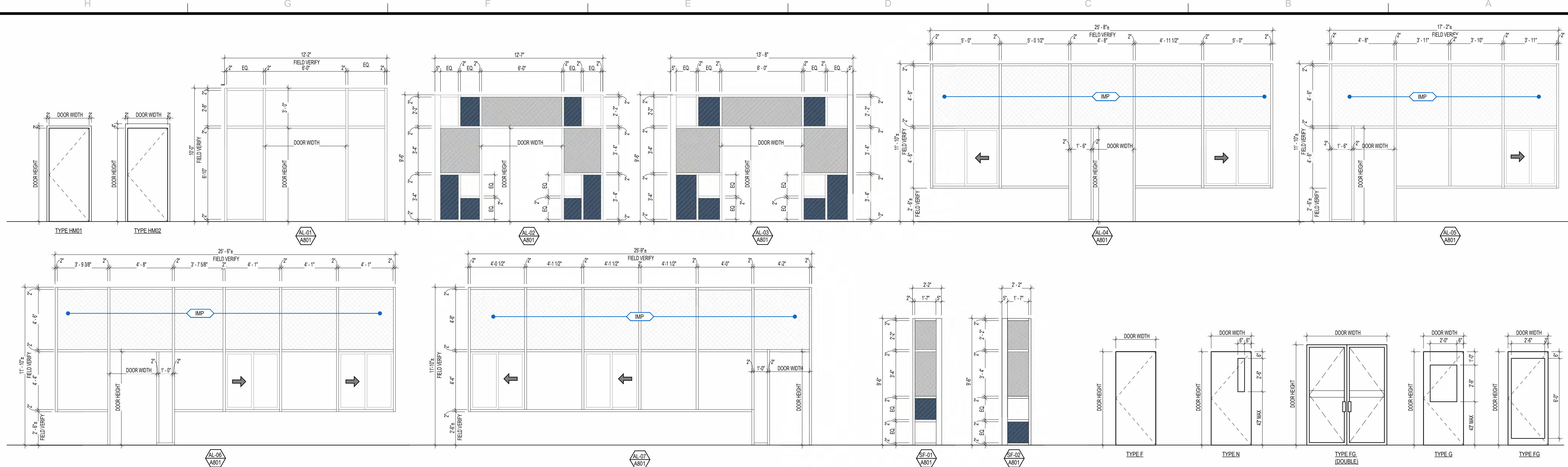
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JUNIOR SENIOR HIGH SCHOOL
17643 CEMETERY RD
DEXTER - JEFFERSON - NEW YORK

REV	DATE	DESCRIPTION

DRAWN BY MHK/ALS	PROJECT NUMBER 2023-105
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CHECKED BY MLC	DATE 12/16/2024
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BUILDING NUMBER HS	SHEET NUMBER A702 BID
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MATERIAL LEGEND

- GLZ-1 GRAY COLORED FILM
- GLZ-2 BLUE COLORED FILM
- CLEAR GLASS PANEL
- INSULATED PANEL

NOTE: SEE MATERIAL SCHEDULE ON SHEET A804 FOR PRODUCT / FINISH BASIS OF DESIGN

FRAME TYPES
SCALE: 1/4" = 1'-0"

STOREFRONT TYPES
SCALE: 1/4" = 1'-0"

DOOR TYPES
SCALE: 1/4" = 1'-0"

KEY PLAN:

SED NO. 22-04-01-04-0-003-011

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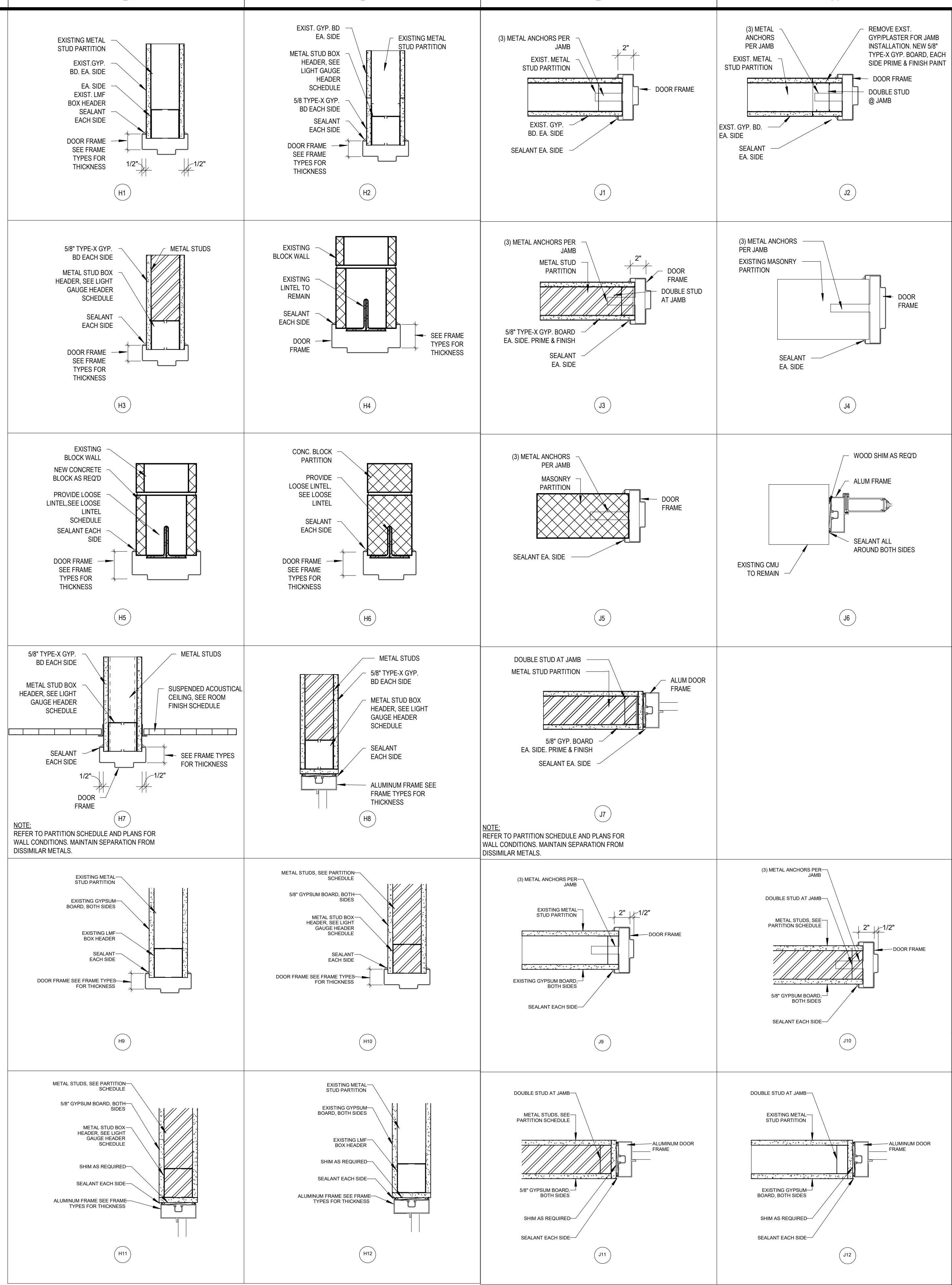
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REV	DATE	DESCRIPTION

DRAWN BY: MJK/ALS PROJECT NUMBER: 2023-105
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STOREFRONT TYPES

BUILDING NUMBER: **HS** SHEET NUMBER: **A801**
BID



2 DOOR HEAD DETAILS
SCALE: 1 1/2" = 1'-0"

1 DOOR JAMB DETAILS
SCALE: 1 1/2" = 1'-0"

KEY PLAN:

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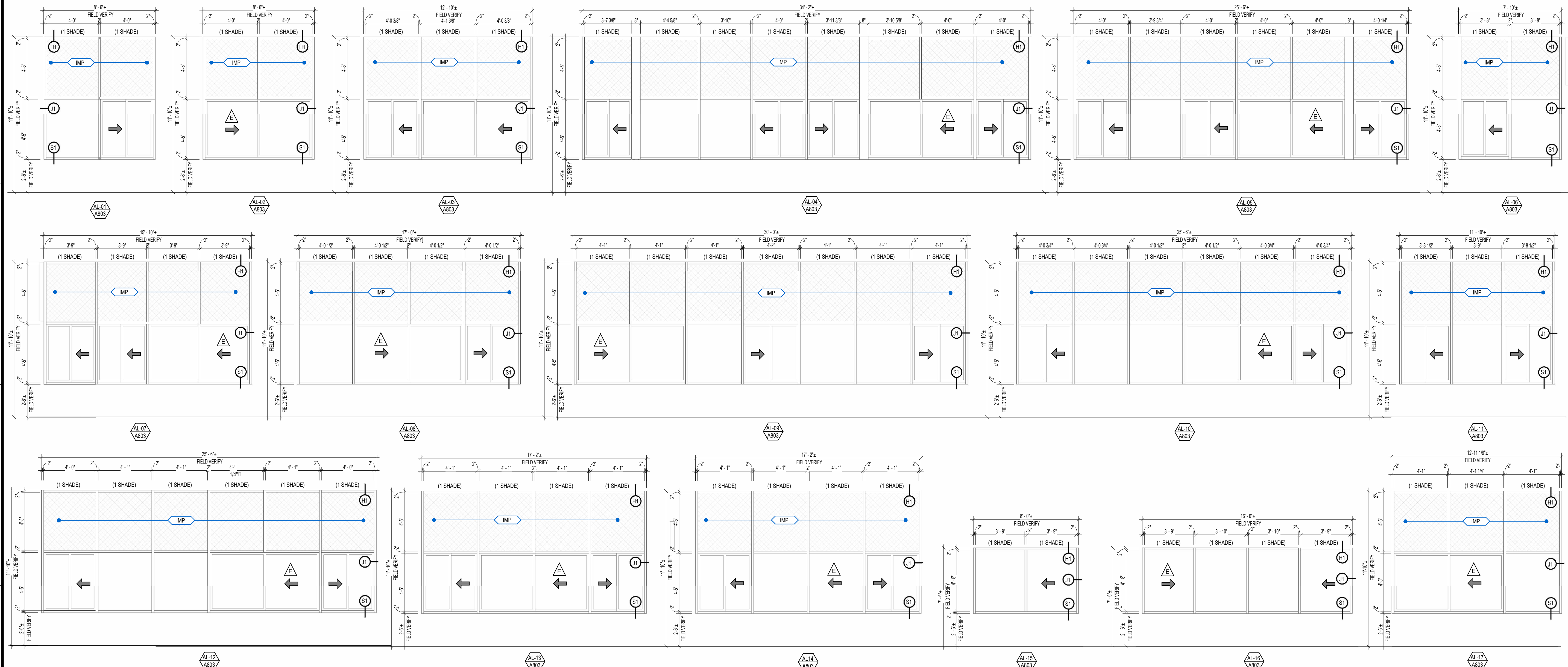
REV	DATE	DESCRIPTION

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DOOR DETAILS

BUILDING NUMBER: **HS** SHEET NUMBER: **A802**
BID

12/17/2024 5:12:54 PM



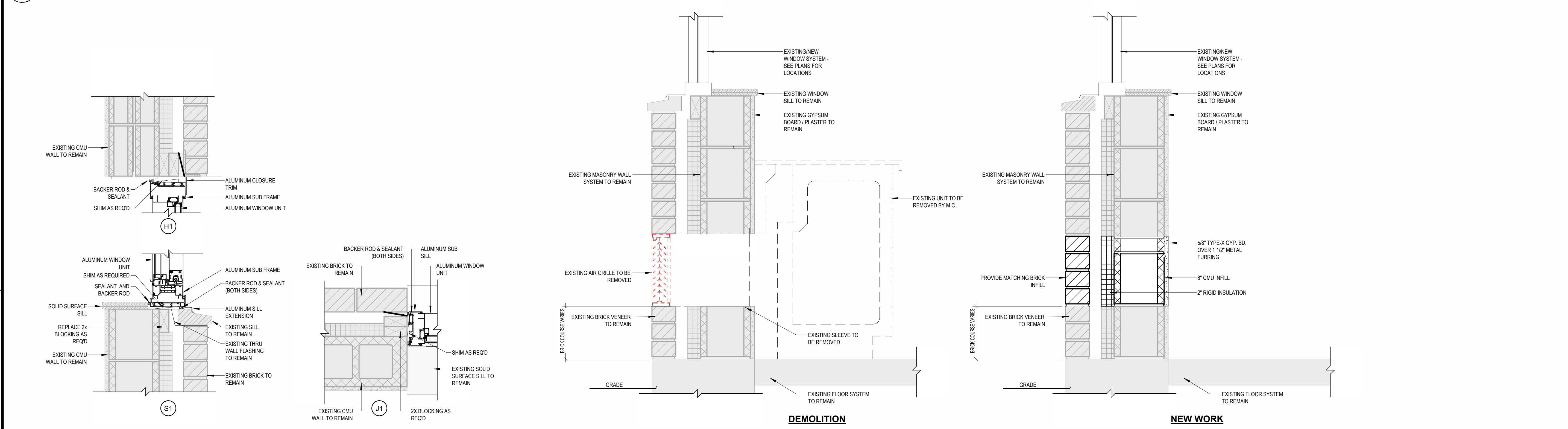
- WINDOW SHADE NOTES:**
- FIELD VERIFY ALL WINDOW OPENING CONDITIONS & DIMENSIONS PRIOR TO FABRICATION.
 - REMOVE ALL INTERIOR WINDOW TREATMENTS (CURTAINS, HORIZONTAL BLINDS, ETC.) IN THEIR ENTIRETY IN ALL RENOVATED ROOMS AND PROVIDE NEW WINDOW ROLLER SHADES.
 - FOR EXISTING EMERGENCY EGRESS WINDOWS DESIGNATED TO RECEIVE NEW ROLLER SHADES, PROVIDE 3"x5" PLASTIC RESCUE WINDOW SIGNAGE TO BE MECHANICALLY MOUNTED ON WALL ABOVE. SIGN TO CONSIST OF BRIGHT YELLOW BACKGROUND AND BLACK LETTERS AS FOLLOWS "RESCUE WINDOW". SEE CODE COMPLIANCE PLANS FOR EXISTING EMERGENCY EGRESS WINDOW LOCATIONS.
- WINDOW SHADE NOTES:**
- FIELD VERIFY ALL WINDOW OPENING CONDITIONS & DIMENSIONS (INTERIOR & EXTERIOR) PRIOR TO FABRICATION.
 - PROVIDE ALL NECESSARY BLOCKING, TRIM, FLASHING, & CLOSURE PIECES AS REQUIRED FOR A COMPLETE & PROPER WINDOW INSTALLATION. FILL ALL VOIDS WITH CLOSE-CELL FOAM INSULATION.
 - PROVIDE 1" INSULATED GLASS WITH 1/4" THICK BRONZE-TINTED TEMPERED GLASS ON THE EXTERIOR ARGON-FILLED AIR SPACE, AND 1/4" SOLARBAN 60 TEMPERED GLASS ON #3 SURFACE.

KEY PLAN:

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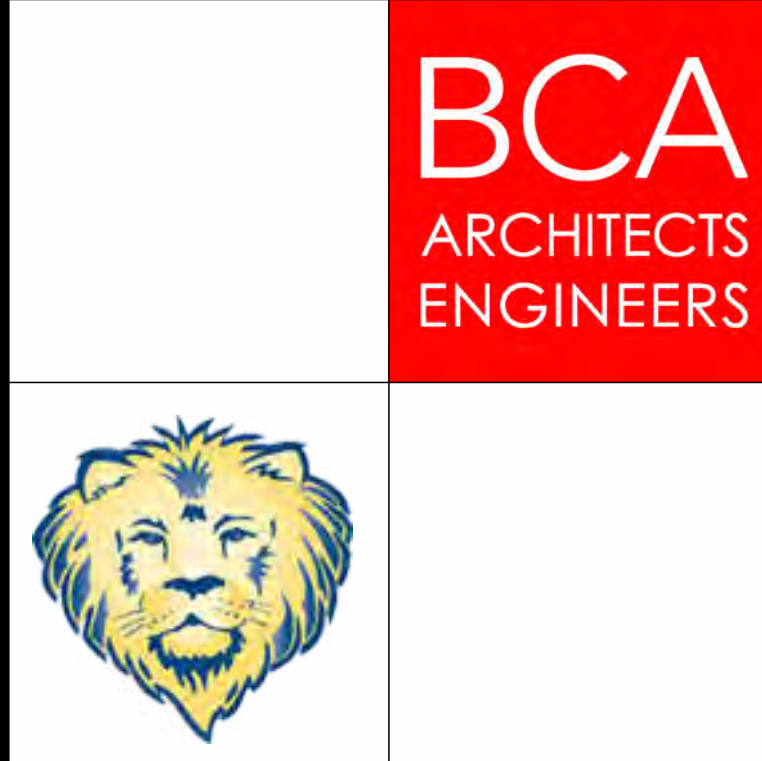
WINDOW TYPES
SCALE: 1/4" = 1'-0"



1 WINDOW DETAILS
SCALE: 1 1/2" = 1'-0"

2 LOUVER INFILL DETAIL
SCALE: 1 1/2" = 1'-0"

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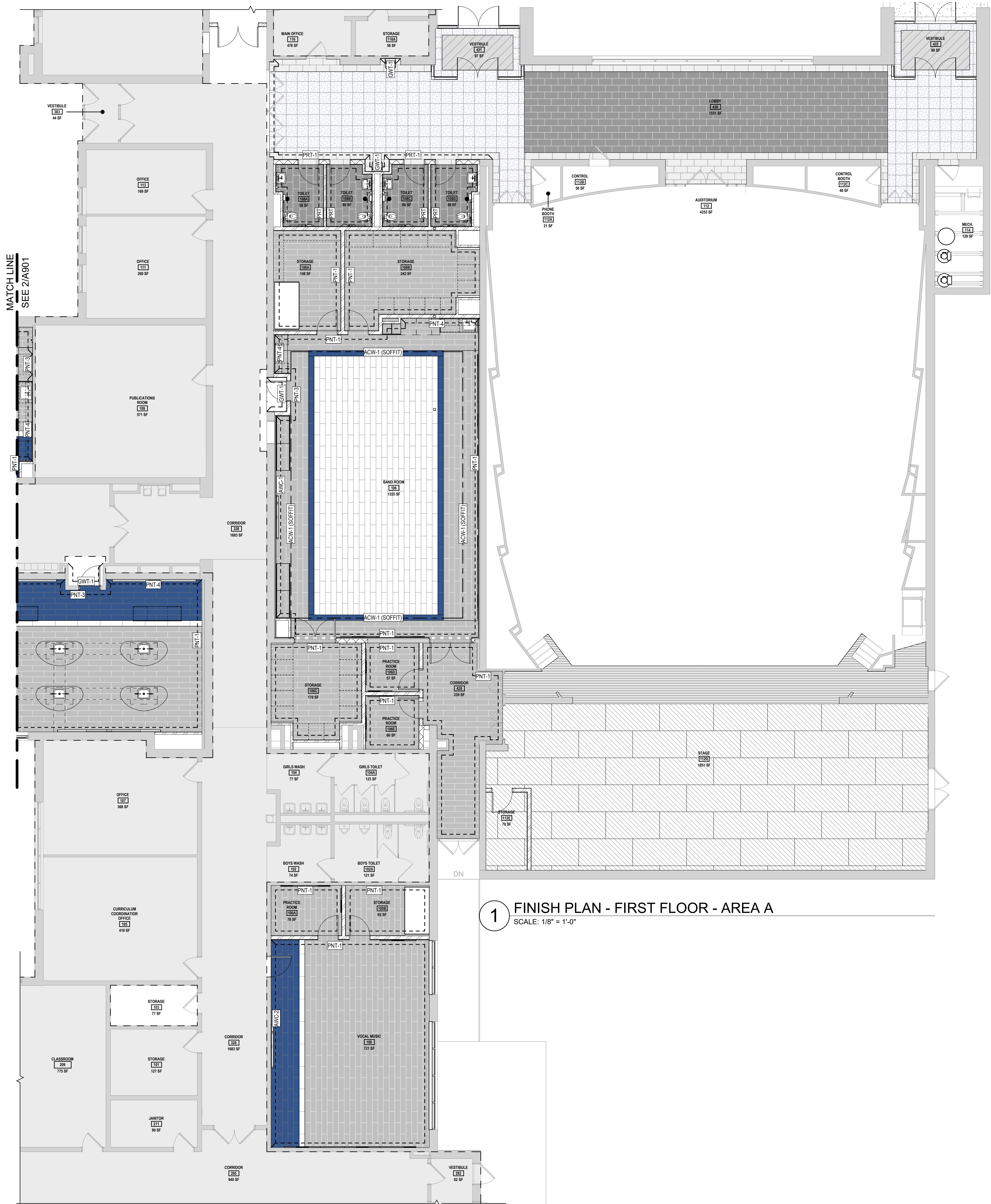
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WINDOW TYPES

BUILDING NUMBER: **HS**
SHEET NUMBER: **A803**
BID

12/17/2024 5:13:03 PM



1 FINISH PLAN - FIRST FLOOR - AREA A
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

	INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
	INDICATES AREA OF WORK FOR THIS PROJECT
	INDICATES AREA OF WORK FOR THIS PROJECT

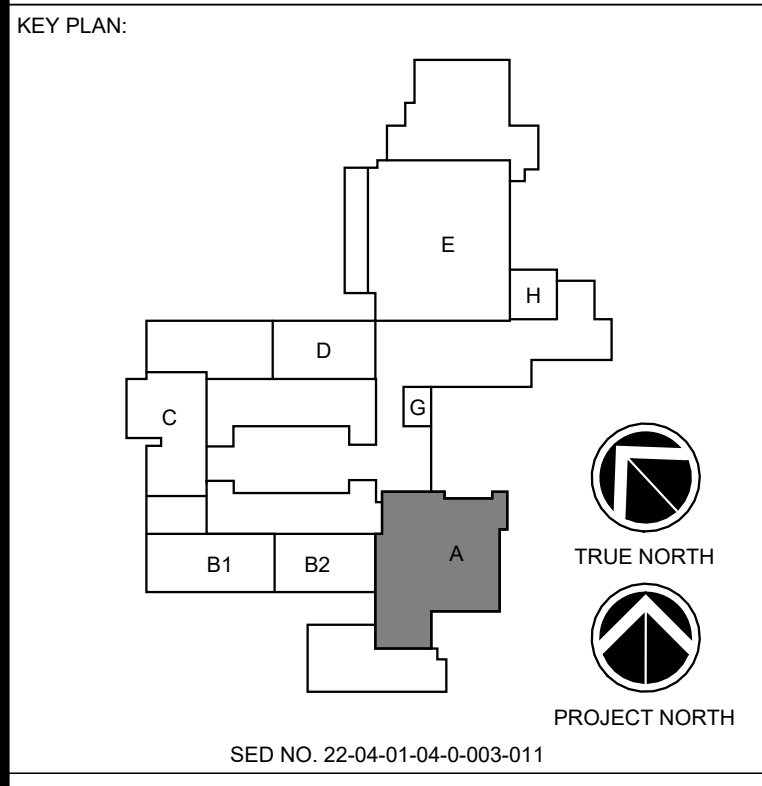
MATERIALS LEGEND

	LVT-1 LUXURY VINYL TILE		RAF-1 RUBBER ATHLETIC FLOOR
	LVT-2 LUXURY VINYL TILE		RAF-2 RUBBER ATHLETIC FLOOR
	LVT-3 LUXURY VINYL TILE		REM-1 RECESSED ENTRY MAT
	EPX-T EPOXY TERRAZZO		WDF-1 STAGE WOOD FLOOR
	EPX-PT EPOXY PAINT		WDF-2 STAGE WOOD FLOOR
	PRT-1 PORCELAIN TILE		RST-1 RUBBER STAIR TREAD
	PRT-2 PORCELAIN TILE		PNT-XX - PAINT COLOR
	CPT-1 CARPET TILE		PORCELAIN WALL TILE. SEE TYPICAL TILE DETAIL ON SHEET A200.

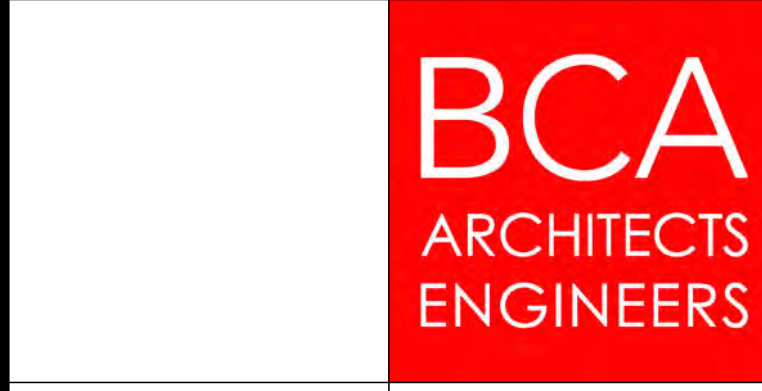
NOTE: SEE MATERIAL SCHEDULE ON SHEET A904 FOR BASIS OF DESIGN PRODUCTS AND FINISHES

FINISH PLAN NOTES

- ALL FINISH FLOORS TO EXTEND WALL TO WALL UNDER CASEWORK



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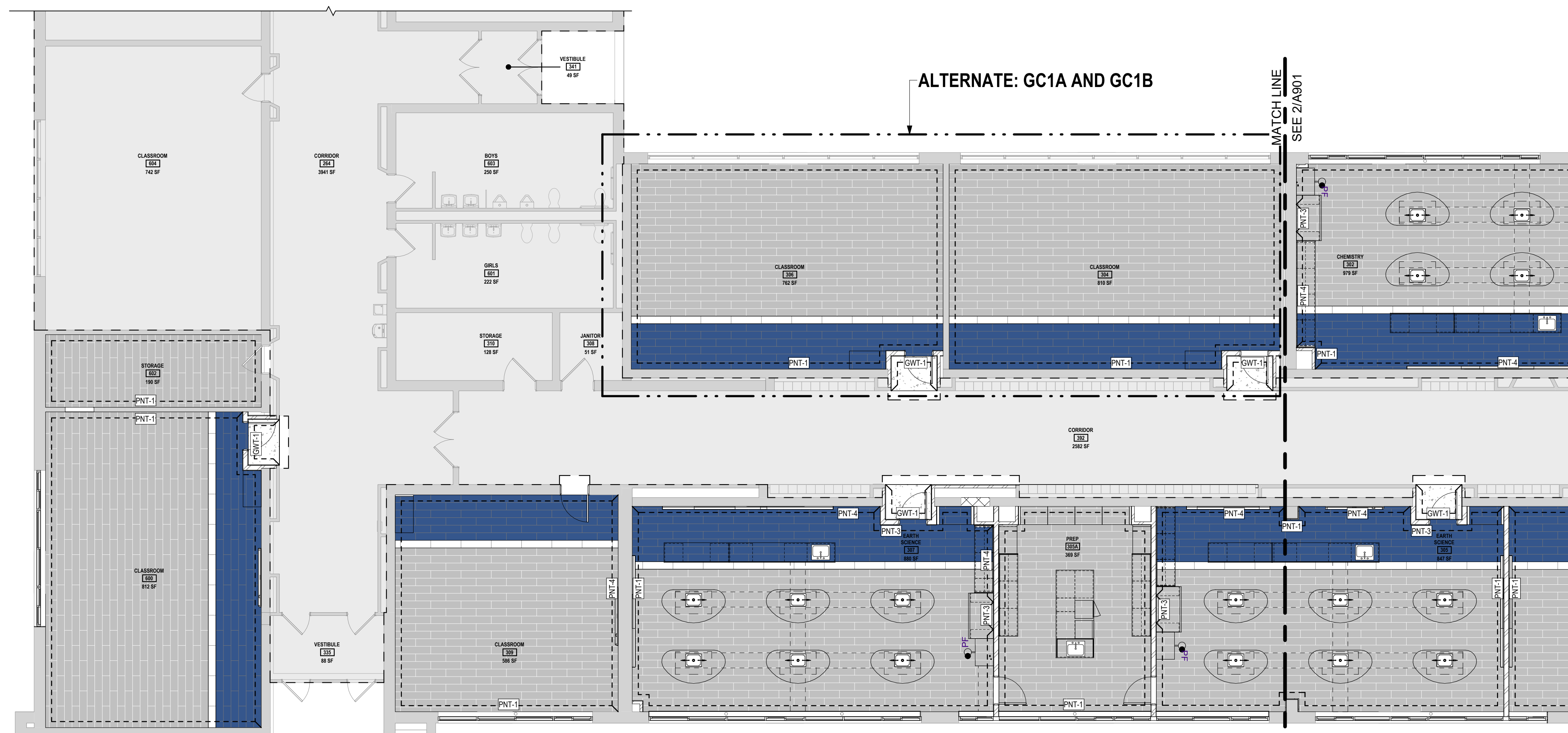
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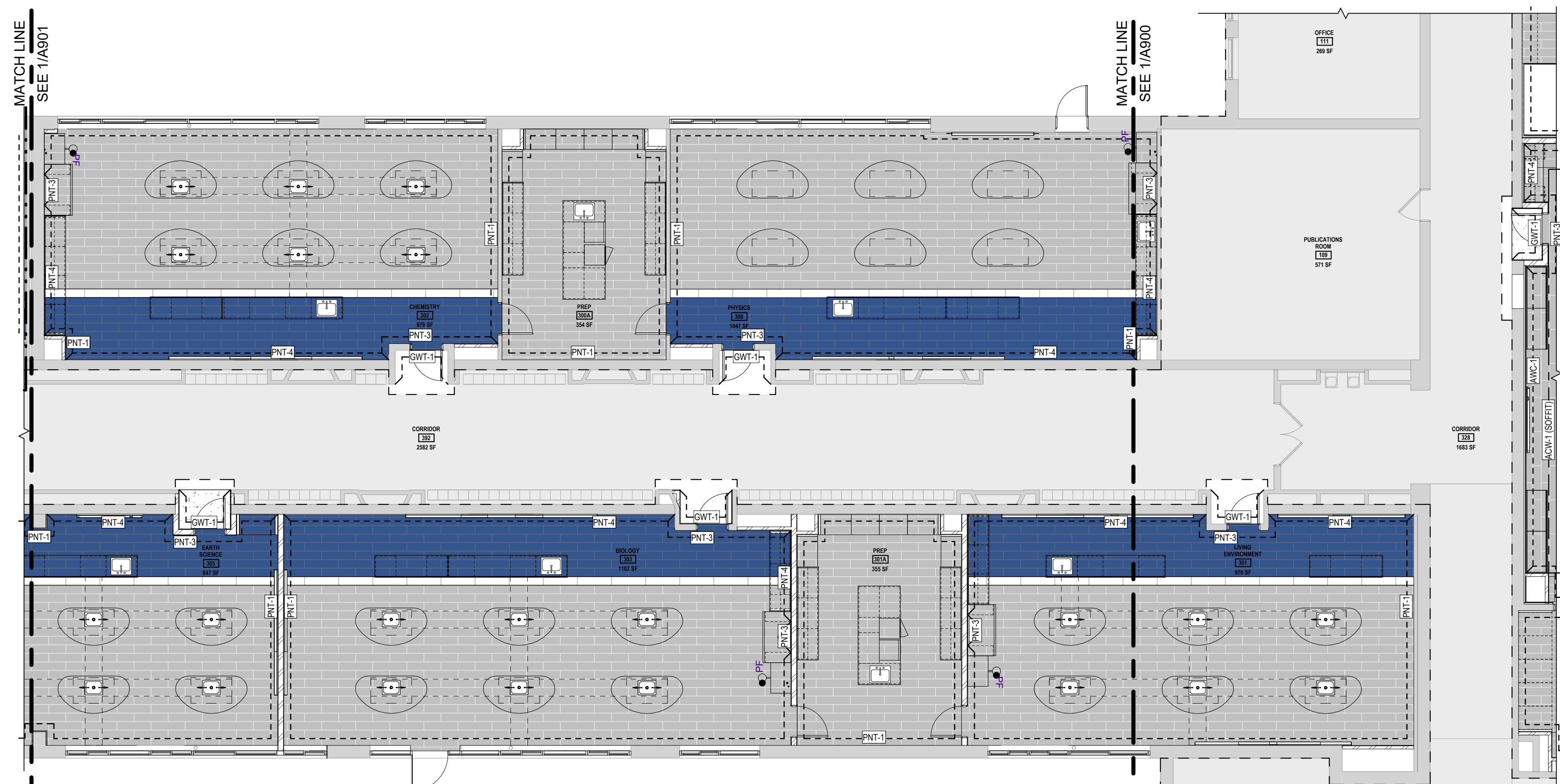
FINISH PLAN - FIRST FLOOR - AREA A

BUILDING NUMBER HS	SHEET NUMBER A900 BID
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12/17/2024 5:13:05 PM



1 FINISH PLAN - FIRST FLOOR - AREA B1
SCALE: 1/8" = 1'-0"



2 FINISH PLAN - FIRST FLOOR - AREA B2
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

MATERIALS LEGEND

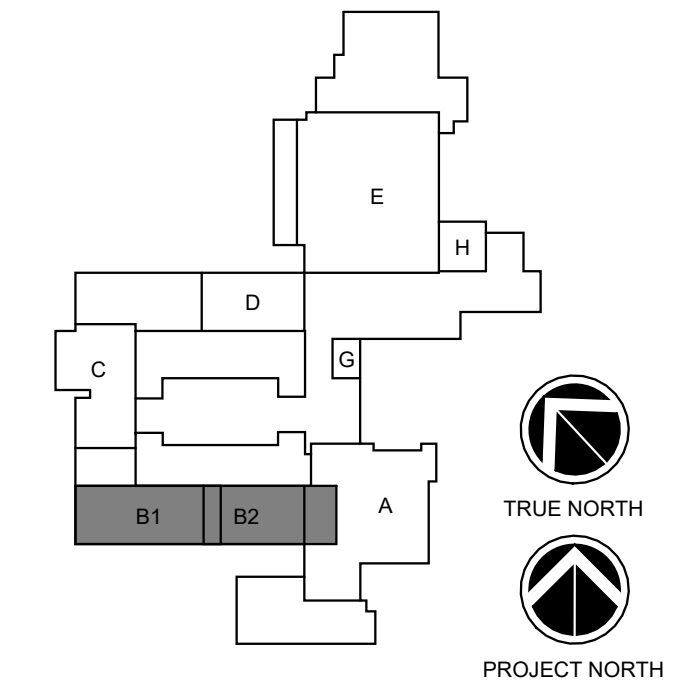
- LVT-1 LUXURY VINYL TILE
- LVT-2 LUXURY VINYL TILE
- LVT-3 LUXURY VINYL TILE
- EPX-T EPOXY TERRAZZO
- EPX-PT EPOXY PAINT
- PRT-1 PORCELAIN TILE
- PRT-2 PORCELAIN TILE
- CPT-1 CARPET TILE
- RAF-1 RUBBER ATHLETIC FLOOR
- RAF-2 RUBBER ATHLETIC FLOOR
- REM-1 RECESSED ENTRY MAT
- WDF-1 STAGE WOOD FLOOR
- WDF-2 STAGE WOOD FLOOR
- RST-1 RUBBER STAIR TREAD
- PNT-'X' - PAINT COLOR
- PRT - PORCELAIN WALL TILE. SEE TYPICAL TILE DETAIL ON SHEET A200.

NOTE: SEE MATERIAL SCHEDULE ON SHEET A904 FOR BASIS OF DESIGN PRODUCTS AND FINISHES

FINISH PLAN NOTES

1. ALL FINISH FLOORS TO EXTEND WALL TO WALL UNDER CASEWORK

KEY PLAN:



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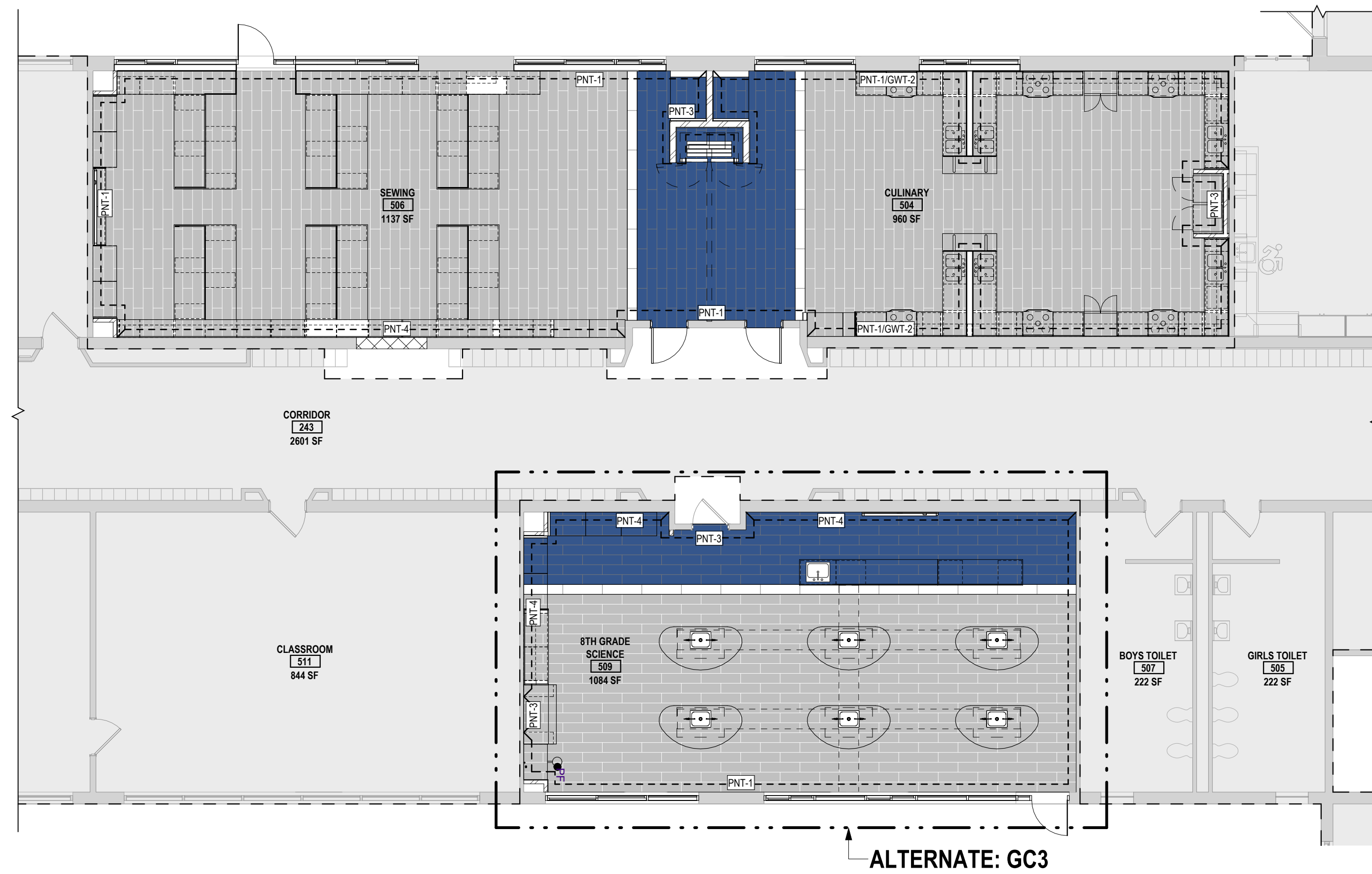
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FINISH PLAN - FIRST FLOOR - AREA B1 AND B2

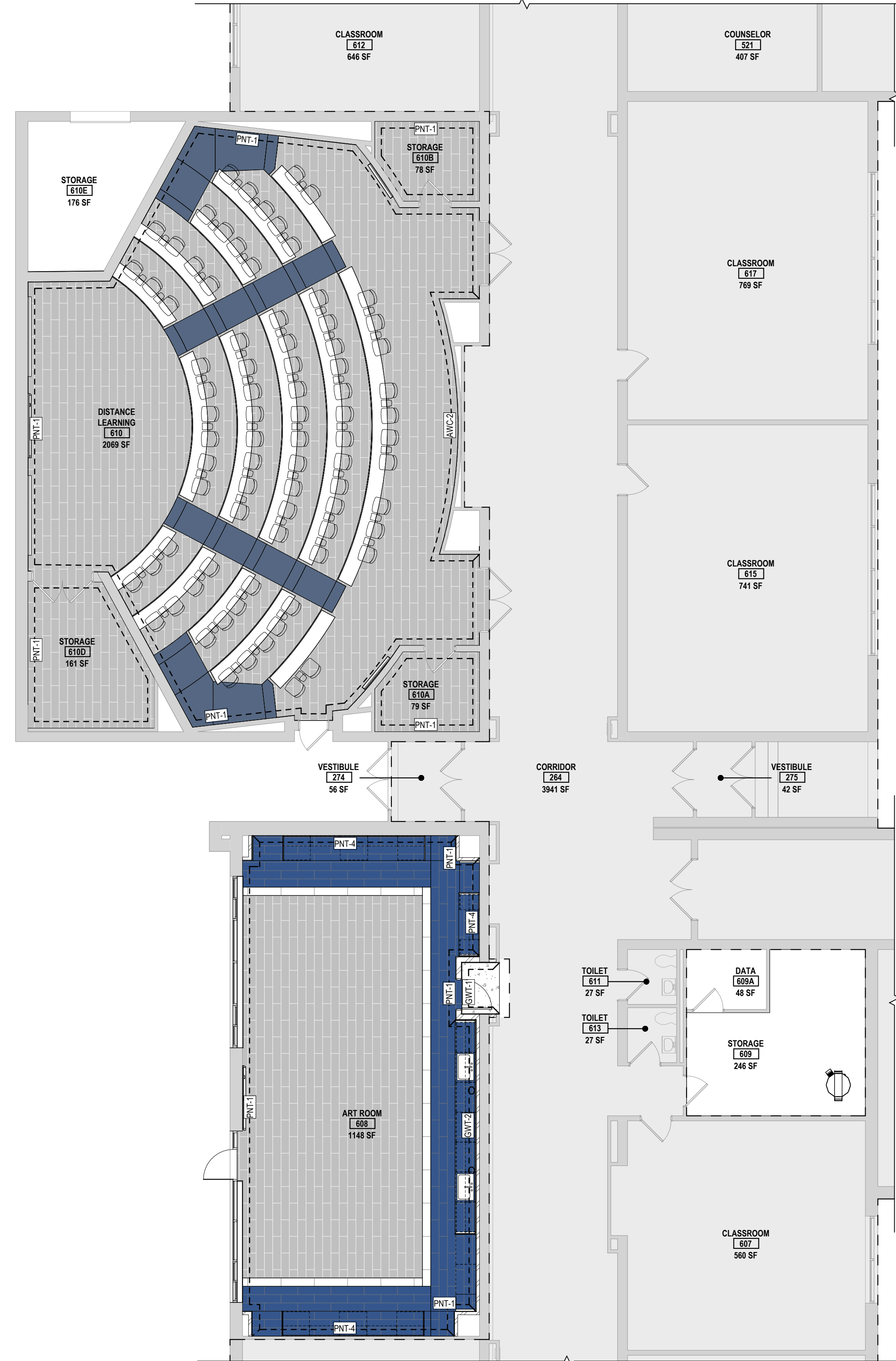
BUILDING NUMBER: HS SHEET NUMBER: A901
BID



2 FINISH PLAN - FIRST FLOOR - AREA D
SCALE: 1/8" = 1'-0"



3 FINISH PLAN - FIRST FLOOR - ATHLETIC DIRECTOR SUITE
SCALE: 1/8" = 1'-0"



1 FINISH PLAN - FIRST FLOOR - AREA C
SCALE: 1/8" = 1'-0"

GENERAL PROJECT LEGEND

- INDICATES EXISTING AREA TO REMAIN OUTSIDE OF WORK AREA
- INDICATES AREA OF WORK FOR THIS PROJECT
- INDICATES AREA OF WORK FOR THIS PROJECT

MATERIALS LEGEND

- LVT-1 LUXURY VINYL TILE
- LVT-2 LUXURY VINYL TILE
- LVT-3 LUXURY VINYL TILE
- EPX-T EPOXY TERRAZZO
- EPX-PT EPOXY PAINT
- PRT-1 PORCELAIN TILE
- PRT-2 PORCELAIN TILE
- CPT-1 CARPET TILE
- RAF-1 RUBBER ATHLETIC FLOOR
- RAF-2 RUBBER ATHLETIC FLOOR
- REM-1 RECESSED ENTRY MAT
- WDF-1 STAGE WOOD FLOOR
- WDF-2 STAGE WOOD FLOOR
- RS-1 RUBBER STAIR TREAD
- PAINT COLOR
- PORCELAIN WALL TILE. SEE TYPICAL TILE DETAIL ON SHEET A200.

NOTE: SEE MATERIAL SCHEDULE ON SHEET A904 FOR BASIS OF DESIGN PRODUCTS AND FINISHES

FINISH PLAN NOTES

- ALL FINISH FLOORS TO EXTEND WALL TO WALL UNDER CASEWORK

KEY PLAN:

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FINISH PLAN - FIRST FLOOR - AREA C AND D

BUILDING NUMBER: HS	SHEET NUMBER: A902 BID
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